

MOTION SHEET

1. Amend the definitions in Part 6 of the draft ordinance as follows:

- (5) COMMON COURTYARD is a lot on a plat that provides street frontage and common green area for lots that may not be served directly by an alley or street.
- (20) OPEN SPACE are the land use areas identified on Exhibit “C” - Land Use Plan, as OS-1, OS-2, OS-3, **OS-4**, and OS-5. The Open Space land use areas are intended to provide a system of greenways that provide for recreational trails and other amenities as well as provision for site drainage, environmental features, and utility easements.
- (27) SMALL-SITE CONDOMINIUM means three to eight ~~townhouses~~ **dwelling units, attached or** detached structures on one lot, each with an individual entry.
- (29) TWO-UNIT RESIDENTIAL means two attached or detached structures **dwelling units** on one lot.
- (30) YARD HOUSE is a single-family detached ~~building type~~ **dwelling unit** on its own lot. An accessory dwelling unit may be constructed on the lot.

2. Amend Sections (C) and (D) in Part 8 to read:

- (C) Unless the Park and Open Space is conveyed in fee simple as parkland, a public access easement shall be provided over and across the portion of the Park and Open Space identified in Exhibit “C” – Land Use Plan designated as OS- (1), (2), (3), (4) or (5) in a form approved by the city attorney ~~prior to issuance of a certificate of occupancy, temporary or permanent, for the first vertical building located in the land use area as follows:~~ **upon completion of the park improvements located within such portion of the areas pursuant**

to a construction schedule approved by the Director of the PARD, but not later than November 30, 2053.

[Delete Table]

~~Director of PARD may defer the requirement for public access easement on any portion of the Park and Open Space until the improvements located in that portion are completed.~~

- (D). ~~Additional minimal requirements for parkland dedication and parkland improvement for the Property shall meet or exceed those requirements outlined in Ordinance No. 20220915-053, as approved by the Director of PARD.~~ **A minimum amount of \$8,000,000.00 will be expended for parkland improvements within the Property as approved by the Director of PARD.**

3. Amend the Code Modifications in Part 13 of the draft ordinance as follows:

(C) Subdivision

(7) Section 25-4-171 (*Access to Lots*) is modified to allow for a lot that fronts a common courtyard, **access lot**, or an alley is not required to abut a dedicated public street. Each lot in a subdivision may also abut a private street subject to a permanent access easement.

(D) Site Plans

- (1) Section 25-5-2 (*Site Plan Exemptions*) is modified to exempt the following from a site plan:

- (a) Construction or alteration of up to eight **dwelling units** ~~townhouse~~, small-site condominium, **live-work**, or shop house on a lot; and

(I) Sign

(3) Section 25-10-128 (*Neighborhood Commercial Sign District Regulations*) is modified to provide that:

- (a) In the ETOD and MUR land use areas, each **commercial** unit may have a wall sign that is a projecting sign; and

4. Replace the pages of Exhibits D, F, J, K, L as attached:

EXHIBIT D - (PAGE 1)

COLONY PARK P.U.D. ZONING USE SUMMARY TABLE

P= Permitted; NP = Not Permitted										
RESIDENTIAL USES	LTC	IC	MUR	ETOD	NR-1	NR-2	OS-1	OS-2	OS-3	OS-4
Bed & Breakfast (Group 1)	P	NP	P	P	P	NP	NP	NP	NP	
Bed & Breakfast (Group 2)	P	NP	P	P	P	NP	NP	NP	NP	
Condominium Residential	P	NP	P	P	P	NP	NP	NP	NP	
Conservation Single Family Residential	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Cottage House ¹	NP	NP	P	P	P	NP	NP	NP	NP	
Duplex Residential	P	NP	P	P	P	NP	NP	NP	NP	
Group Residential	P	NP	P	P	P	NP	NP	NP	NP	
Mobile Home Residential	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Multifamily Residential	P	NP	P	P	P	NP	NP	NP	NP	
Retirement Housing (Small Site)	P	NP	P	P	P	NP	NP	NP	NP	
Retirement Housing (Large Site)	P	NP	P	NP	NP	NP	NP	NP	NP	
Row/Shop House ¹	P	NP	P	P	P	NP	NP	NP	NP	
Single-Family Attached Residential	P	NP	P	P	P	NP	NP	NP	NP	
Single-Family Residential	NP	NP	P	P	P	NP	NP	NP	NP	
Small Lot Single-Family Residential	NP	NP	P	P	P	NP	NP	NP	NP	
Small Site Condominium ¹	P	NP	P	P	P	NP	NP	NP	NP	
Townhouse Residential	P	NP	P	P	P	NP	NP	NP	NP	
Two-Family Residential	NP	NP	P	P	P	NP	NP	NP	NP	
Two-Unit Residential (Attached) ¹	NP	NP	P	P	P	NP	NP	NP	NP	
Two-Unit Residential (Detached) ¹	NP	NP	P	P	P	NP	NP	NP	NP	
Yard House ¹	NP	NP	P	P	P	NP	NP	NP	NP	
COMMERCIAL USES	LTC	IC	MUR	ETOD	NR-1	OS-1	OS-2	OS-3	OS-4	
Administrative and Business Offices	P	P*	P	P	NP	NP	NP	NP	NP	* Permitted with Approval of Land Developer.
Agricultural Sales and Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Alternative Financial Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Art Gallery	P	NP	P	P	P	NP	NP	NP	NP	
Art Workshop	P	NP	P	P	P	NP	NP	NP	NP	
Automotive Rentals	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Automotive Repair Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Automotive Sales	P*	NP	NP	NP	NP	NP	NP	NP	NP	*Permitted if limited to a showroom with no service or maintenance component or fleet storage and no more than 5 (five) surface parking spaces.
Automotive Washing (of any type)	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Bail Bond Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Building Maintenance Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Business or Trade School	P	NP	NP	P	NP	NP	NP	NP	NP	
Business Support Services	P	NP	NP	P	NP	NP	NP	NP	NP	
Campground	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Carriage Stable	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Cocktail Lounge	P	NP	P*	P*	NP	NP	NP	NP	NP	*Permitted up to 5,000 square feet.
Commercial Blood Plasma Center	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Commercial Off-Street Parking	P	NP	P	P	NP	NP	NP	NP	NP	
Communications Services	P	NP	P	P	NP	NP	NP	NP	NP	
Construction Sales and Services	P	NP	NP	P	NP	NP	NP	NP	NP	
Consumer Convenience Services	P	NP	P	P	P	NP	NP	NP	NP	
Consumer Repair Services	P	NP	P	P	P	NP	NP	NP	NP	
Convenience Storage	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Creative Space ¹	P	NP	P	P	P	NP	NP	NP	NP	
Drop-Off Recycling Collection Facility	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Electronic Prototype Assembly	P	NP	NP	P	NP	NP	NP	NP	NP	
Electronic Testing	P	NP	NP	P	NP	NP	NP	NP	NP	
Equipment Repair Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Equipment Sales	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Exterminating Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Financial Services	P	NP	P	P	NP	NP	NP	NP	NP	
Food Preparation	P	NP	P	P	NP	NP	NP	NP	NP	
Food Sales	P	NP	P	P	P	P	NP	NP	NP	
Funeral Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
General Retail Sales (Convenience)	P	P	P	P	NP	NP	NP	NP	NP	
General Retail Sales (General)	P	NP	P	P	NP	NP	NP	NP	NP	
Grocery Store ¹	P	NP	P	P	NP	NP	NP	NP	NP	
Hotel-Motel	P	NP	P	P	NP	NP	NP	NP	NP	
Indoor Entertainment	P	NP	P	P	NP	NP	NP	NP	NP	
Indoor Sports and Recreation	P	NP	P	P	NP	NP	NP	NP	NP	
Kennels	P*	NP	P*	P*	NP	NP	NP	NP	NP	* A kennel use must be conducted entirely within an enclosed structure.
Laundry Services	P	NP	P	P	NP	NP	NP	NP	NP	
Liquor Sales	P	NP	P	P	NP	NP	NP	NP	NP	
Live Music Venue ¹	P	NP	P	P	NP	NP	NP	NP	NP	
Medical Offices - Exceeding 5,000 sq. ft. gross floor area	P	P	P	P	NP	NP	NP	NP	NP	
Medical Offices - Not Exceeding 5,000 sq. ft. gross floor area	P	P	P	P	NP	NP	NP	NP	NP	

1) As defined in the Colony Park PUD Definitions

EXHIBIT D - (PAGE 2)

