

GENERAL NOTES

GENERAL NOTES

- ALL WORK TO CONFORM TO AND MEET LOCAL MINIMUM CODES, ORDINANCES, RULES, REGULATIONS AND LAWS OF BUILDING OFFICIALS OR AUTHORITIES HAVING JURISDICTION. ALL WORK NECESSARY TO COMPLY WITH SUCH REQUIREMENTS SHALL BE PROVIDED BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR LAYOUT OF PROJECT - REPORT ANY VARIATIONS BETWEEN ACTUAL SITE CONDITIONS AND INFORMATION SHOWN ON DRAWINGS TO ARCHITECT IN TIMELY MANNER.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL STRUCTURAL REQUIREMENTS.
- GENERAL CONTRACTOR TO CUT + PATCH FOR ALL TRADES UNLESS NOTED OTHERWISE.
- DETAILS TO MATCH EXISTING CONDITIONS EXCEPT AS NOTED. VERIFY AND RENEW W/ARCH.
- GENERAL CONTRACTOR IS TO PROVIDE ALL BUILDING PERMITS + UTILITIES. EACH SUB CONTRACTOR TO PROVIDE PERMITS AND FEES REQUIRED FOR HIS TRADE AND ALL INSPECTIONS REQUIRED BY CODE.
- GENERAL CONTRACTOR TO KEEP CONSTRUCTION SITE CLEAN + ORGANIZED.
- RELOCATE EXISTING UTILITIES AS REQUIRED (GAS, ELECTRIC, CABLE + TELEPHONE) SEE SITE PLAN FOR NEW LOCATIONS.
- ALL TRENCHING REED FOR UTILITIES TO BE DONE W/ EXTREME CARE TO ENSURE PROTECTION OF TREE AND PLANTING ROOT SYSTEMS. WORK TO BE AROUND ROOTS, NOT THROUGH.
- G.C. TO PROTECT ALL PLANTING BEDS, TREES, OVERHEAD BRANCHES AND LANDSCAPE. U.N.O. REVIEW W/ OWNER ALL AREAS WHERE ACCESS WILL BE NEEDED SO THAT OWNER CAN MAKE PROVISIONS TO PROTECT OR REMOVE MATERIAL.

TREE PROTECTION

- ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING.
- PROTECTIVE FENCES SHALL BE ERECTED ACCORDING TO CITY OF AUSTIN STANDARDS FOR TREE PROTECTION.
- PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
- EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD UP WITHIN TREE DRIP LINES.
- PROTECTIVE FENCES SHALL SURROUND THE TREES OR GROUP OF TREES, AND WILL BE LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIP LINE) FOR NATURAL AREAS. PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING:
 - A. SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
 - B. ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6" CUT OR FILL) OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE CITY ARBORIST.
 - C. WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.
 - D. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL, STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
- EXCEPTIONS TO INSTALLING FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
 - A. WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, ERECT THE FENCE APPROXIMATELY 2 TO 4 FEET BEYOND THE AREA DISTURBED.
 - B. WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIP LINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA PRIOR TO SITE GRADING SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZE ROOT DAMAGE.
 - C. WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6 TO 10 FEET OF WORK SPACE BETWEEN THE FENCE AND THE BUILDING.
 - D. WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE CITY ARBORIST AT 974-1876 TO DISCUSS ALTERNATIVES.
- WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4' TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED ON PLANKING TO A HEIGHT OF 8' OR 9' OR A HEIGHT OF LOWER BRANCHING IN ADDITION TO THE REDUCED FENCING PROVIDED.
- TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
- ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
- ANY TRENCHING REED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
- NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4" SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
- PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE DAMAGE OCCURS (RIPPING OF BRANCHES, ETC.).
- ALL FINISHED PRUNING SHALL BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOC. PRUNING STANDARDS FOR SHADE TREES AVAILABLE ON REQUEST FROM THE CITY ARBORIST).
- DEVIATIONS FROM THE ABOVE NOTES MAY BE CONSIDERED ORDINANCE VIOLATIONS IF THERE IS SUBSTANTIAL NON-COMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.

PROJECT INFORMATION

ADDRESS:

1407 W. 9TH STREET
AUSTIN, TEXAS 78703

LEGAL DESCRIPTION:

LOT 1 OAT WILLES

DESCRIPTION OF WORK:

RENOVATION / ADDITION TO EXISTING TWO-STORY PRINCIPAL RESIDENCE

RENOVATION / ADDITION TO EXISTING ACCESSORY STRUCTURE

NEW POOL

OWNER: SHEILA YOUNGBLOOD
1407 W. 9TH STREET
AUSTIN, TX 78703

ARCHITECT: DILNA ARCHITECTURE + INTERIORS LLC
7810 COPPERAS DRIVE
AUSTIN, TX 78749
512.890.2334
CONTACT: MICHAEL VARHALLA, AIA
MICHAEL@DILNA.DESIGN

SHEET INDEX

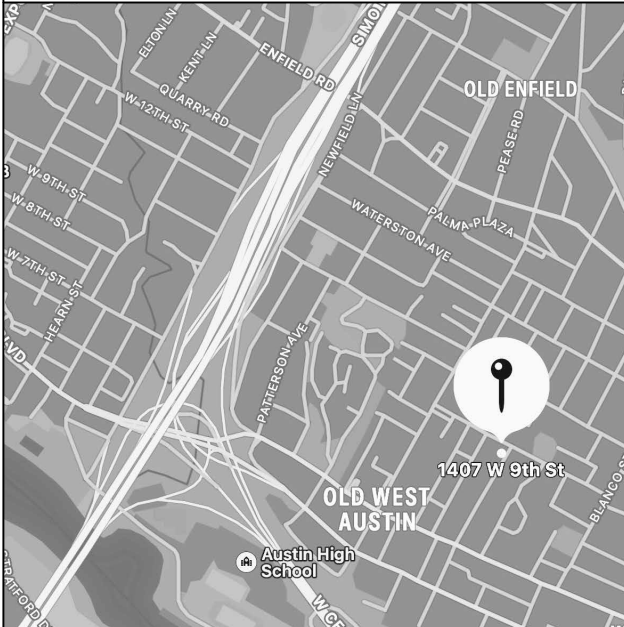
ARCHITECTURAL

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A-1.3	SECOND FLOOR DEMO PLAN
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APPLICABLE CODES

2021	INTERNATIONAL RESIDENTIAL CODE
2021	INTERNATIONAL FIRE CODE
2021	NATIONAL ELECTRICAL CODE

PROJECT VICINITY

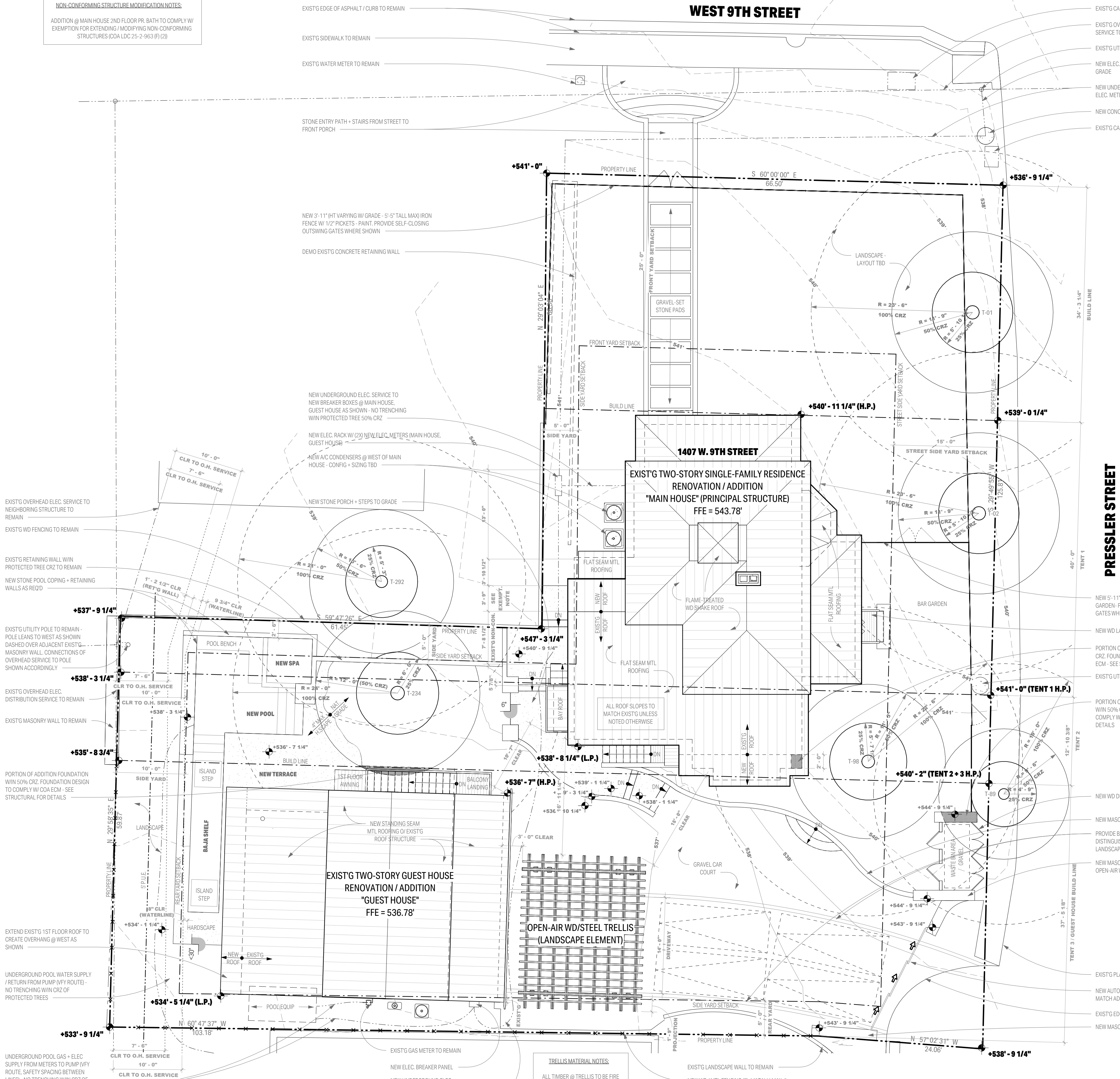


VISITABILITY NOTES:

