

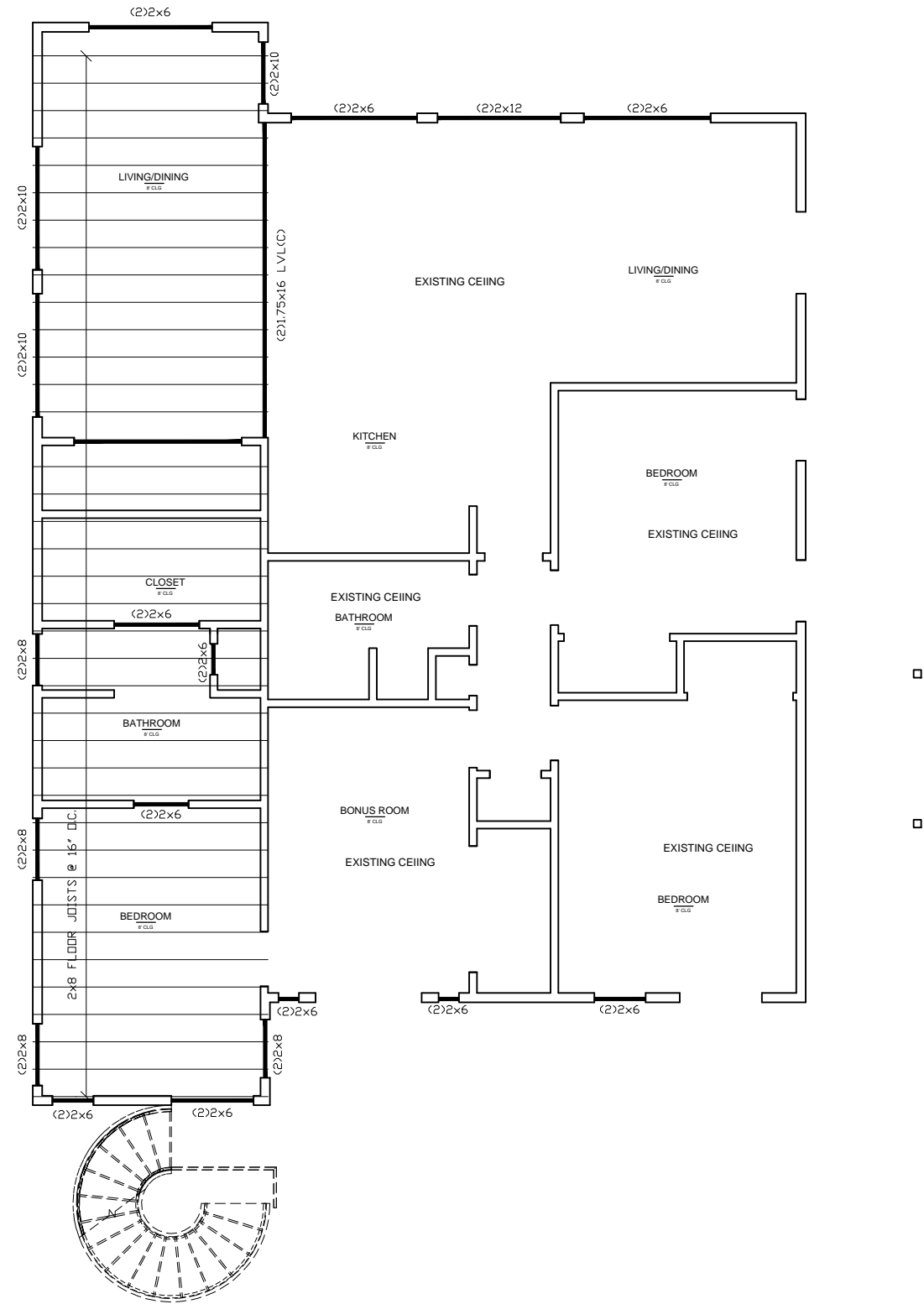
- CEILING JOIST NOTES:
- ALL CEILING JOISTS ARE #2 GRADE AND 2x6 @ 24" O.C. U.N.O.
 - PROVIDE STRONG BACK SPAN MORE THAN 10' AS SHOWN ON DETAIL # 10 AT MID SPAN.
 - 1-3 PLY BEAMS CAN BE NAILED TOGETHER. CONNECT 4 AND 5 PLY BEAM WITH 1/2" THROUGH BOLTS @ 24" O.C.. TOP AND BOTTOM.

VERIFY ALL DIMENSIONS AGAINST ARCHITECTURAL AND ALL OTHER PERTINENT DRAWINGS FOR DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.