COLONY PARK P.U.D. ZONING USE SUMMARY TABLE

P= Permitted; NP = Not Permitted										
COMMERCIAL USES - continued	LTC	IC	MUR	ETOD	NR-1	NR-2	OS-1	OS-2	OS-3	OS-4
Microbrewery ¹	P*	NP	P*	P*	NP	NP	NP	NP	NP	NP
Monument Retail Sales	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Off-Site Accessory Parking	P	NP	P	P	P	P	NP	NP	NP	NP
Outdoor Entertainment	NP	NP	NP	NP	NP	NP	P	P	P	P
Outdoor Sports and Recreation	NP	NP	NP	NP	NP	NP	P	P	P	P
Pawn Shop Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Pedicab Storage and Dispatch	P*	NP	NP	P*	NP	NP	NP	NP	NP	NP
Personal Improvement Services	P	NP	P	P	NP	NP	NP	NP	NP	NP
Pet Services	P	NP	P	P	NP	NP	NP	NP	NP	NP
Plant Nursery	P	NP	P	P	NP	NP	NP	NP	NP	NP
Printing and Publishing	P*	NP	P*	P*	NP	NP	NP	NP	NP	NP
Professional Office	P	NP	P	P	P	P	NP	NP	NP	NP
Recreational Equipment Maint. & Stor.	NP	NP	NP	P	NP	NP	NP	NP	NP	NP
Recreational Equipment Sales	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Research Assembly Services	P*	NP	P*	P*	NP	NP	NP	NP	NP	NP
Research Services	P*	NP	P*	P*	NP	NP	NP	NP	NP	NP
Research Testing Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Research Warehousing Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Restaurant (General)	P	NP	P	P	P	P	NP	NP	NP	NP
Restaurant (Limited)	P	NP	P	P	P	P	NP	NP	NP	NP
Scrap and Salvage	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Service Station	P*	NP	NP	NP	NP	NP	NP	NP	NP	NP
Software Development	P	NP	P	P	NP	NP	NP	NP	NP	NP
Special Use Historic	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Stables	NP	NP	NP	NP	NP	NP	P	P	P	P
Theater	P	NP	P	P	NP	NP	NP	NP	NP	NP
Vehicle Storage	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Veterinary Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
CIVIC USES										
Administrative Services	P	P	P	P	NP	NP	NP	NP	NP	NP
Adult Care Services (General)	P	P	P	P	P	P	NP	NP	NP	NP
Adult Care Services (Limited)	P	P	P	P	P	P	NP	NP	NP	NP
Aviation Facilities	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Camp	NP	NP	NP	NP	NP	NP	NP	NP	P	P
Cemetery	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Child Care Services (General)	P	P	P	P	P	P	NP	NP	NP	NP
Child Care Services (Limited)	P	P	P	P	P	P	NP	NP	NP	NP
Club or Lodge	P	NP	P	P	NP	NP	NP	NP	NP	NP
College and University Facilities	P	NP	P	P	NP	NP	NP	NP	NP	NP
Communication Service Facilities	P	NP	P	P	NP	NP	NP	NP	NP	NP
Community Events	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Community Recreation (Private)	P*	NP	P*	P*	P*	P*	P*	P*	P*	P*
Community Recreation (Public)	P	NP	P	P	P	P	P	P	P	P
Congregate Living	P	P	P	P	NP	NP	NP	NP	NP	NP
Convalescent Services	P	NP	P	P	NP	NP	NP	NP	NP	NP
Convention Center	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Counseling Services	P	P*	P	P	P	P	NP	NP	NP	NP
Cultural Services	P	NP	P	P	P	P	P	P	P	P
Detention Facilities	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Employee Recreation	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Family Home	NP	P	NP	NP	NP	NP	NP	NP	NP	NP
Group Home, Class I (General)	NP	P	NP	NP	NP	NP	NP	NP	NP	NP
Group Home, Class I (Limited)	NP	P	NP	NP	NP	NP	NP	NP	NP	NP
Group Home, Class II	NP	P	NP	NP	NP	NP	NP	NP	NP	NP
Guidance Services	P	P	P	P	NP	NP	NP	NP	NP	NP
Hospital Services (General)	P	P	NP	NP	NP	NP	NP	NP	NP	NP
Hospital Services (Limited)	P	P	P	P	NP	NP	NP	NP	NP	NP
Library, Museum, or Public Art Gallery	P	NP	P	P	NP	NP	NP	NP	NP	NP
Local Utility Services	P	P	P	P	P	P	P	P	P	P
Maintenance and Service Facilities	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Major Utility Facilities	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*
Military Installations	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Park and Recreation Services (General)	P	NP	P	P	P	P	P	P	P	P
Park and Recreation Services (Special)	P	NP	P	P	NP	NP	P	P	P	P
Performance Venue/Theater	P	NP	P	P	NP	NP	NP	NP	NP	NP
Postal Facilities	P	NP	P	P	NP	NP	NP	NP	NP	NP

1) As defined in the Colony Park PUD Definitions

EXHIBIT F - (PAGE 1)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

MIXED USE RESIDENTIAL (MUR) AND EQUITABLE TRANSIT ORIENTED DEVELOPMENT (ETOD) AREAS										
	YARD HOUSE	ZERO LOT LINE	ROW/SHOP HOUSE	TWO-UNIT RESIDENTIAL		COTTAGE HOUSE	SMALL SITE CONDOMINIUM	MULTI-FAMILY	CIVIC	COMMERCIAL ³
				ATTACHED	DETACHED					
Minimum Lot Size	1,200 SF 1,400 SF on corner lots	1,200 SF 1,400 SF on corner lots	600 SF 800 SF on corner lots	2,400 SF		See Exhibit F Page 15	2,700 SF	12,500 SF	2,500 SF	2,500 SF
Minimum Lot Width	20 FT. 25 FT. on corner lots	20 FT. 25 FT. on corner	14 FT. 19 FT. on corner lots	28 FT. 33 FT. on corner lots		See Exhibit F Page 15	30 FT.	70 FT.	25 FT.	25 FT.
Maximum Height	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories		See Exhibit F Page 15	45 FT. ⁶ 4 stories	85 FT. ⁶	85 FT. ⁶	85 FT. ⁶
Minimum Front Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	5 FT.	5 FT.	5 FT.
Minimum Street Side Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	5 FT.	0 FT.	0 FT.
Minimum Interior Side Yard Setback	3 FT.-1 IN. ¹ OR 0 FT. ²	0 FT. OR 5 FT. ²	0 FT. ⁴	3 FT.-1 IN. ¹ OR 0 FT. ²		See Exhibit F Page 15	3 FT.-1 IN. ¹ OR 0 FT. ²	5 FT.	0 FT.	0 FT.
Minimum Rear Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	5 FT.	0 FT.	0 FT.
Maximum Impervious Cover	75%	95%	95%	95%		See Exhibit F Page 15	90%	90%	100%	100%
Common Courtyard Setback ⁵	0 FT.	0 FT.	0 FT.	0 FT.		See Exhibit F Page 15	N/A	N/A	N/A	N/A
Building Separation ⁷	0 FT.	N/A	0 FT.	0 FT.	5 FT. ⁷	0 FT.	0 FT.	0 FT.	0 FT.	0 FT.

Footnotes:

1. A minimum side yard setback of 3'-1" is permitted (measured from face of building to the property line) provided that the adjoining side yard setback is a minimum of 3'-11" to create a face-of-building to face-of-building space of at least seven (7) feet.
2. One side of a yard house, zero lot line, two-unit residential, or condominium exterior wall may be located on one of the lots' side property lines, however the exterior side yard-facing building walls of adjoining lots must be separated by a minimum of five (5) feet. (Access and/or maintenance easements may need to be created by individual builders or property owners to facilitate maintenance of buildings and/or areas that are located on or very close to an interior side yard property line).
3. Commercial site development standards apply to Custom Manufacturing.
4. The minimum interior side yard setback for residential row houses and shop houses is 0 feet. This includes side yards along alleys and chamfered corners at alley intersections.
5. Common Courtyard Lot Lines are adjacent to common courtyard spaces.
6. Refer to compatibility standards in Colony Park PUD Part 13 - B. (15).
7. Minimum dimension between the Main and Secondary building on a Two-Unit Detached Lot.

General Notes:

- Mixed-use multi-family buildings with ground floor commercial uses shall follow commercial site development regulations.
- Covered steps or a covered porch or stoop with or without columns may project 2.5 feet into a required street yard setback, not including Cottage Houses.
- Bay windows or other architectural projections (either cantilevered or extension of the floor surface) may project into a required yard up to 2 feet.
- For parks, see site development regulations under Open Space.