THIS PROJECT IS A RENOVATION / ADDITION AND IS THEREFORE NOT SUBJECT TO VISITABILITY REQUIREMENTS PER CITY OF AUSTIN ORDINANCE 20140.130-021

NON-CONFORMING STRUCTURE MODIFICATION NOTES:

ADDITION @ MAIN HOUSE 2ND FLOOR PR. BATH TO COMPLY W/ EXEMPTION FOR EXTENDING / ADOPTING NON-CONFORMING STRUCTURES (COA LDC 25-2.963 (F) (2))



TREE SCHEDULE

ID	TRUNK DIAMETER	SPECIES	CRZ AREA	CRZ IMPACT AREA (EXIST'G)	CRZ IMPACT AREA (PROPOSED)	CRZ IMPACT % (EXIST'G)	CRZ IMPACT % (PROPOSED)
T-01	23.5"	CREPE MYRTLE	1735 SF	505 SF	505 SF	29.11%	29.28%
T-02	23.5"	CREPE MYRTLE	1735 SF	505 SF	505 SF	29.11%	29.28%
T-09	19"	PECAN	1134 SF	423 SF	493 SF	37.30%	43.47%
T-08	22.5"	POST OAK	1590 SF	285 SF	424 SF	17.92%	26.66%
T-234	24"	AMERICAN ELM	1810 SF	591 SF	877 SF	32.66%	48.46%
T-292	21"	PECAN	1395 SF	530 SF	500 SF	38.25%	36.74%

BUILDING AND SITE AREA

AREA	EXISTING	NEW	EXEMPTION	TOTAL
(A) 1ST FLR CONDITIONED	1833 SF	273 SF	0 SF	2106 SF
(B) 2ND FLR CONDITIONED	1898 SF	104 SF	0 SF	2002 SF
(C) 3RD FLR CONDITIONED	0 SF	0 SF	0 SF	0 SF
(D) BASEMENT	0 SF	0 SF	0 SF	0 SF
(E) ATTACHED COVERED PARKING	350 SF	51 SF	0 SF	402 SF
(F) DETACHED COVERED PARKING	0 SF	0 SF	0 SF	0 SF
(G) COVERED WOOD DECKS	0 SF	0 SF	0 SF	0 SF
(H) COVERED PATIO	0 SF	0 SF	0 SF	0 SF
(I) COVERED PORCH	144 SF	43 SF	0 SF	187 SF
(J) BALCONY	210 SF	17 SF	0 SF	227 SF
(K) OTHER - TRELLIS COVERED	0 SF	149 SF	75 SF	75 SF
(L) OTHER - UNCONDITIONED ENCLOSED AREA	0 SF	28 SF	0 SF	28 SF
(M) DRIVEWAY	125 SF	860 SF	0 SF	985 SF
(N) SIDEWALKS	0 SF	0 SF	0 SF	0 SF
(O) UNCOVERED PATIO	0 SF	696 SF	0 SF	696 SF
(P) UNCOVERED WOOD DECKS	0 SF	28 SF	14 SF	42 SF
(Q) AC PADS / CONC. PLATWORK	0 SF	377 SF	0 SF	377 SF
(R) POOL, COPING, RETG WALLS, OTHER	26 SF	206 SF	0 SF	232 SF
(S) POOL	0 SF	263 SF	263 SF	0 SF
(T) SPA	0 SF	50 SF	0 SF	0 SF
TOTAL SITE AREA	4384 SF	3155 SF	402 SF	7141 SF

FLOOR AREA RATIO

AREA	EXISTING	NEW	EXEMPTION	TOTAL
(A) 1ST FLR	1833 SF	284 SF	0 SF	2117 SF
(B) 2ND FLR	1898 SF	121 SF	0 SF	2022 SF
(C) 3RD FLR	0 SF	0 SF	0 SF	0 SF
(D) CEILINGS > 15'	0 SF	0 SF	0 SF	0 SF
(E) GROUND FLOOR PORCH	144 SF	43 SF	187 SF	0 SF
(F) BASEMENT	0 SF	0 SF	0 SF	0 SF
(G) ATTIC	0 SF	0 SF	0 SF	0 SF
(H) GARAGE - ATTACHED	350 SF	51 SF	200 SF	202 SF
(I) GARAGE - DETACHED	0 SF	0 SF	0 SF	0 SF
(J) CARPORT - ATTACHED	0 SF	0 SF	0 SF	0 SF
(K) CARPORT - DETACHED	0 SF	0 SF	0 SF	0 SF
(L) ACCESSORY BUILDINGS (DETACHED)	0 SF	0 SF	0 SF	0 SF
TOTAL FAR COVERAGE	4233 SF	500 SF	387 SF	4346 SF

TREE NOTES

CALCULATED CRZ IMPACT AREAS INCLUDE APPROXIMATIONS OF NEIGHBORING PROPERTY IMPACTS

TREE PRUNING:

NO TREE PRUNING IS EXPECTED BASED ON PROPOSED DESIGN AND ALREADY EXISTING IMPACTS INCURRED BY PREVIOUS DEVELOPMENTS ON PROPERTY.

AREA CALCULATIONS

TOTAL SITE AREA: 11,879 SF
FAR AREA
4346 SF (4346/11879 = 36.59%)
BUILDING COVERAGE
2809 SF (2809/11879 = 23.64%)
IMPERVIOUS COVERAGE
5113 SF (5113/11879 = 43.04%)
TOTAL BUILDING AREA
5000 SF
(NOTE: TOTAL BUILDING AREA FIGURE ABOVE INCLUDES 50% OF ALL COVERED AREA UNDER OPEN ROOF TRELLIS (136 TOTAL SF MORE THAN INDICATED IN LINE ITEM K OF BUILDING AND SITE AREA TABLE AT LEFT. TABLE 'LEFT' ALLOCATES SITE TO 'DRIVEWAY').

AREA NOTES

MAIN HOUSE AND GUEST HOUSE AREAS ARE CALCULATED CUMULATIVELY

SITE PLAN
PROPOSED SITE PLAN
1/8" = 1'-0"

DILNA
ARCHITECTURE + INTERIORS

850 • 221 • 4194
7810 COPPERAS DR
AUSTIN, TX | 78749



PILLOW HOUSE
RENOVATION / ADDITION
1407 W. 9TH STREET | AUSTIN, TX | 78703

ISSUE: AHLCK BACKGROUNDS 04.05.23
PERMIT SET 07.11.23
PERMIT / HISTORIC UPDATE SET 11.17.23

REVISIONS:

THESE DRAWINGS ARE PROPERTY OF THE ARCHITECT AND MAY ONLY BE USED IN CONJUNCTION WITH THIS PROJECT

CAUTION:

CAUTION: DO NOT SCALE DRAWINGS

TITLE, PROJECT INFORMATION + SITE PLAN

A-0.1

DOOR SCHEDULE							
KEY	TYPE	SIZE	THK	OPERATION	LOCATION	REMARKS	
GH-101	A	2'-8"X6'-8"	1 3/4"	SWING	ENTRY	EXTERIOR, NEW UNIT	
GH-102	B	2'-0"X6'-8"	1 3/8"	SWING	LAUNDRY	EXTERIOR, EXISTG RELOCATED UNIT (FROM EXISTG 2ND FLR GUEST HOUSE ENTRY)	
GH-103	C	3'-0"X6'-8"	1 3/8"	SWING	GARAGE	EXTERIOR, NEW UNIT	
GH-104	D	10'-0"X6'-8"	1 3/8"	OVERHEAD	GARAGE	EXTERIOR, NEW UNIT	
GH-105	E	2'-8"X6'-8"	1 3/4"	SWING	GARAGE	EXTERIOR, NEW UNIT	
GH-106	F/F	2'-8 1/2"X7'-6 3/4"	1 3/4"	BI-PARTING SWING	RETREAT	EXTERIOR, NEW UNIT, PANELS BY OWNER	
GH-107	F/F	2'-8 1/2"X7'-6 3/4"	1 3/4"	BI-PARTING SWING	RETREAT	EXTERIOR, NEW UNIT, PANELS BY OWNER	
GH-108	F/F	2'-8 1/2"X7'-6 3/4"	1 3/4"	BI-PARTING SWING	RETREAT	EXTERIOR, NEW UNIT, PANELS BY OWNER	
GH-109	F/F	2'-8 1/2"X7'-6 3/4"	1 3/4"	BI-PARTING SWING	RETREAT	EXTERIOR, NEW UNIT, PANELS BY OWNER	
GH-110	F/F	2'-8 1/2"X7'-6 3/4"	1 3/4"	BI-PARTING SWING	RETREAT	EXTERIOR, NEW UNIT, PANELS BY OWNER	
GH-111	G	2'-6"X6'-8"	1 3/8"	POCKET	RETREAT	NEW UNIT, PANELS BY OWNER	
GH-112	G	2'-6"X6'-8"	1 3/8"	POCKET	STORAGE/UTILITY	NEW UNIT, PANELS BY OWNER	
GH-113	B	2'-8"X6'-8"	1 3/8"	SWING	STORAGE/UTILITY	NEW UNIT	
GH-114	B	2'-8"X6'-8"	1 3/8"	POCKET	STORAGE/UTILITY	NEW UNIT	
GH-115	G/G	4'-2"X7'-6 3/4"	1 3/4"	BI-PARTING SWING	GARAGE	NEW UNIT, PANELS BY OWNER, VVY FIRE RATING	
GH-116	B	2'-4"X6'-8"	1 3/8"	SWING	LOWER BATH	NEW UNIT	
GH-201	H/H	4'-0"X8'-0"	1 3/8"	SWING	BEDROOM 2	EXTERIOR, NEW UNIT	
GH-202	H/H	4'-0"X8'-0"	1 3/8"	SWING	SITTING	EXTERIOR, NEW UNIT	
GH-203	H/H	4'-0"X8'-0"	1 3/8"	SWING	BEDROOM 1	EXTERIOR, NEW UNIT	
GH-204	B	2'-8"X7'-0"	1 3/8"	SWING	BEDROOM 2	EXISTG RELOCATED UNIT (FROM EXISTG GUEST HOUSE 2ND FLR)	
GH-205	B	2'-4"X6'-8"	1 3/8"	POCKET	BEDROOM 2	EXISTG RELOCATED UNIT (FROM EXISTG GUEST HOUSE 2ND FLR)	
GH-206	B	2'-6"X7'-0"	1 3/8"	SWING	BATH 2	NEW UNIT	
GH-207	J	2'-0"X7'-0"	1 1/2"	SWING	BATH 2	NEW UNIT, GLASS SHOWER DOOR	
GH-208	B	2'-8"X7'-0"	1 3/8"	SWING	BEDROOM 1	NEW UNIT	
GH-209	B	2'-4"X6'-8"	1 3/8"	POCKET	BEDROOM 1	EXISTG RELOCATED UNIT (FROM EXISTG GUEST HOUSE 2ND FLR)	
MH-101	EXISTG	3'-0"X6'-8"	1 3/4"	SWING	ENTRY HALL	EXTERIOR, EXISTG UNIT TO REMAIN	
MH-102	A	2'-5 1/2"X6'-8"	1 3/8"	SWING	DINING	EXISTG UNIT TO REMAIN	
MH-103	B	4'-4 5/8"X8'-3 1/2"	1 3/4"	BI-PARTING SWING	BAR	EXTERIOR, NEW UNIT, SITE-GLAZED TO MATCH ADJACENT WINDOWS	
MH-104	A	2'-8"X6'-8"	1 3/4"	SWING	KITCHEN	EXTERIOR, NEW UNIT, TRANSOM ABOVE (SEE WINDOW SCHEDULE)	
MH-105	A	2'-8"X6'-8"	1 3/4"	SWING	LOUNGE	EXTERIOR, NEW UNIT, TRANSOM ABOVE (SEE WINDOW SCHEDULE)	
MH-106	B	2'-8"X7'-0"	1 3/8"	SWING	VESTIBULE	NEW UNIT, DISCREET JIB FIT, FLUSH W/ ADJACENT WALL PANELING	
MH-107	B	2'-8"X7'-0"	1 3/8"	SWING	VESTIBULE	NEW UNIT, DISCREET JIB FIT, FLUSH W/ ADJACENT WALL PANELING	
MH-108	EXISTG	2'-4"X6'-8"	1 3/8"	SWING	POWDER	EXISTG RELOCATED UNIT (FROM EXISTG LOWER BATH)	
MH-201	EXISTG	2'-8"X6'-8"	1 3/8"	SWING	GUEST BATH	EXISTG UNIT TO REMAIN	
MH-202	EXISTG	2'-8"X6'-8"	1 3/8"	SWING	GUEST BEDROOM	EXISTG UNIT TO REMAIN	
MH-203	EXISTG	2'-8"X6'-8"	1 3/8"	SWING	GUEST BEDROOM	EXISTG UNIT TO REMAIN	
MH-204	EXISTG	2'-8"X6'-8"	1 3/8"	SWING	GUEST BEDROOM	EXISTG UNIT TO REMAIN	
MH-205	EXISTG	2'-0"X6'-8"	1 3/8"	SWING	GUEST BEDROOM	EXISTG RELOCATED UNIT (FROM EXISTG DINING)	
MH-206	EXISTG	2'-4"X6'-8"	1 3/8"	SWING	HALL CLO.	EXISTG UNIT TO REMAIN	
MH-207	EXISTG	2'-5 1/2"X6'-8"	1 3/8"	BI-PARTING SWING	PR. BED HALL	EXISTG RELOCATED UNIT (FROM EXISTG PRIMARY CLOSET)	
MH-208	E	2'-6"X7'-0"	1 3/8"	SWING	PRIMARY BATH	EXISTG RELOCATED UNIT (FROM EXISTG PR. BED), PROVIDE WATERPROOF PAINTED FINISH @ SHWR SIDE (COLOR TBD)	
MH-209	EXISTG	4'-2"X7'-0"	1 3/4"	BI-PARTING SWING	PRIMARY BEDROOM	EXISTG UNIT TO REMAIN	

WINDOW SCHEDULE					
KEY	SIZE	OPERATION	HEAD HEIGHT AFF	REMARKS	
GH-A	2'-8 1/2"X5'-0"	SINGLE HUNG	7'-4"	EXISTG UNITS, RELOCATED FROM EXISTG GUEST HOUSE 2ND FLOOR	
GH-B	4'-5 5/8"X4'-6"	BI-PARTING SLIDER	7'-8"	NEW UNIT	
GH-C	2'-0"X2'-0"	FIXED	7'-4"	NEW UNIT	
GH-D	2'-8 1/2"X3'-3"	CASEMENT	6'-8 1/4"	NEW UNIT	
MH-A	2'-5"X7'-1"	SINGLE HUNG	VARIES, SEE ELEVS	EXISTG UNIT TO REMAIN	
MH-B	2'-5"X5'-9"	SINGLE HUNG	VARIES, SEE ELEVS	EXISTG UNITS TO REMAIN WHERE APPLICABLE (SEE DEMO PLAN), RELOCATED EXISTG UNITS AS FOLLOW: (1X) FROM EXISTG LOUNGE TO PROP. POWDER, (2X) FROM EXISTG 2ND FLR BATH TO PROP. PR. BATH, (1X) FROM EXISTG SW BED TO PROP. PR. BATH	
MH-C	2'-11"X6'-6"	SINGLE HUNG	VARIES, SEE ELEVS	EXISTG UNITS, RELOCATED AS FOLLOWS: (2X) FROM EXISTG KITCH. TO PROP. KITCHEN, (2X) FROM EXISTG LOWER BATH TO PROP. KITCHEN	
MH-D	2'-5"X9'-2"	SINGLE HUNG	VARIES, SEE ELEVS	EXISTG UNIT TO REMAIN (2X) EXISTG UNITS RELOCATED FROM EXISTG PR. CLO. TO PROP. PR. CLO.	
MH-E	2'-2"X6'-7 1/2"	FIXED	7'-3 3/4"	NEW UNIT W/ LEADED PATTERN PER WINDOW TYPES	
MH-F	4'-10 1/2"X6'-7 1/2"	FIXED	7'-7 3/4"	NEW UNIT W/ LEADED SASH BY OWNER	
MH-G	2'-7 1/4"X1'-4"	AWNING	8'-4 7/8"	NEW UNIT, MULL TO DOOR BELOW	
MH-H	2'-4"X1'-9"	FIXED	6'-8 3/4"	NEW UNIT, MULL TO DOOR BELOW	
MH-I	2'-4"X6'-8"	FIXED	6'-8"	NEW UNIT, MULL TO TRANSOM ABOVE	
MH-K	2'-10"X1'-9"	FIXED	6'-8 3/4"	NEW UNIT, MULL TO WINDOW BELOW	
MH-L	2'-0"X3'-0"	CASEMENT	8'-0"	NEW UNIT	

TREE SCHEDULE							
ID	TRUNK DIAMETER	SPECIES	CRZ AREA	CRZ IMPACT AREA (EXISTG)	CRZ IMPACT AREA (PROPOSED)	CRZ IMPACT % (EXISTG)	CRZ IMPACT % (PROPOSED)
T-01	23.5"	CREPE MYRTLE	1735 SF	534 SF	544 SF	30.78%	31.38%
T-02	23.5"	CREPE MYRTLE	1735 SF	505 SF	508 SF	29.11%	29.28%
T-89	19"	PECAN	1134 SF	423 SF	493 SF	37.30%	43.47%
T-88	22.5"	POST OAK	1580 SF	285 SF	424 SF	17.92%	26.60%
T-234	24"	AMERICAN ELM	1810 SF	291 SF	372 SF	32.65%	48.45%
T-292	21"	PECAN	1385 SF	530 SF	509 SF	38.25%	36.74%

PROVIDE PROTECTIVE TREE FENCING PER COA ECR - ENCLOSE AS MUCH OF CRZ AS FEASIBLE FOR CONSTRUCTION, TYP.

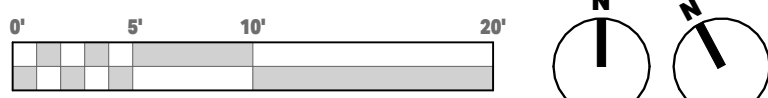
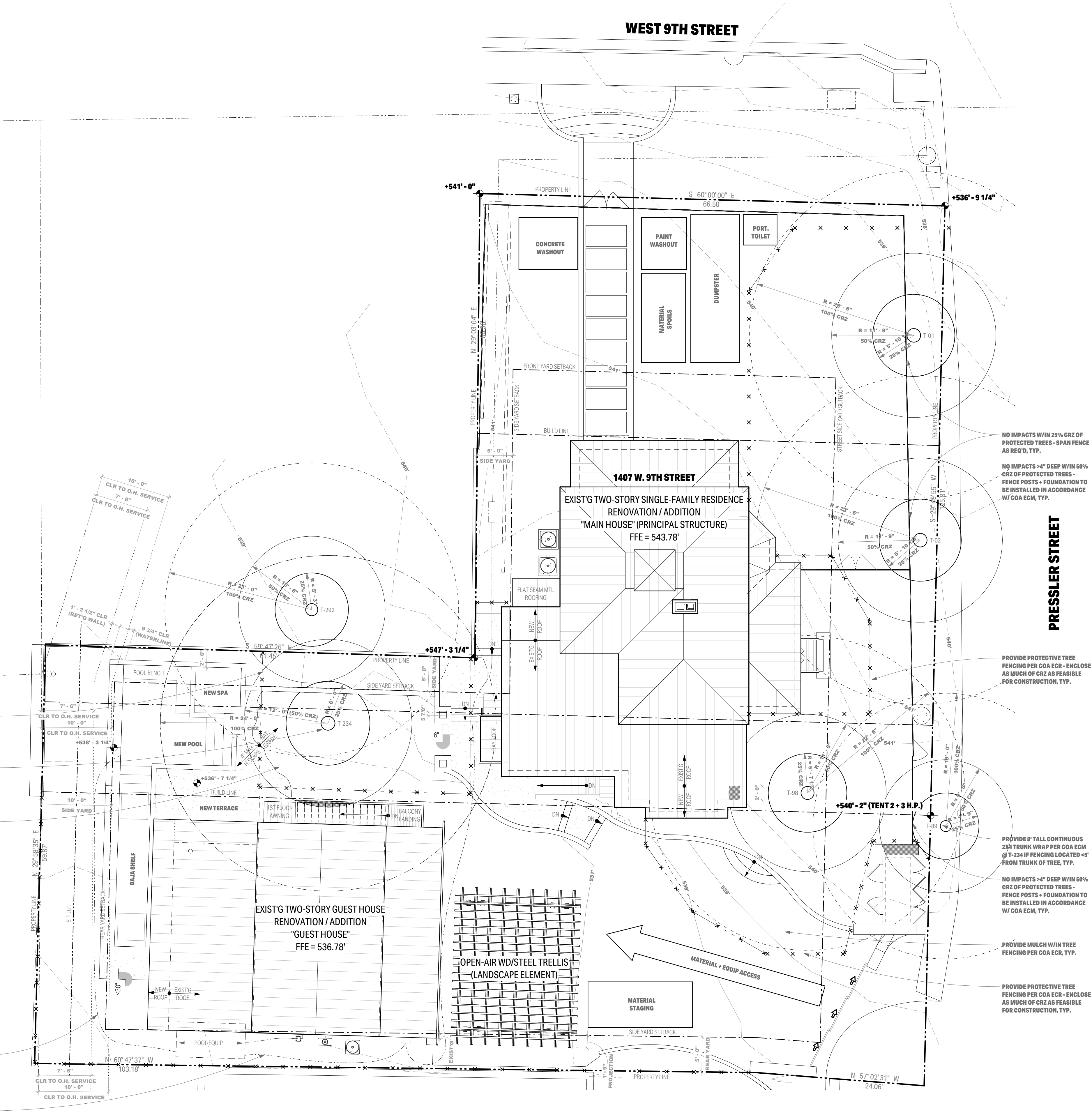
PROVIDE 8" TALL CONTINUOUS 2X4 TRUNK WRAP PER COA ECM @ T-234 IF FENCING LOCATED <8" FROM TRUNK OF TREE, TYP.

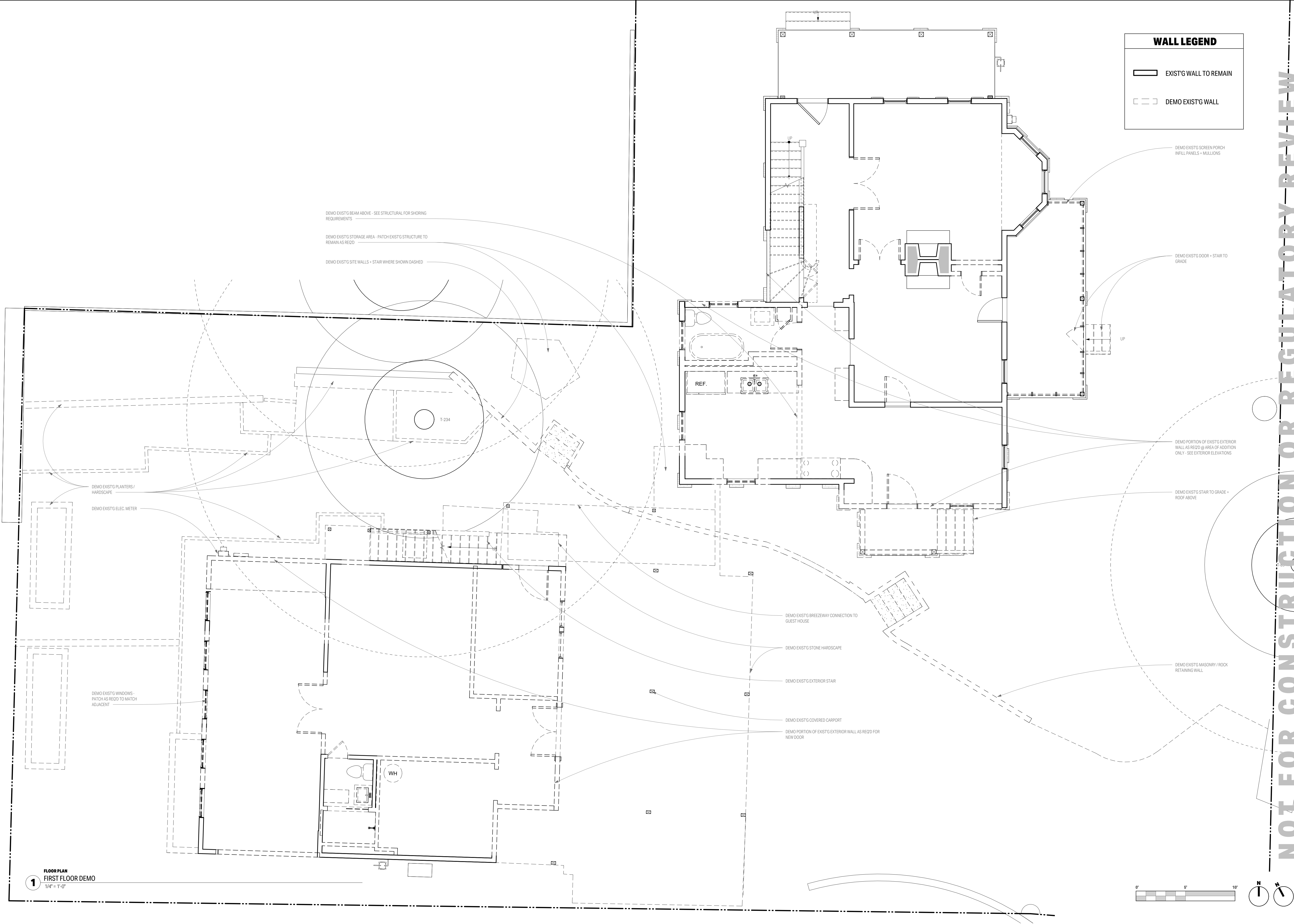
PROVIDE MULCH W/IN TREE FENCING PER COA ECR, TYP.

UNDERGROUND POOL WATER SUPPLY / RETURN FROM PUMP (VFY ROUTE) - NO TRENCHING W/IN CRZ OF PROTECTED TREES

UNDERGROUND POOL GAS + ELEC SUPPLY FROM METERS TO PUMP (VFY ROUTE, SAFETY SPACING BETWEEN LINES) - NO TRENCHING W/IN CRZ OF PROTECTED TREES

SITE PLAN
PROPOSED SITE PLAN Copy 1
1/8" = 1'-0"





WALL LEGEND

EXIST'G WALL TO REMAIN

DEMO EXIST'G WALL

DEMO EXIST'G SCREEN PORCH
INFILL PANELS + MULLIONS

DEMO EXIST'G DOOR + STAIR TO
GRADE

DEMO PORTION OF EXIST'G EXTERIOR
WALL AS REQ'D @ AREA OF ADDITION
ONLY - SEE EXTERIOR ELEVATIONS

DEMO EXIST'G STAIR TO GRADE +
ROOF ABOVE

DEMO EXIST'G MASONRY / ROCK
RETAINING WALL

DEMO EXIST'G BREEZEWAY CONNECTION TO
GUEST HOUSE

DEMO EXIST'G STONE HARDSCAPE

DEMO EXIST'G EXTERIOR STAIR

DEMO EXIST'G COVERED CARPORT

DEMO PORTION OF EXIST'G EXTERIOR WALL AS REQ'D FOR
NEW DOOR

DEMO EXIST'G BEAM ABOVE - SEE STRUCTURAL FOR SHORING
REQUIREMENTS

DEMO EXIST'G STORAGE AREA - PATCH EXIST'G STRUCTURE TO
REMAIN AS REQ'D

DEMO EXIST'G SITE WALLS + STAIR WHERE SHOWN DASHED

DEMO EXIST'G PLANTERS /
HARDSCAPE

DEMO EXIST'G ELEC. METER

DEMO EXIST'G WINDOWS -
PATCH AS REQ'D TO MATCH
ADJACENT

FLOOR PLAN
FIRST FLOOR DEMO
1/4" = 1'-0"

DÍLNA
ARCHITECTURE + INTERIORS

850 • 221 • 4194
7810 COPPERAS DR
AUSTIN, TX | 78749

REGISTERED ARCHITECT
MICHAEL JOSEPH WILLY
STATE OF TEXAS
EXPIRES 06/30/24

PILLOW HOUSE
RENOVATION / ADDITION
1407 W. 9TH STREET | AUSTIN, TX | 78703

ISSUE: AHLIC BACKGROUNDS 04.05.23
PERMIT SET 07.11.23
PERMIT / HISTORIC UPDATE SET 11.17.23

REVISIONS:

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CONJUNCTION WITH THIS PROJECT

CAUTION:
CAUTION: DO NOT SCALE DRAWINGS

MAIN HOUSE - FIRST FLOOR DEMO
PLAN

A-1.1

PLAN NOTES

- DIMENSIONS ARE TO FRAMING U.N.O. VERIFY + NOTIFY ARCH. IF DISCREPANCIES
- ANY NEW MECHANICAL, ELECTRICAL + PLUMBING SYSTEMS TO BE DESIGN BUILD BY GC.
- SMOKE DETECTORS: PROVIDE HARD-WIRED, INTERCONNECTED, BATTERY BACKUP SMOKE DETECTORS IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN IMMEDIATE VICINITY AND ON EACH ADDITIONAL STORY WITHIN THE DWELLING UNIT INCLUDING BASEMENTS, IN ACCORDANCE WITH IRC R314.
- PROVIDE CARBON MONOXIDE DETECTOR IN IMMEDIATE VICINITY OF SLEEPING ROOMS IN ACCORDANCE WITH IRC R315.
- SAFETY GLASS TO BE PROVIDED IN FOLLOWING AREAS: GLAZING IN DOORS; GLAZING ADJACENT TO DOORS WITHIN 24 INCHES; GLAZING IN WALLS ENCLOSED BATHTUBS, SHOWERS, WHIRLPOOLS, SAUNAS ETC; GLAZING IN PANELS IN EXCESS OF 9 SQ FT W/ BOTTOM < 18", TOP > 36", WALKING WIN 36" SKYLIGHTS, ROOFS, AND SLOPED GLAZING.