EXHIBIT F - (PAGE 2)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

	NEIGHBORHOOD RESIDENTIAL (NR) AREAS								
	YARD HOUSE	ZERO LOT LINE	ROW/SHOP HOUSE	TWO-UNIT RESIDENTIAL		COTTAGE HOUSE	SMALL SITE CONDOMINIUM	CIVIC	COMMERCIAL ³
Minimum Lot Size	1,200 SF 1,400 SF on corner lots	1,200 SF 1,400 SF on corner lots	600 SF 800 SF on corner lots	2,400 SF		See Exhibit F Page 15	2,700 SF	2,500 SF	2,500 SF
Minimum Lot Width	20 FT.	20 FT. 25 FT on corner	14 FT. 19 FT. on corner lots	28 FT. 33 FT. on corner lots		See Exhibit F Page 15	30 FT.	25 FT.	25 FT.
Maximum Height	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories		See Exhibit F Page 15	45 FT. ⁶ 4 stories	65 FT. ⁶	65 FT. ⁶
Minimum Front Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	5 FT.	5 FT.
Minimum Street Side Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	0 FT.	0 FT.
Minimum Interior Side Yard Setback	3 FT.-1 IN. ¹ OR 0 FT. ²	0 FT. or 5 FT. ²	0 FT. ⁴	3 FT.-1 IN. ¹ OR 0 FT. ²		See Exhibit F Page 15	3 FT.-1 IN. ¹ OR 0 FT. ²	0 FT.	0 FT.
Minimum Rear Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	0 FT.	0 FT.
Maximum Impervious Cover	75%	95%	95%	95%		See Exhibit F Page 15	90%	100%	100%
Common Courtyard Setback ⁵	0 FT.	0 FT.	0 FT.	0 FT.		See Exhibit F Page 15	N/A	N/A	N/A
Building Separation ⁷	0 FT.	N/A	0 FT.	0 FT.	5 FT. ⁷	0 FT.	0 FT.	0 FT.	0 FT.

Footnotes:

1. A minimum side yard setback of 3'-1" is permitted (measured from face of building to the property line) provided that the adjoining side yard setback is a minimum of 3'-11" to create a face-of-building to face-of-building space of at least seven (7) feet.
2. One side of a yard house, two-unit residential, or condominium exterior wall may be located on one of the lots' side property lines, however the exterior side yard-facing building walls of adjoining lots must be separated by a minimum of five (5) feet. (Access and/or maintenance easements may need to be created by individual builders or property owners to facilitate maintenance of buildings and/or areas that are located on or very close to an interior side yard property line).
3. Commercial site development standards apply to Custom Manufacturing.
4. The minimum interior side yard setback for residential row houses and shop houses is 0 feet. This includes side yards along alleys and chamfered corners at alley intersections.
5. Common Courtyard Lot Lines are adjacent to common courtyard spaces.
6. Refer to compatibility standards in Colony Park PUD Part 13 - B. (15).
7. Minimum dimension between the Main and Secondary building on a Two-Unit Detached Lot.

General Notes:

- Covered steps or a covered porch or stoop with or without columns may project 2.5 feet into a required street yard setback, not including Cottage Houses.
- Bay windows or other architectural projections (either cantilevered or extension of the floor surface) may project into a required yard up to 2 feet.
- For parks, see site development regulations under Open Space.

EXHIBIT F - (PAGE 3)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

	LOYOLA TOWN CENTER MIXED USE (LTC)			
	ROW/SHOP HOUSE	MULTI-FAMILY	COMMERCIAL ^{1, 3}	INSTITUTIONAL/CIVIC
Minimum Lot Size	600 SF 800 SF on corner lots	12,500 SF	2,500 SF	2,500 SF
Minimum Lot Width	14 FT. 19 FT. on corner lots	70 FT.	25 FT.	25 FT.
Maximum Height ²	45 FT. 4 stories	85 FT. 7 stories	85 FT. 7 stories	85 FT. 7 stories
Minimum Front Yard Setback	5 FT.	0 FT.	0 FT.	0 FT.
Minimum Street Side Yard Setback	5 FT.	5 FT.	0 FT.	0 FT.
Minimum Interior Side Yard Setback	0 FT. ⁴	5 FT.	0 FT.	0 FT.
Minimum Rear Yard Setback	5 FT.	0 FT.	0 FT.	0 FT.
Maximum Impervious Cover	95%	90%	100%	100%

Footnotes:

1. A shared parking facility may be constructed to serve multiple uses within the Loyola Town Center (e.g., commercial, retail, civic, residential), which can satisfy the minimum parking requirements for each use.
2. Refer to compatibility standards in Colony Park PUD Part 13 - B. (15).
3. Commercial site development standards apply to Custom Manufacturing
4. The minimum interior side yard setback for residential row houses and shop houses is 0 feet. This includes side yards along alleys and chamfered corners at alley intersections.

General Notes:

- Mixed-use multi-family buildings with ground floor commercial uses shall follow commercial site development regulations.
- Uncovered steps of a porch or stoop may project into a required yard.
- Covered steps or a covered porch or stoop with or without columns may project 2.5 feet into a required street yard setback, not including Cottage Houses.
- Bay windows or other architectural projections (either cantilevered or extension of the floor surface) may project into a required yard up to 2 feet.

EXHIBIT F - (PAGE 5) COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

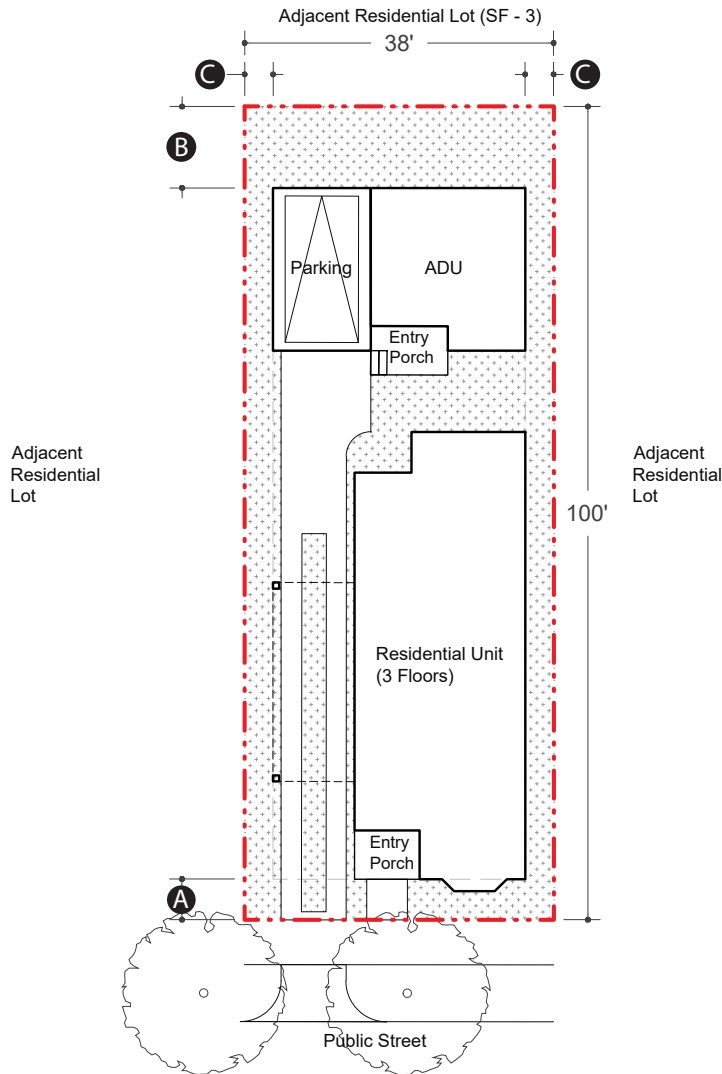


Diagram is illustrative only. Table shall govern.

		Yard House
	Minimum Lot Size	1200 SF 1400 SF on corner lots
	Minimum Lot Width	20 FT 25 FT on corner lots
	Maximum Height ¹	45 FT 4 Stories
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
	Maximum Impervious Cover	75%

FOOTNOTES:

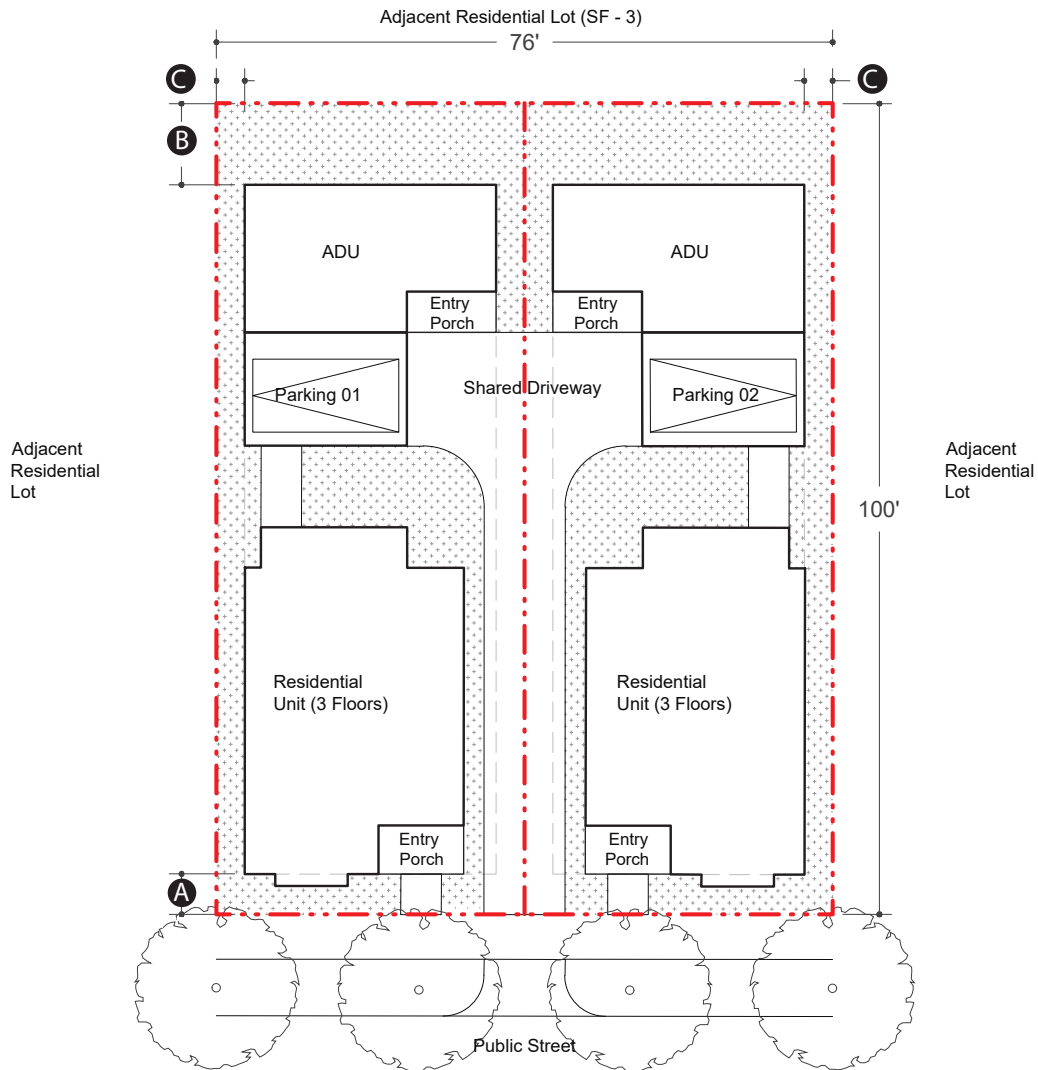
1. Compatibility Height - 3 Stories within 50' of shared property line with SF-3 zoned property
2. ADU may be joined to Main building, subject to building and fire codes.

38' Yard House (Front Loaded) with ADU - Single Driveway

Prepared by McCann Adams Studio for Catellus - DRAFT September 7, 2023

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EXHIBIT F - (PAGE 6) COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS



		Yard House
	Minimum Lot Size	1200 SF 1400 SF on corner lots
	Minimum Lot Width	20 FT 25 FT on corner lots
	Maximum Height ¹	45 FT 4 Stories
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
	Maximum Impervious Cover	75%

FOOTNOTES:

1. Compatibility Height - 3 Stories within 50' of shared property line with SF-3 zoned property
2. ADU may be joined to Main building, subject to building and fire codes.
3. This configuration requires two adjoining lots, with a joint easement for the shared driveway and is only intended for interior lots.

38' Yard House (Front Loaded) with ADU - Shared Driveway

Prepared by McCann Adams Studio for Catellus - DRAFT September 7, 2023

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EXHIBIT F - (PAGE 7) COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

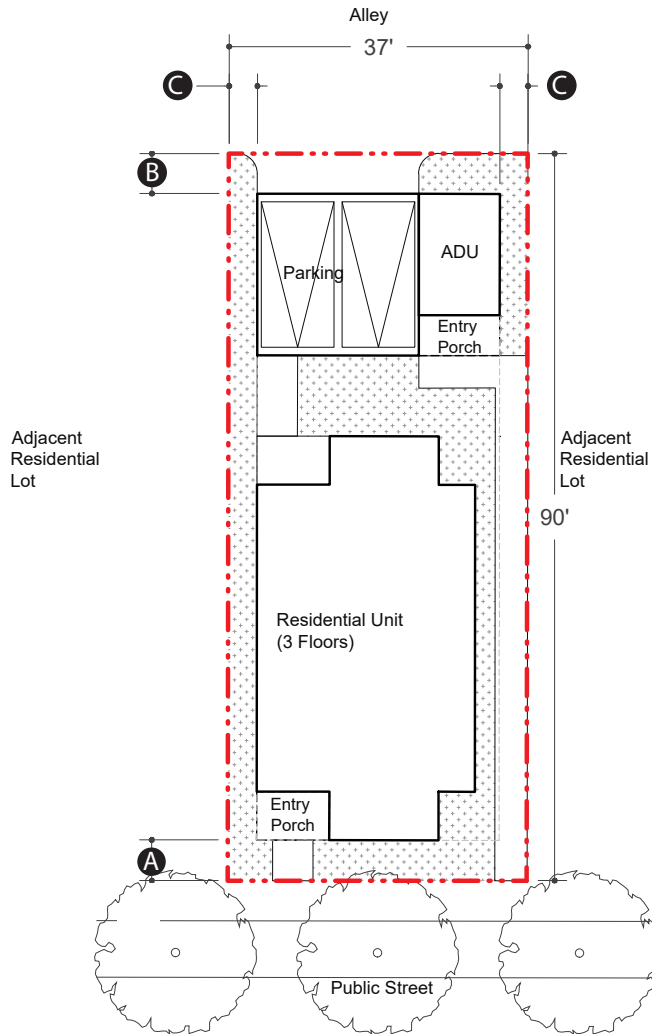


Diagram is illustrative only. Table shall govern.

		Yard House
	Minimum Lot Size	1200 SF 1400 SF on corner lots
	Minimum Lot Width	20 FT 25 FT on corner lots
	Maximum Height	45 FT - 4 Stories ADU - 3 floors max. (35ft)
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
	Maximum Impervious Cover	75%
	Common Courtyard Setback	0 FT

FOOTNOTES:

- ADU may be joined to Main building, subject to building and fire codes.
- This building type is intended for interior lots only.

37' Yard House (Rear Loaded) with ADU

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EXHIBIT F - (PAGE 8)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

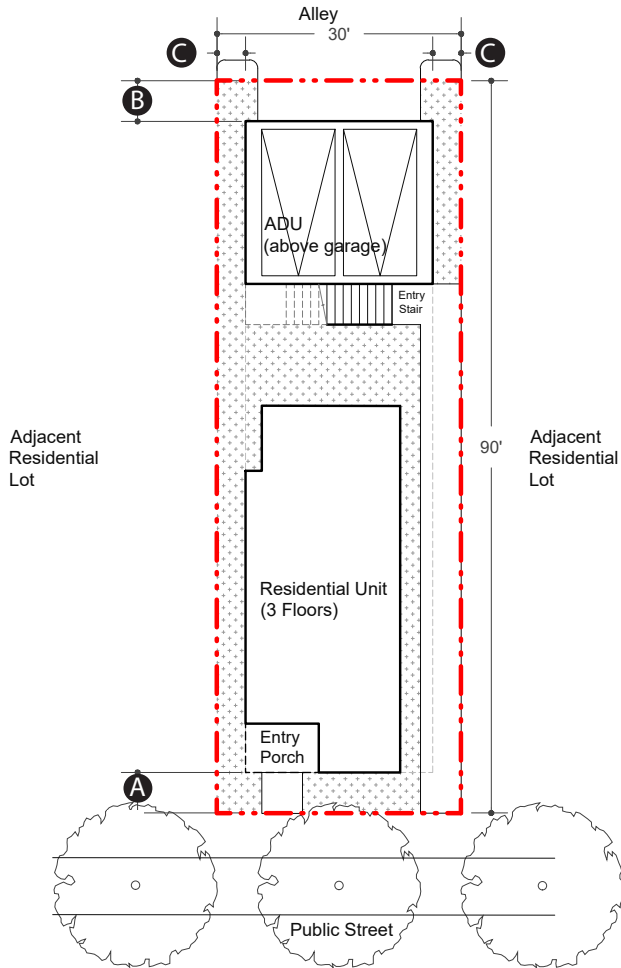


Diagram is illustrative only. Table shall govern.