WALL LEGEND

- EXIST'G WALL TO REMAIN
- EXTERIOR WALL - 2X6 WD STUDS @ 16" O.C. U.N.O. (V.F.Y. W/ STRUCTURAL) W/ WD SIDING O/ 3/4" RAINGREEN @ EXTERIOR, 5/8" GYP BD @ INTERIOR
- EXTERIOR WALL - 2X4 WD STUDS @ 16" O.C. U.N.O. (V.F.Y. W/ STRUCTURAL) W/ WD SIDING O/ 3/4" RAINGREEN @ EXTERIOR, 5/8" GYP BD @ INTERIOR
- INTERIOR WALL - 2X4 WD STUDS W/ 5/8" GYP BD @ EA. SIDE

DRAWING LEGEND

- EXTENT OF ADDITION

VISITABILITY NOTES:

THIS PROJECT IS A RENOVATION / ADDITION AND IS THEREFORE NOT SUBJECT TO VISITABILITY REQUIREMENTS PER CITY OF AUSTIN ORDINANCE 2014030-021

EXIST'G STAIR + HANDRAIL TO REMAIN - REPAIR / REHABILITATE / REFINISH AS REQ'D

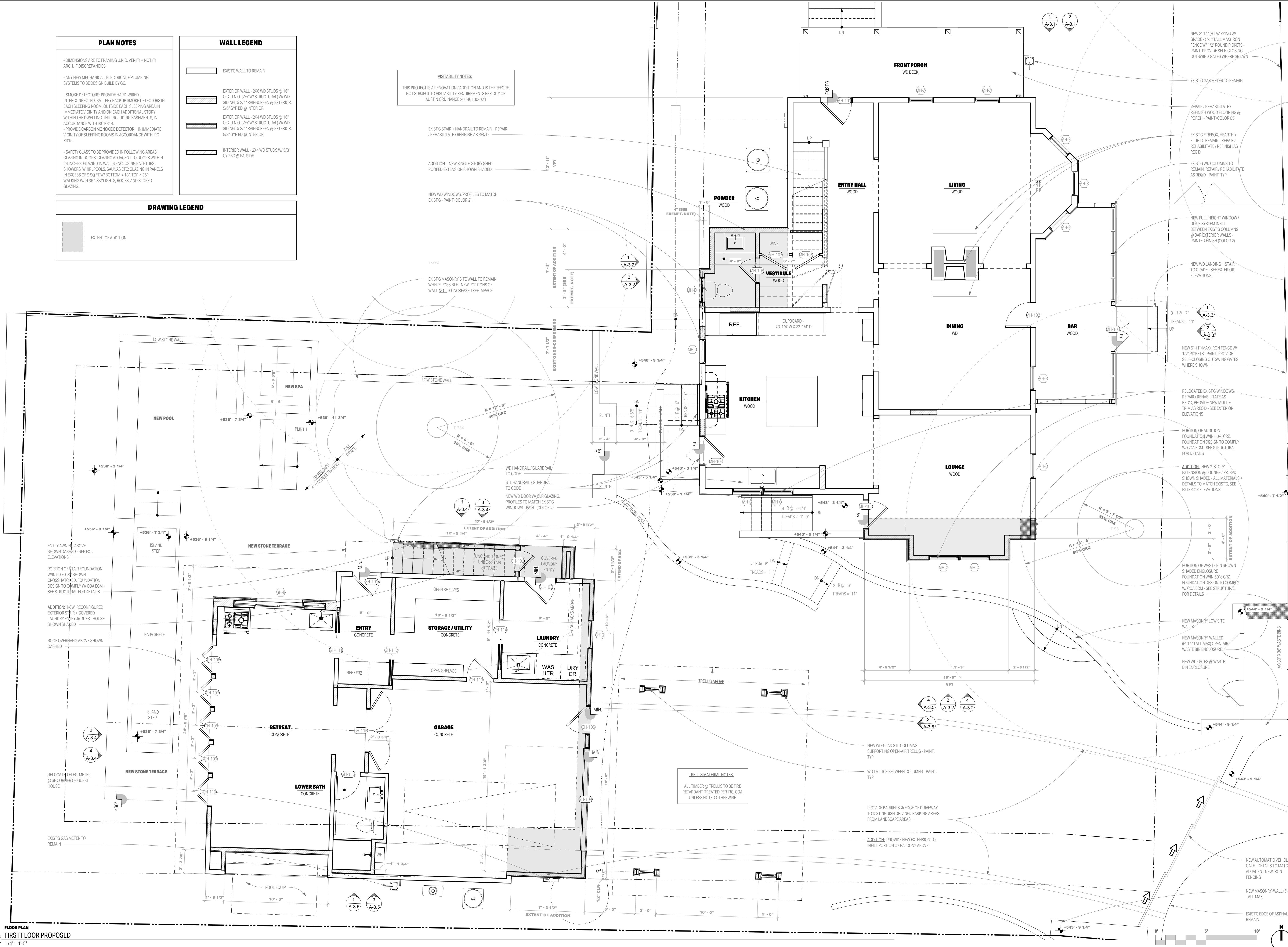
ADDITION - NEW SINGLE-STORY SHED-ROOFED EXTENSION SHOWN SHADED

NEW WD WINDOWS, PROFILES TO MATCH EXIST'G - PAINT (COLOR 2)

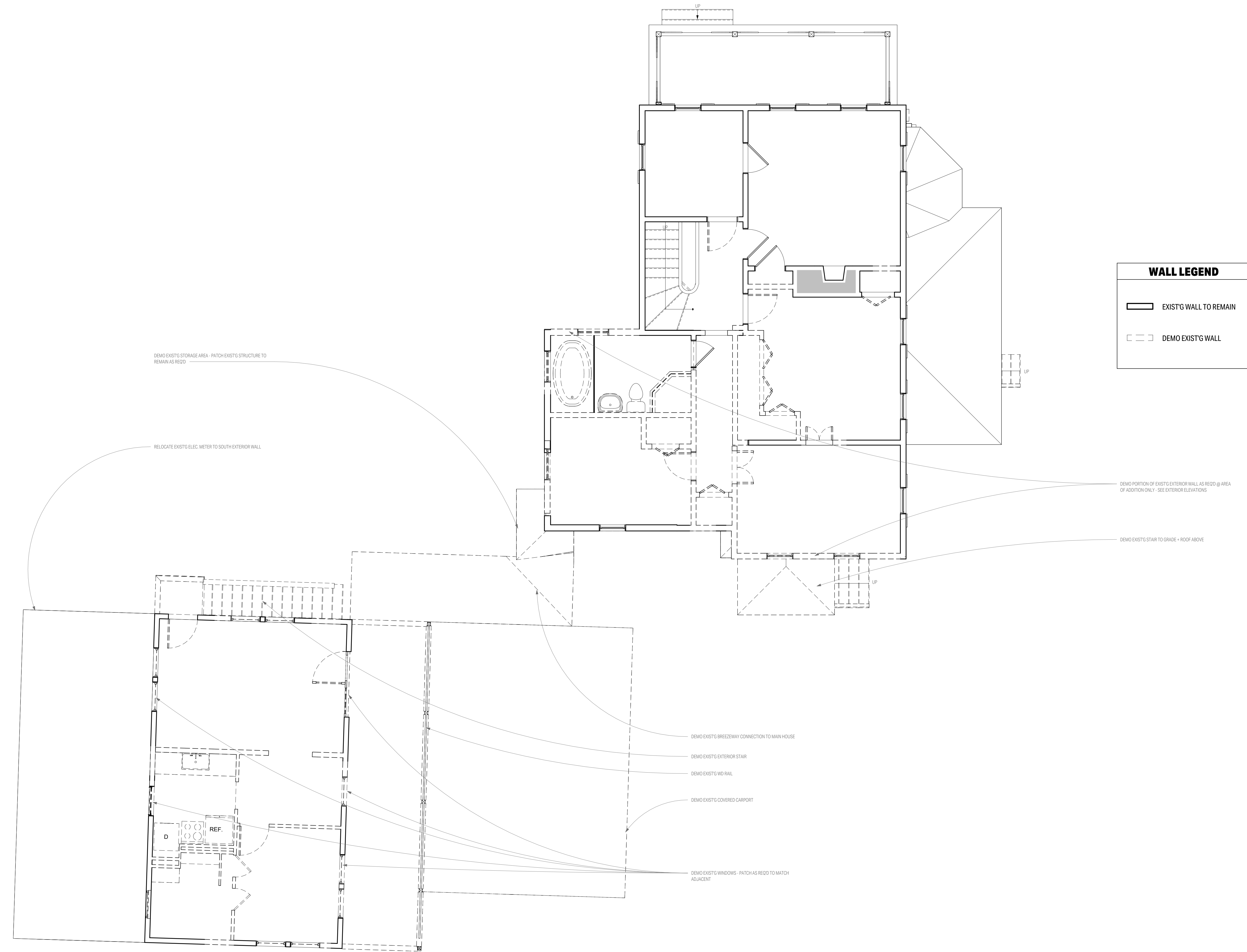
EXIST'G MASONRY SITE WALL TO REMAIN WHERE POSSIBLE - NEW PORTIONS OF WALL NOT TO INCREASE TREE IMPACT

TRELLIS MATERIAL NOTES:

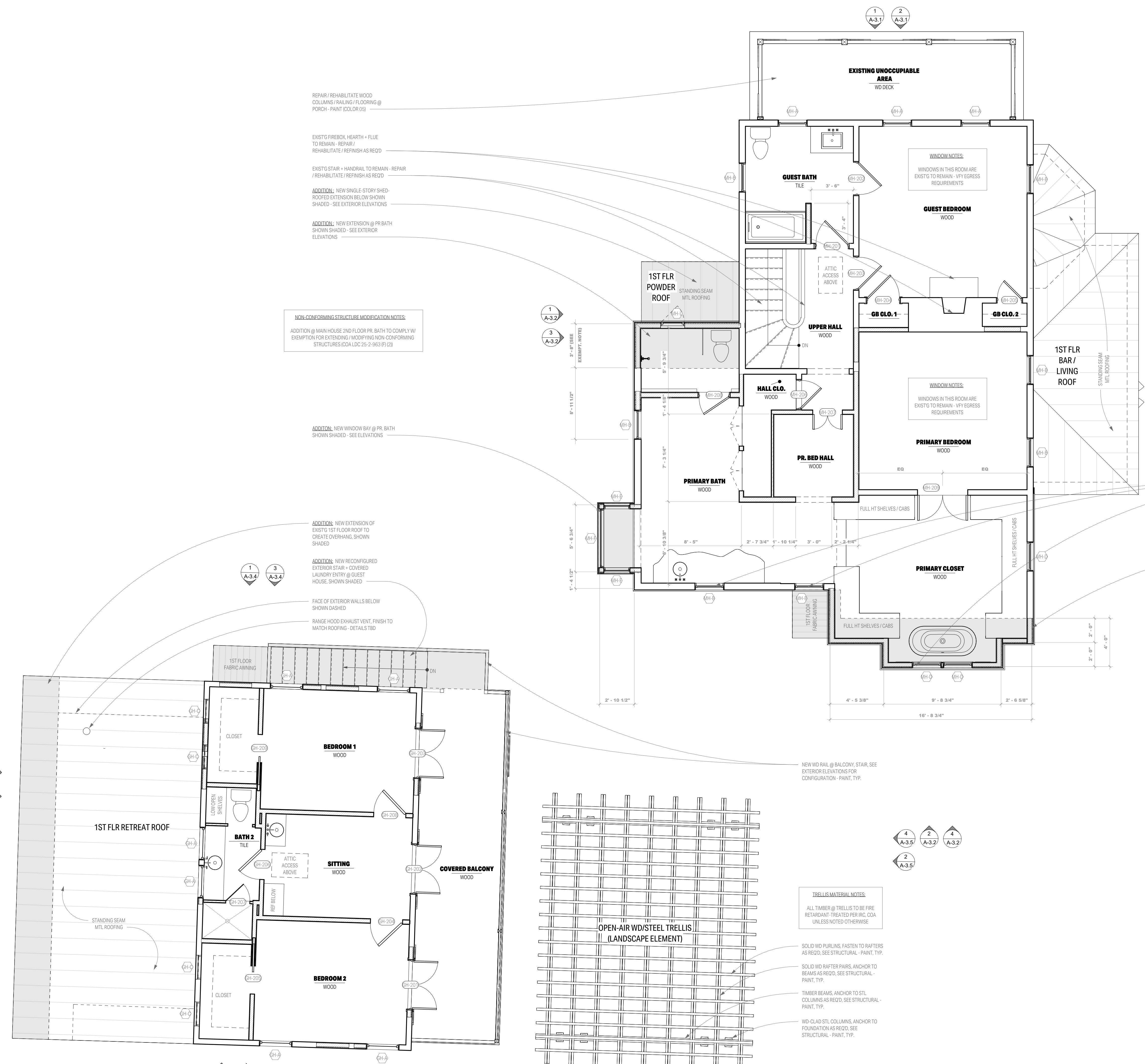
ALL TIMBER @ TRELLIS TO BE FIRE RETARDANT TREATED PER IRC, COA UNLESS NOTED OTHERWISE



NOT FOR CONSTRUCTION OR REGULATORY REVIEW



1 FLOOR PLAN
SECOND FLOOR DEMO
1/4" = 1'-0"



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WALL LEGEND

- EXIST'G WALL TO REMAIN
- EXTERIOR WALL - 2X6 WD STUDS @ 16" O.C. U.N.O. W/RY W/ STRUCTURAL W/ WD SINGING O/ 3/4" RAINSCREEN @ EXTERIOR, 5/8" GYP BD @ INTERIOR
- EXTERIOR WALL - 2X4 WD STUDS @ 16" O.C. U.N.O. W/RY W/ STRUCTURAL W/ WD SINGING O/ 3/4" RAINSCREEN @ EXTERIOR, 5/8" GYP BD @ INTERIOR
- INTERIOR WALL - 2X4 WD STUDS W/ 5/8" GYP BD @ EA. SIDE

DRAWING LEGEND

- EXTENT OF ADDITION

NOT FOR CONSTRUCTION OR REGULATORY REVIEW

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MAIN HOUSE - SECOND FLOOR
PROPOSED

A-1.4



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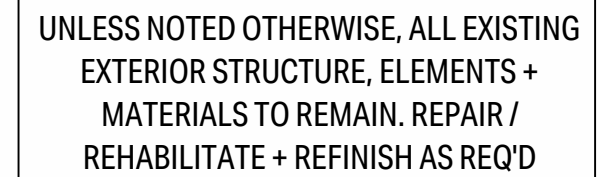
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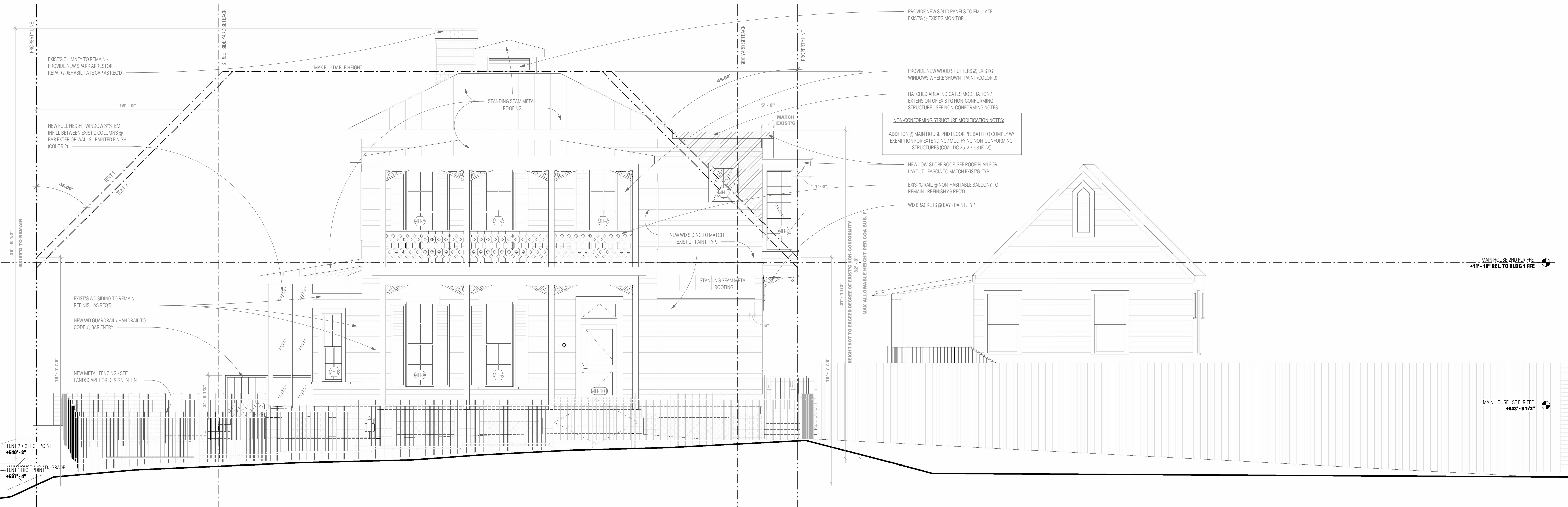
CAUTION: DO NOT SCALE DRAWINGS

MAIN HOUSE - EXTERIOR ELEVATIONS

A-3.1



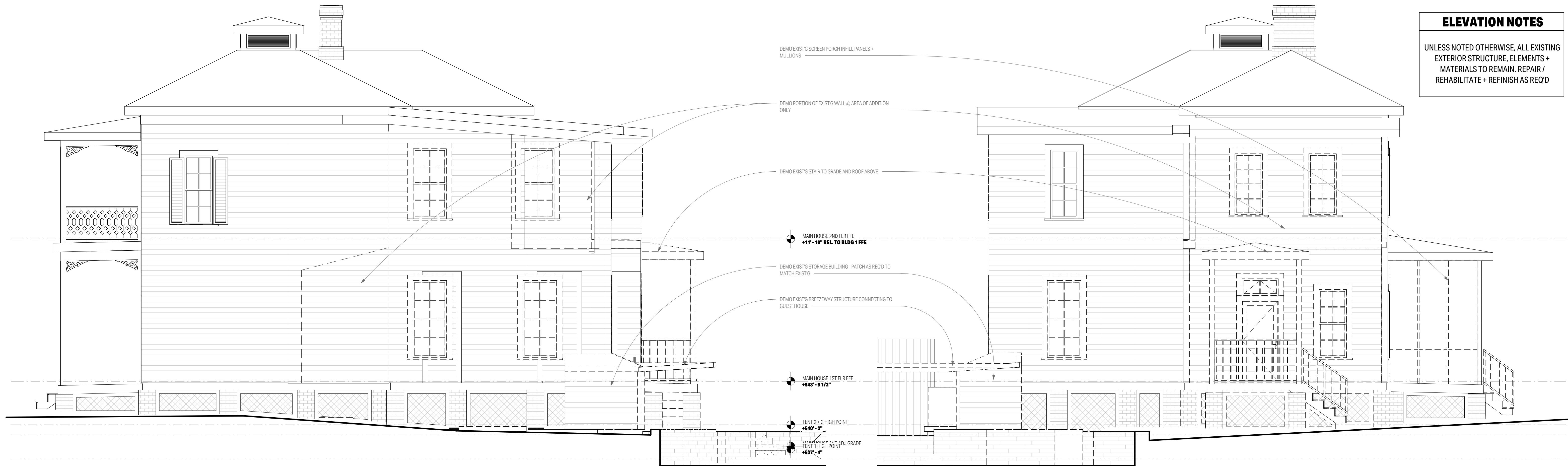
EXTERIOR ELEVATION
1 MAIN HOUSE - NORTH DEMO
1/4" = 1'-0"