A B C		Yard House
	Minimum Lot Size	1200 SF
	Minimum Lot Width	20 FT 25 FT on corner lots
	Maximum Height	45 FT - 4 Stories ADU - 3 floors max (35FT)
	Minimum Street Front Setback	5 FT
	Minimum Rear Yard Setback (Alley)	5 FT
	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
	Maximum Impervious Cover	75%
	Common Courtyard Setback	0 FT

FOOTNOTES:

1. ADU may be joined to Main building, subject to building and fire codes.

30' Yard House with ADU (Rear Loaded)

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EXHIBIT F - (PAGE 9)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

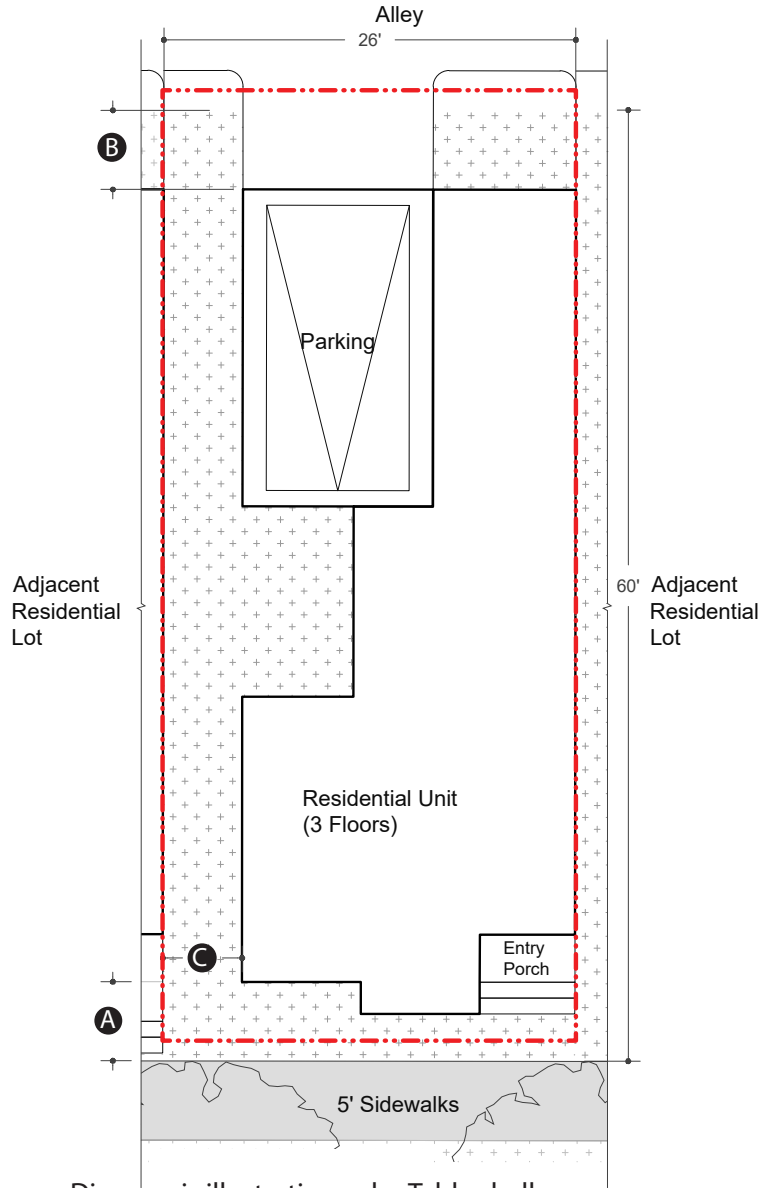


Diagram is illustrative only. Table shall govern.

	Zero Lot-Line Residential
Minimum Lot Size	1200 SF, 1400 SF on corner lots
Minimum Lot Width	20 FT
Maximum Height	45 FT 4 Stories
A Minimum Street Front Setback	5 FT
B Minimum Rear Yard Setback (Alley)	5 FT
C Minimum Interior Side Yard Setback	0' FT
Maximum Impervious Cover	95%

FOOTNOTES:

1. One side of a Zero Lot-Line house exterior wall may be located on the lot's interior side yard property line, however the exterior sideyard-facing building wall of adjoining lots must be separated by a minimum of five (5) feet. (Access and/or maintenance easements may need to be created by individual builders or property owners to facilitate maintenance of buildings and/or areas that are located on or very close to an interior sideyard property line.)

26' Zero Lot-Line (Rear loaded) - 1 Car Garage

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EXHIBIT F - (PAGE 10)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

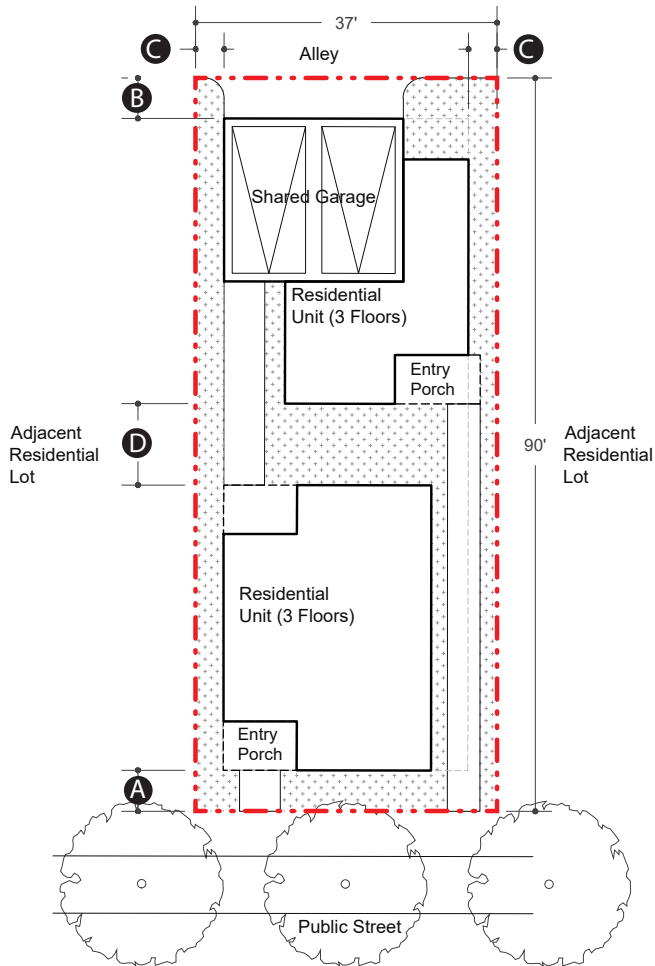


Diagram is illustrative only. Table shall govern.

	Two-Unit Residential
Minimum Lot Size	2400 SF
Minimum Lot Width	28 FT 33 FT on corner lots
Maximum Height	45 FT 4 Stories
A Minimum Street Front Setback	5 FT
B Minimum Rear Yard Setback (Alley)	5 FT
C Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
D Minimum Separation between Units ¹	5 FT
Maximum Impervious Cover	95%
Common Courtyard Setback	0 FT

FOOTNOTES:

1. Second Residential Unit may be attached to the Main building.

37' Two-Unit Residential Detached - Rear Loaded
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EXHIBIT F - (PAGE 11)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

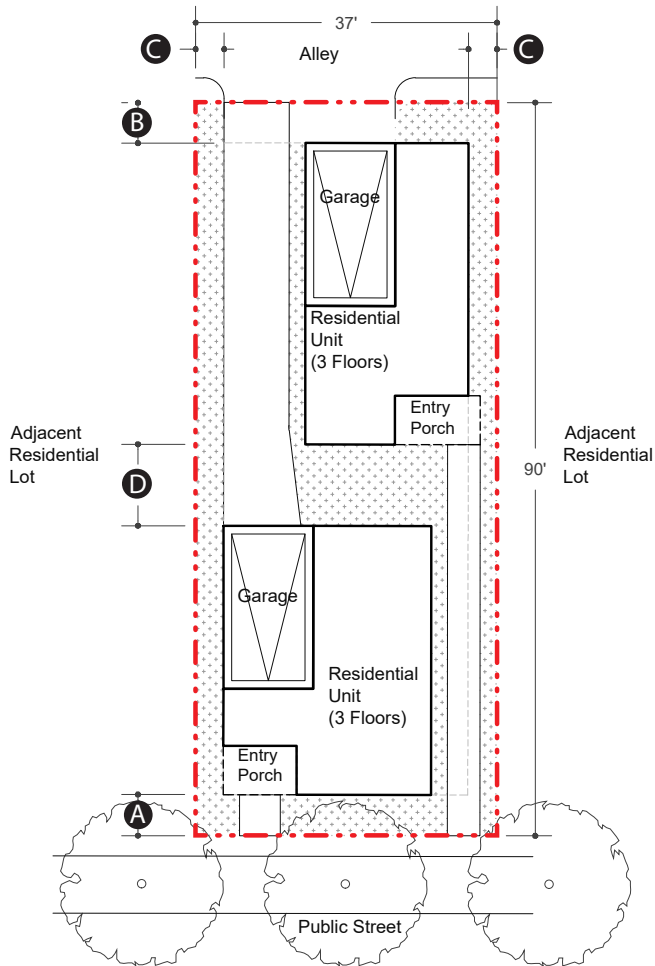


Diagram is illustrative only. Table shall govern.