2 **EXTERIOR ELEVATION**
MAIN HOUSE - NORTH PROPOSED
1/4" = 1'-0"

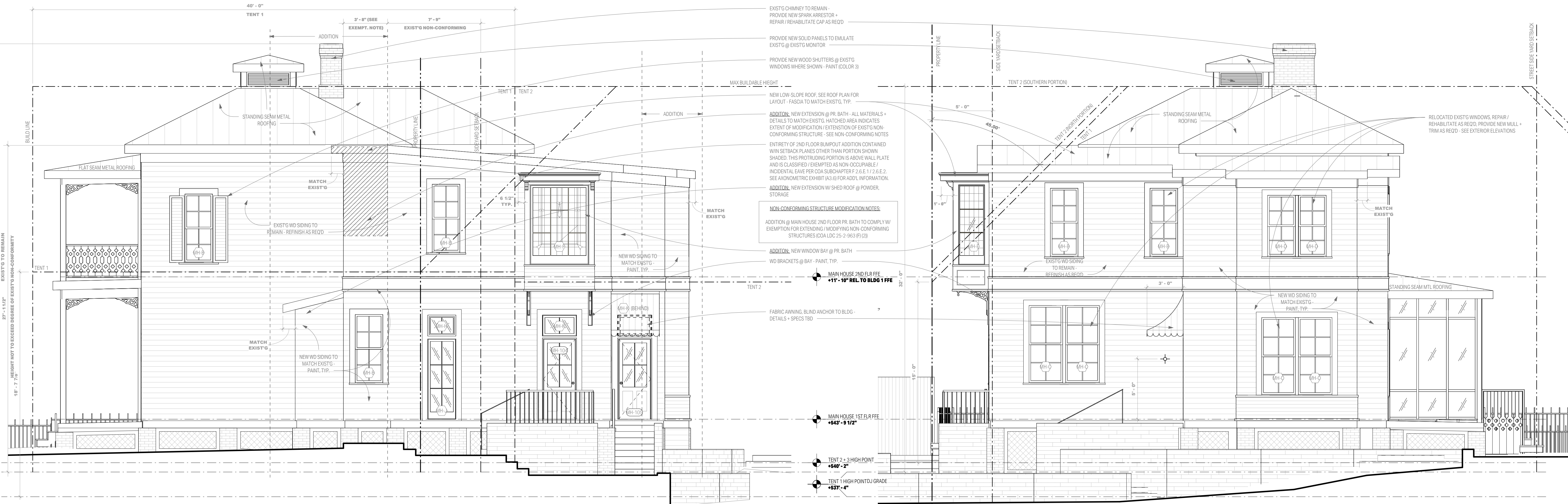
ELEVATION NOTES

UNLESS NOTED OTHERWISE, ALL EXISTING
EXTERIOR STRUCTURE, ELEMENTS +
MATERIALS TO REMAIN. REPAIR /
REHABILITATE + REFINISH AS REQ'D



EXTERIOR ELEVATION
1 MAIN HOUSE - WEST DEMO
1/4" = 1'-0"

EXTERIOR ELEVATION
2 MAIN HOUSE - SOUTH DEMO
1/4" = 1'-0"

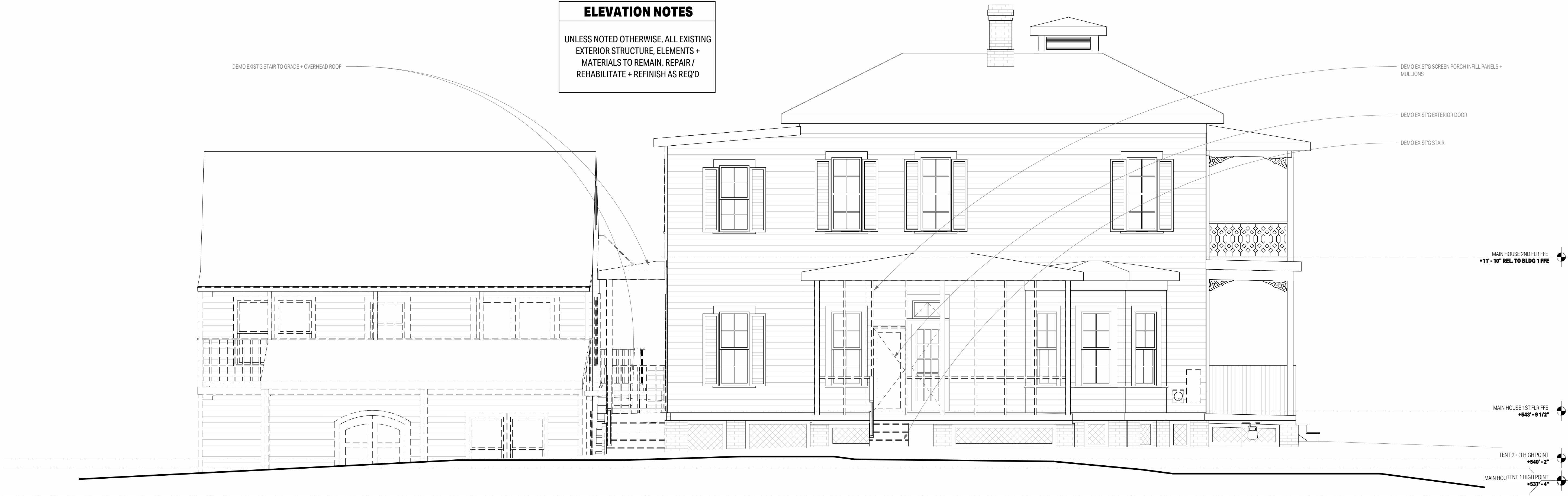


EXTERIOR ELEVATION
3 MAIN HOUSE - WEST PROPOSED
1/4" = 1'-0"

EXTERIOR ELEVATION
4 MAIN HOUSE - SOUTH PROPOSED
1/4" = 1'-0"

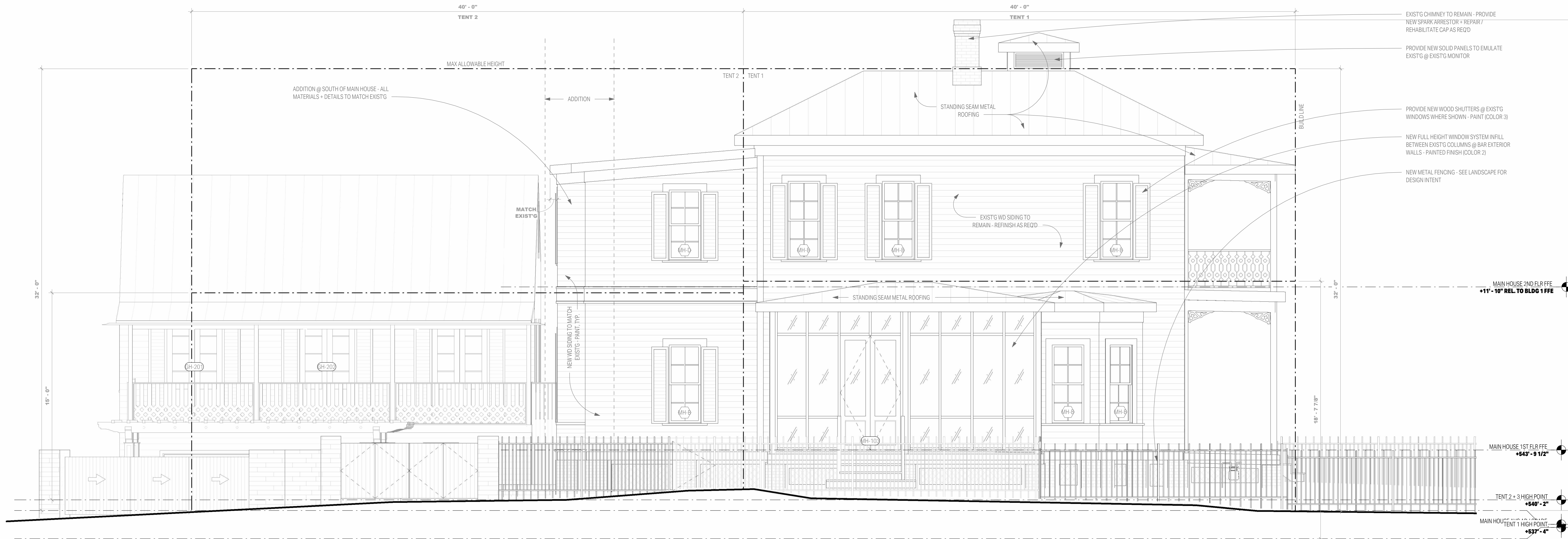
ELEVATION NOTES

UNLESS NOTED OTHERWISE, ALL EXISTING
EXTERIOR STRUCTURE, ELEMENTS +
MATERIALS TO REMAIN. REPAIR /
REHABILITATE + REFINISH AS REQ'D



EXTERIOR ELEVATION
MAIN HOUSE - EAST DEMO

1/4" = 1'-0"



EXTERIOR ELEVATION
MAIN HOUSE - EAST PROPOSED

1/4" = 1'-0"