		Two-Unit Residential
	Minimum Lot Size	2400 SF
	Minimum Lot Width	28 FT 33 FT on corner lots
	Maximum Height	45 FT 4 Stories
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback (Alley)	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
D	Minimum Separation between Units	5 FT
	Maximum Impervious Cover	95%
	Common Courtyard Setback	0 FT

37' Two-Unit Residential Detached - Rear Loaded with Driveway

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EXHIBIT F - (PAGE 12)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

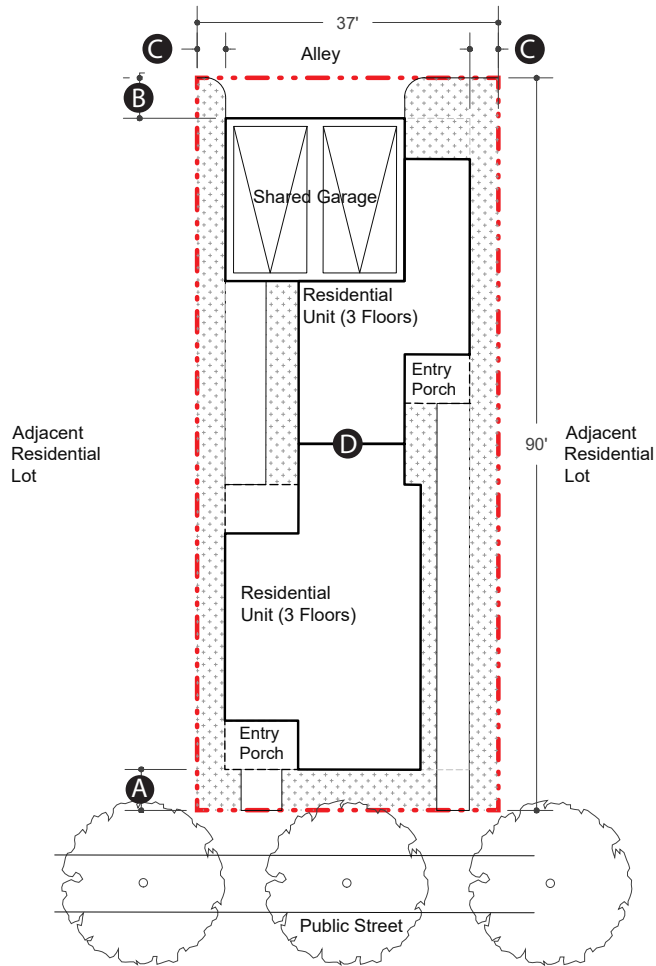


Diagram is illustrative only. Table shall govern.

		Two-Unit Residential
	Minimum Lot Size	2400 SF
	Minimum Lot Width	28 FT 33 FT on corner lots
	Maximum Height	45 FT 4 Stories
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback (Alley)	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
D	Maximum Separation between Units ¹	0 FT
	Maximum Impervious Cover	95%
	Common Courtyard Setback	0 FT

37' Two-Unit Residential Attached - Rear Loaded

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EXHIBIT F - (PAGE 13)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

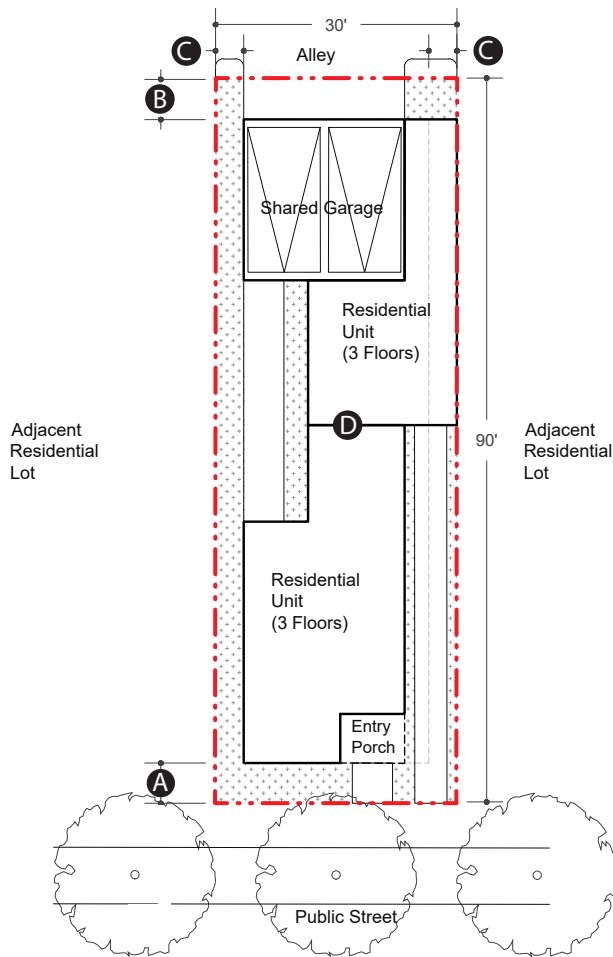


Diagram is illustrative only. Table shall govern.

A B C D		Two-unit Residential
	Minimum Lot Size	2400 SF
	Minimum Lot Width	28 FT 33 FT on corner lots
	Maximum Height	45 FT 4 Stories
	Minimum Street Front Setback	5 FT
	Minimum Rear Yard Setback (Alley)	5 FT
	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
	Minimum Separation between Units	0 FT
	Maximum Impervious Cover	95%
	Common Courtyard Setback	0 FT

30' Two-Unit Residential Attached (Rear Loaded)
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EXHIBIT F - (PAGE 14)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

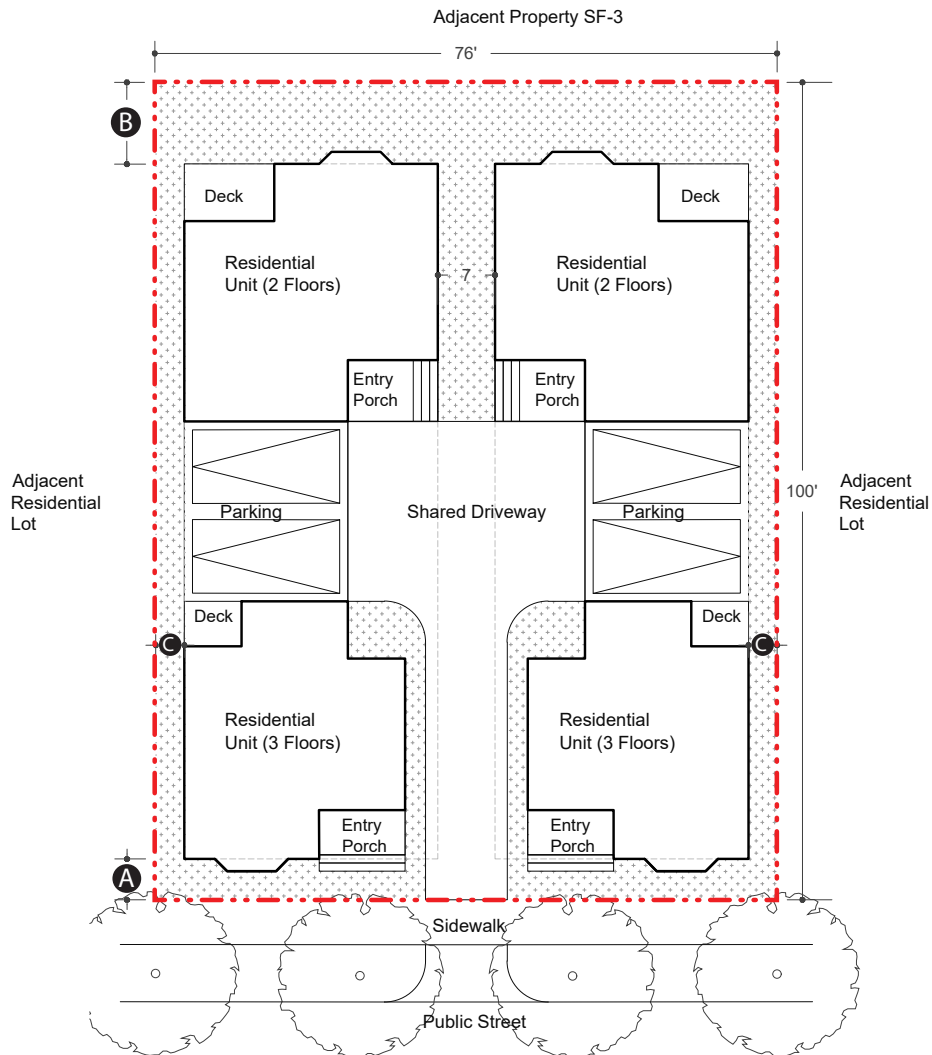


Diagram is illustrative only. Table shall govern.

A B C		Small Site Condominium
	Minimum Lot Size	2700 SF on corner lots
	Minimum Lot Width	30 FT
	Maximum Height	45 FT 4 Stories
	Minimum Street Front Setback	5 FT
	Minimum Rear Yard Setback	5 FT
	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
	Maximum Impervious Cover	90%
	Common Courtyard Setback	0 FT

Small Site Condominium

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EXHIBIT F - (PAGE 15)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

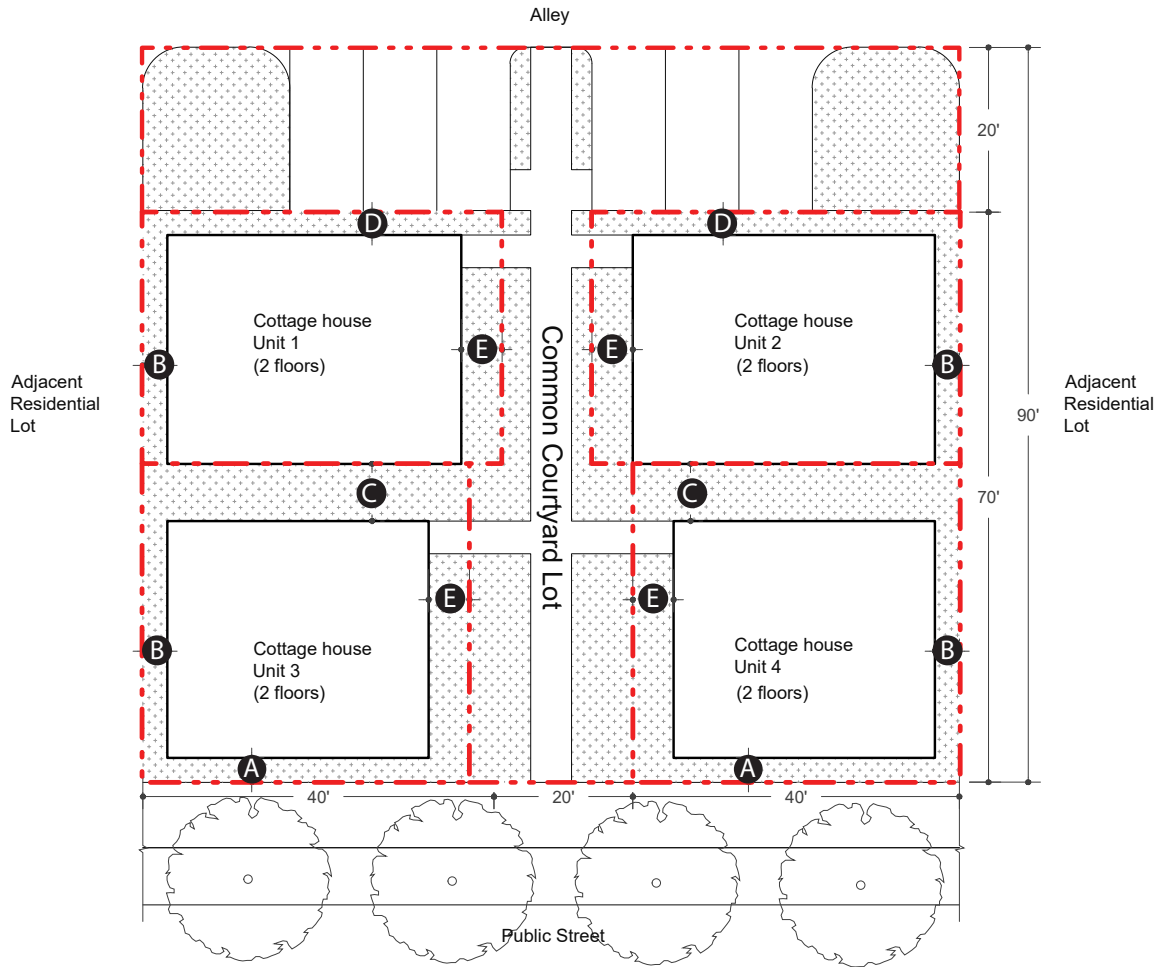


Diagram is illustrative only. Table shall govern.

		Cottage House Court
	Minimum Lot Size	800 SF
	Minimum Lot Width	20 FT
	Maximum Height	35 FT 2 Stories
A	Minimum Street Front Yard Setback	3 FT
B	Minimum Interior Side Yard Setback	3 FT-1 IN ¹
C	Minimum Interior Rear Yard Setback	0 FT ²
D	Minimum Rear Yard Setback	3 FT
	Maximum Impervious Cover	95%
E	Common Courtyard Setback	3 FT

FOOTNOTES:

1. A minimum side yard setback of 3'-1" is permitted (measured from face of building to property line) provided that the adjoining side yard setback is a minimum of 3'-11" to create a face-of-building space of at least seven (7) feet.
2. One side of a cottage house exterior wall may be located on the lot's interior rear yard property line, however the exterior sideyard-facing building walls of adjoining lots must be separated by a minimum of five (5) feet. (Access and/or maintenance easements may need to be created by individual builders or property owners to facilitate maintenance of buildings and/or areas that are located on or very close to an interior sideyard property line).
3. Refer to compatibility standards in Colony Park PUD Part 11-B. (15)

4-Unit Cottage House Court

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EXHIBIT F - (PAGE 16) **COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS**

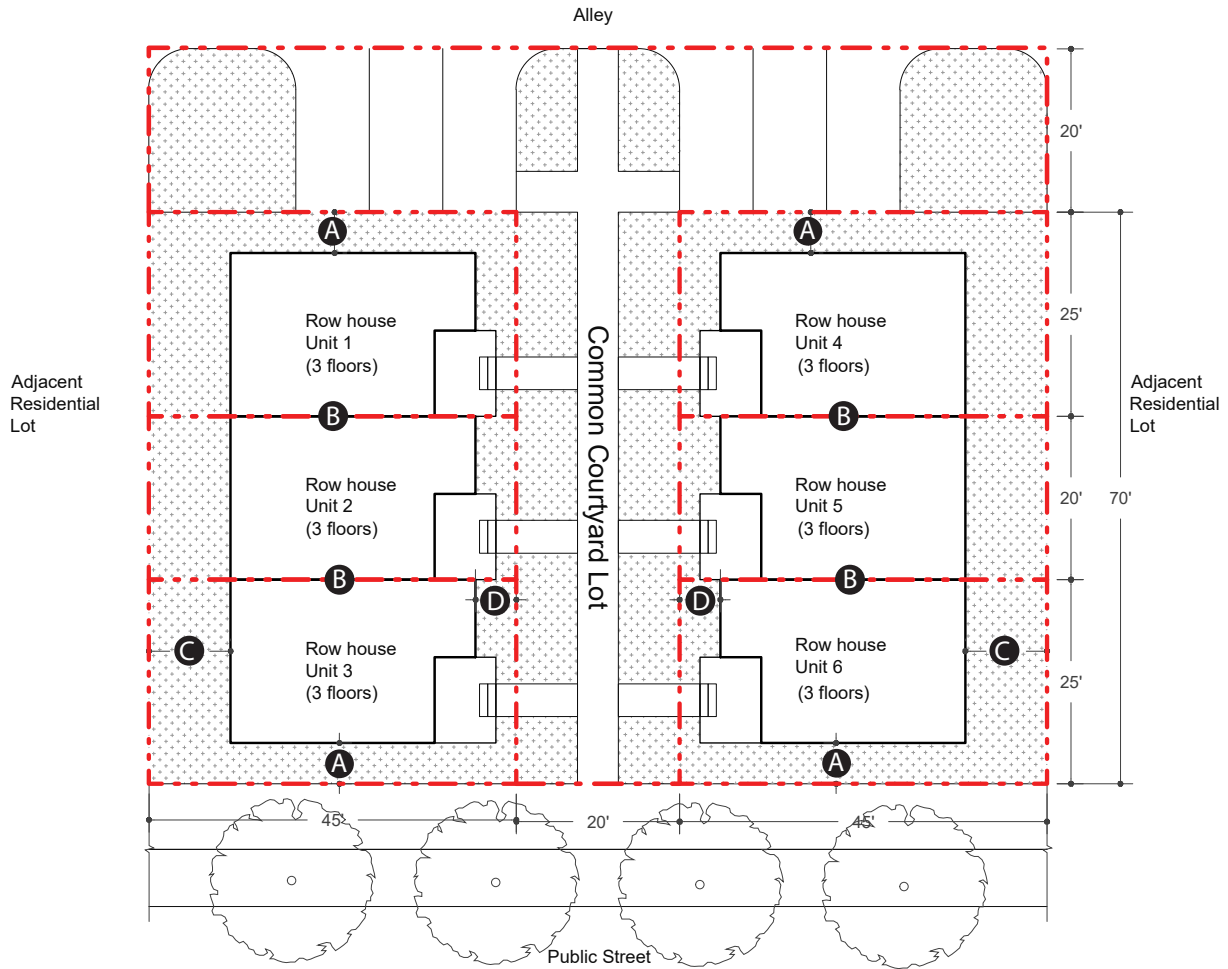


Diagram is illustrative only. Table shall govern.