PILLOW HOUSE
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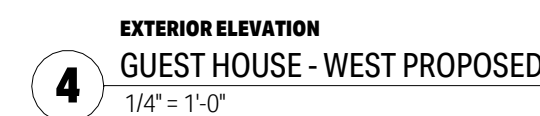
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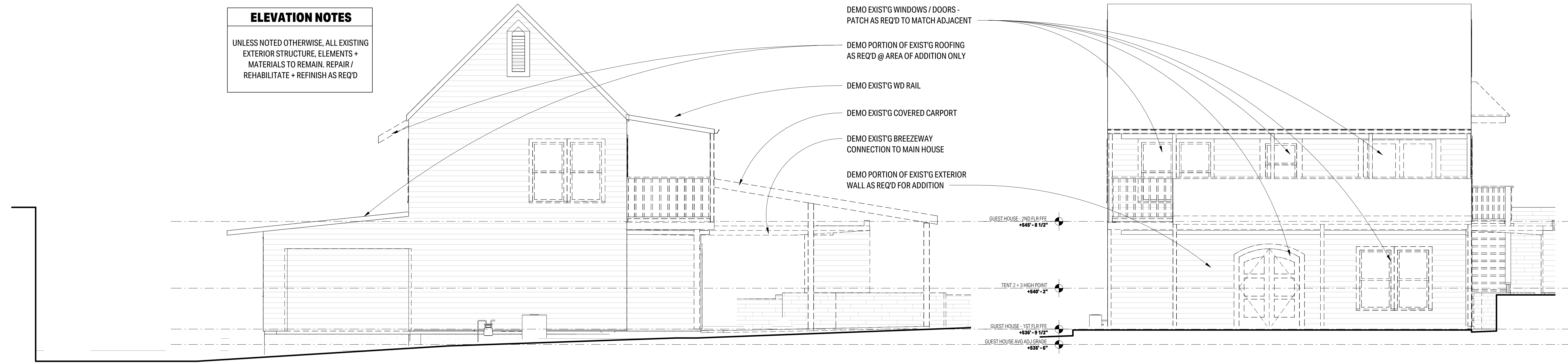
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MAIN HOUSE - EXTERIOR ELEVATIONS



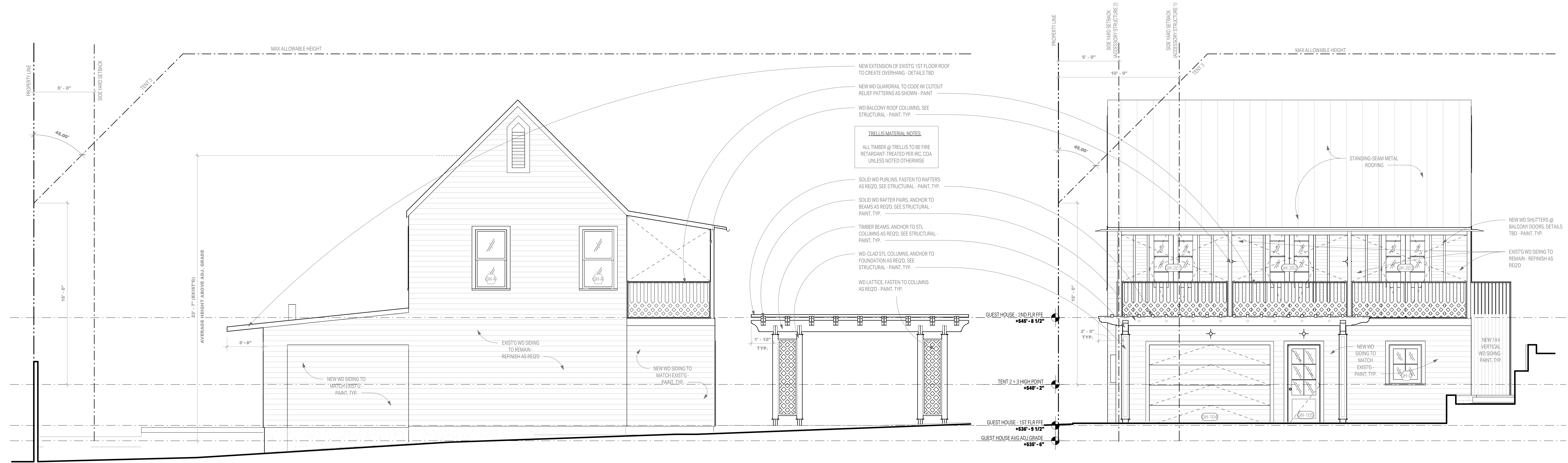
ELEVATION NOTES

UNLESS NOTED OTHERWISE, ALL EXISTING EXTERIOR STRUCTURE, ELEMENTS + MATERIALS TO REMAIN. REPAIR / REHABILITATE + REFINISH AS REQ'D



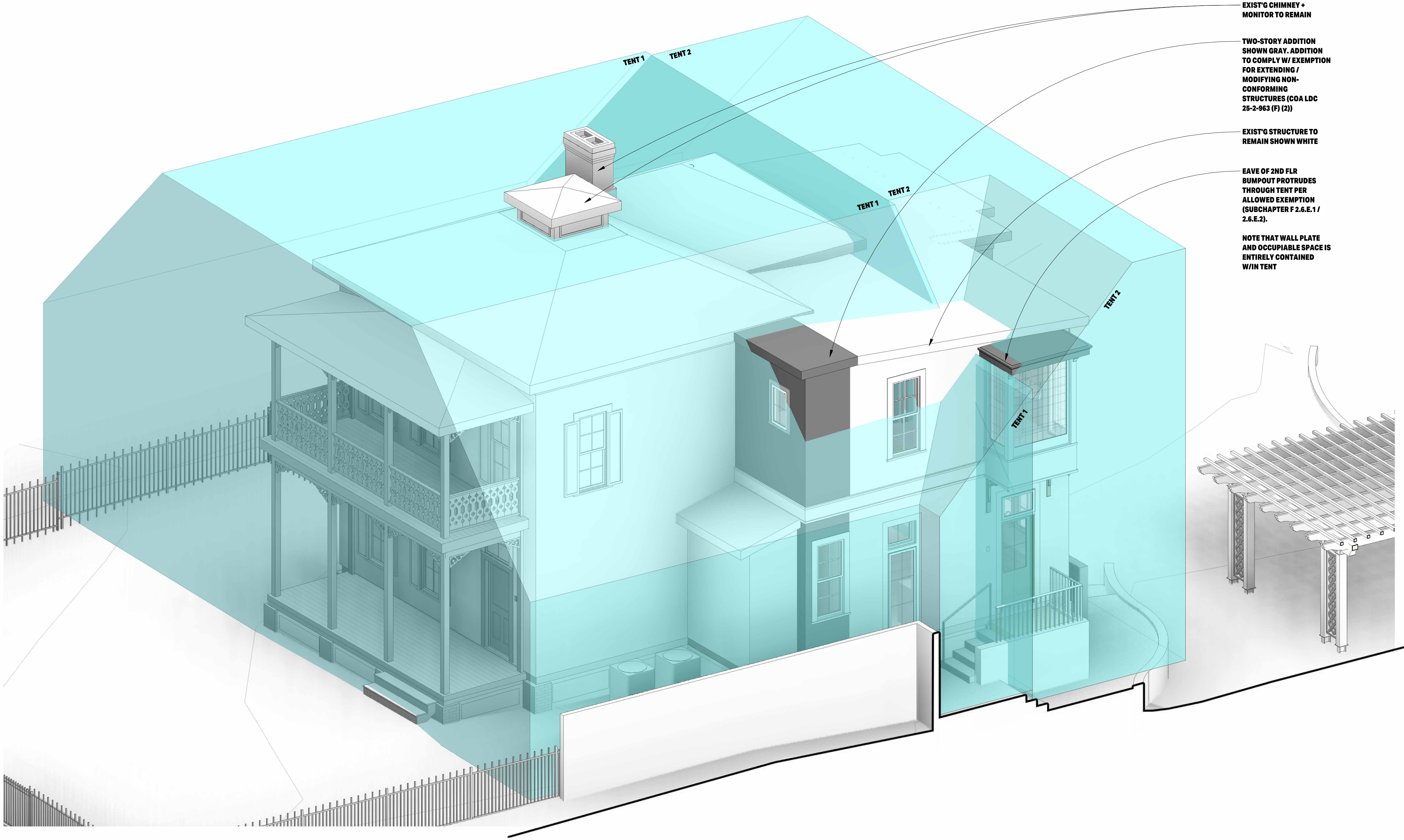
1 EXTERIOR ELEVATION
GUEST HOUSE - SOUTH DEMO
1/4" = 1'-0"

2 EXTERIOR ELEVATION
GUEST HOUSE - EAST DEMO
1/4" = 1'-0"



3 EXTERIOR ELEVATION
GUEST HOUSE - SOUTH PROPOSED
1/4" = 1'-0"

4 EXTERIOR ELEVATION
GUEST HOUSE - EAST PROPOSED
1/4" = 1'-0"



EXIST'G CHIMNEY •
MONITOR TO REMAIN

TWO-STORY ADDITION
SHOWN GRAY. ADDITION
TO COMPLY W/ EXEMPTION
FOR EXTENDING /
MODIFYING NON-
CONFORMING
STRUCTURES (COA LDC
25-2-963 (F) (2))

EXIST'G STRUCTURE TO
REMAIN SHOWN WHITE

EAVE OF 2ND FLR
BUMPOUT PROTRUDES
THROUGH TENT PER
ALLOWED EXEMPTION
(SUBCHAPTER F.2.6.E.1 /
2.6.E.2).

NOTE THAT WALL PLATE
AND OCCUPIABLE SPACE IS
ENTIRELY CONTAINED
W/IN TENT

EXTERIOR - AXONOMETRIC
MAIN HOUSE - COA SUBCHAPTER F TENT EXHIBIT

1

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EXTERIOR AXONOMETRICS

A-3.6