		Row House Court
A B C D	Minimum Lot Size	600 SF, 800 SF on corner lots
	Minimum Lot Width	20 FT
	Maximum Height	45 FT 4 Stories
	Minimum Street and Alley Setback	3 FT
	Minimum Interior Side Yard Setback	0 FT
	Minimum Rear Yard Setback	5 FT
	Maximum Impervious Cover	95%
	Common Courtyard Setback	5 FT

6-Unit Row House Court

Prepared by McCann Adams Studio for Catellus - DRAFT September 7, 2023

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EXHIBIT J

COLONY PARK P.U.D. OFF-STREET LOADING AND PARKING REGULATIONS AND RATIOS

- (1) There is no off-street loading requirement for a building with less than 10,000 square feet of gross building area. The director shall determine the location, number, and dimensions of the off-street loading for a larger building.
- (2) Except as provided by the director, parking in alleys is prohibited.
- (3) This section establishes minimum vehicular parking requirements:
 - (a) Except as otherwise provided in this subsection, a commercial use shall provide one parking space for every 500 square feet of gross building area.
 - (b) An office use shall provide one parking space for every 500 square feet of gross building area.
 - (c) A condominium residential, multi-family residential, group residential and retirement housing use shall provide one parking space for each unit.
 - (d) A yard house, row house, shop house, zero lot line, two-unit residential, small-site condominium, cottage court, row house court, duplex, and group home (Class I General, Class I Limited, and Class II) shall provide one parking space for each dwelling unit.
 - (e) A yard house or row house is not required to provide additional parking for an accessory dwelling unit.
 - (f) A shop house is not required to provide additional parking for a commercial use if the commercial use does not exceed 750 square feet.
 - (g) A daycare service (commercial, general and limited), primary educational facility (private and public), or secondary educational facilities (public and private) use shall provide one parking space for each employee.
 - (h) An indoor entertainment use shall provide one parking space for every 15 seats.
 - (i) Off-street parking is not required for park and recreational facilities, community recreation facilities (private and public), community events facilities and outdoor sports and recreational facilities (such as neighborhood parks, pavilions, picnic shelters or tables, playgrounds, swimming pools, basketball/sport courts, amphitheaters, or bike rental facilities).
- (4) City of Austin parking requirements can supersede the standards listed in (3) above if they are less restrictive.
- (5) Except as otherwise provided in this section, bicycle parking shall be provided in accordance with Chapter 25-6, Appendix A of the City Code. A commercial use parking lot or garage shall provide not less than one bicycle parking space for every 20 motor vehicle parking spaces.
- (6) Within the LTC and ETOD land use areas, the required parking for a use may be located anywhere in the land use areas. Community and shared parking facilities are encouraged.

EXHIBIT K - (PAGE 1)
COLONY PARK P.U.D. CRITERIA MANUAL

A. GENERAL

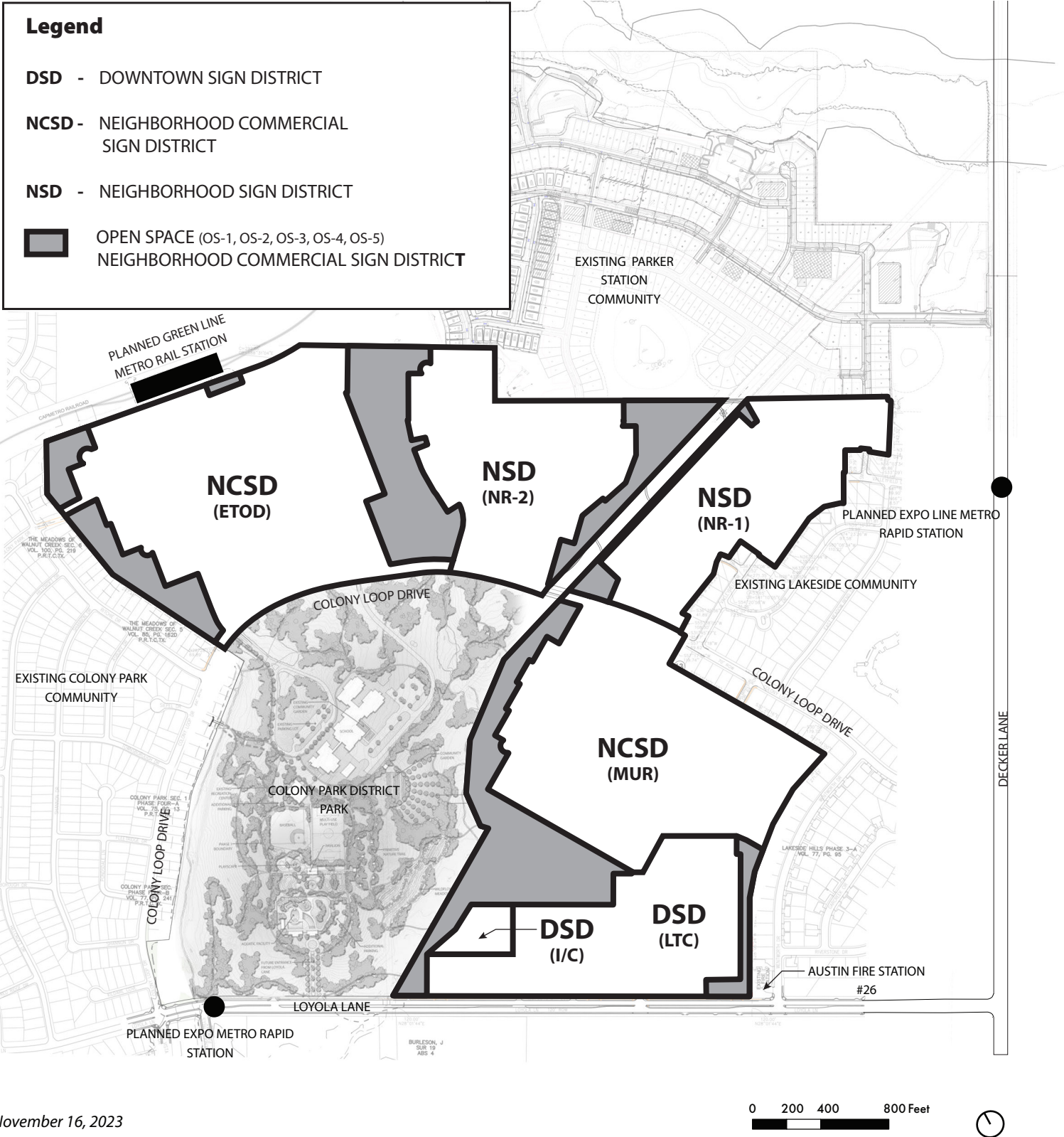
1. The following versions of the City of Austin’s criteria manuals are adopted for Colony Park PUD unless otherwise superseded by the modifications listed in this Exhibit. To the extent of any conflicts, this Exhibit K shall govern. ***[NOTE: The Development Team will address this further through the Law Department and other impacted departments as part of the Council approval process. If a lock-in provision is established pursuant to A.2 below, dates may be added to this A.1 to specify applicable criteria manual versions for clarity.]***
 - a. Building Criteria Manual
 - b. Drainage Criteria Manual
 - c. Environmental Criteria Manual
 - d. Fire Protection Criteria Manual RESERVED for future version to be updated for IFC2021
 - e. Transportation Criteria Manual
 - f. Utilities Criteria Manual
 - g. Standards Manual
 - h. Standard Specifications Manual
2. Colony Park PUD shall be subject to those rules and regulations in effect as follows:
_____ ***[NOTE: The Development Team will address this further through the Law Department and other impacted departments as part of the Council approval process.]*** .
3. Unless maximum allowable densities as shown in PUD Exhibit E are exceeded, all future updates to the Colony Park’s Traffic Impact Analysis (TIA) for the Colony Park PUD shall be done administratively using the 11th edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual Applicable trip reductions to reflect pass by, internal capture, transit, and TDM reductions will applied to develop the adjusted peak hour trips. The critical peak hour trip (PHT) for this development occurs during the PM peak and therefore, all evaluations will be based on PM Peak Hour Trip (PHT) trip rates. The PHT trip rates are shown in the Colony Park’s TIA (as it may be administratively amended updated) and will be used as development occurs.
4. The Colony Park PUD Design Guidelines (the “Design Guidelines”) referenced in this Criteria Manual will be those design guidelines approved by the City.

B. DRAINAGE CRITERIA MANUAL MODIFICATIONS

1. DCM 1.2.4 (Drainage System) subsection (A) is modified to add “Within the Colony Park PUD, ponds located in parks and open spaces to be conveyed to the City of Austin will be designed to City’s standards of public ponds in this section, as modified, even though they will be maintained by the Land Developer for the entire project (Catellus or its designated entity). Ponds that are located within private parcels will be designed to Commercial Development standards.”
2. DCM 1.2.4 (Drainage System) subsection (E) is modified to remove ramps into

EXHIBIT L

COLONY PARK P.U.D. SIGNAGE DISTRICTS



Draft November 16, 2023