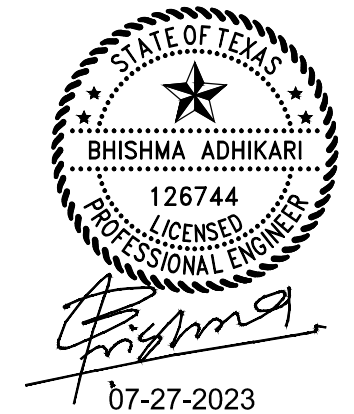
LEGEND


CEILING JOIST
CEILING LINE
FLOOR JOIST
TJI OR TRUSS
LINE LOAD
STAIR
FLOOR AREA
ROOF BRACE LOCATION
ENGINEERED BEAM

ALL BEAMS ARE DROPPED U.N.O.
(C)-CONCEALED BEAM
(F)-FLOATING BEAM
FURR DOWN

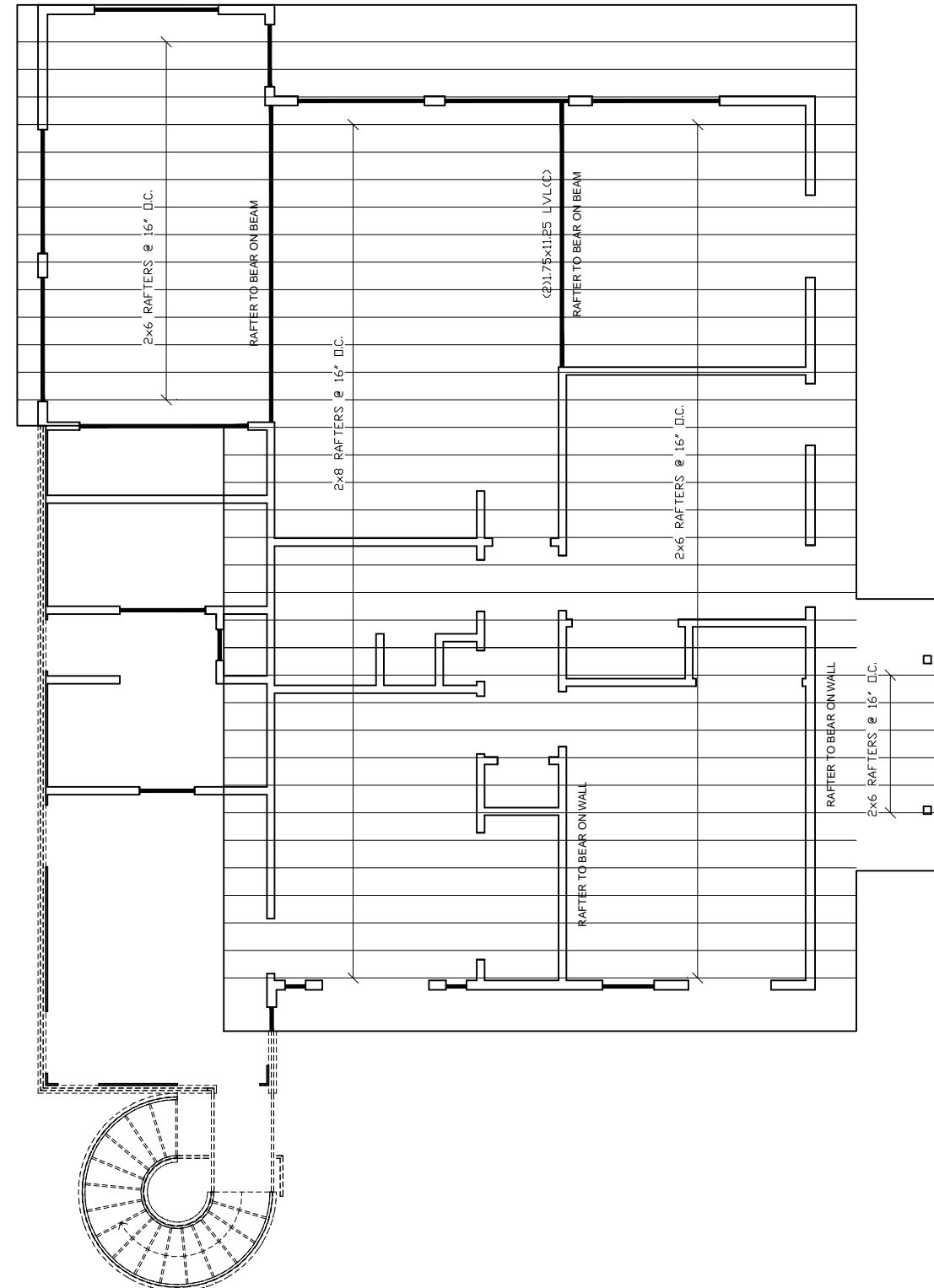


CEILING FRAMING
1/8"=1'-0" 11X17 SIZE
1/4"=1'-0" 22X34 SIZE



REVISIONS:		DESCRIPTIONS	DATE:	INITIAL	1621 W 14TH STREET						<div>BSA</div> <div>STRUCTURAL ENGINEERS</div>	TBPE FIRM LICENSE #: 19354 2911 A.W. GRIMES BLVD, SUITE 203 PFLUGERVILLE, TX 78660 PH: (512)-577-2974 ADMIN@BSA-ENGINEERS.COM FOUNDATION/FRAMING/ WIND BRACING INSPECTION	SHEET # S1 OF 2		
A- REV				SUBDIVISION				DATE	07-27-2023						
B- REV				LOT		BLOCK		PH/SEC						JOB NO.	
C- REV				CITY	AUSTIN, TEXAS 78703			DRN BY	RA						
D- REV				CLIENT				CHK BY	SA						

DESIGNED FOR COMPOSITION ROOF



RAFTERS NOTE:

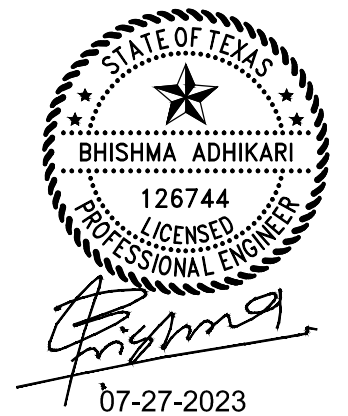
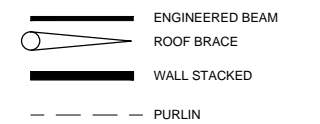
- ALL RAFTERS ARE #2 GRADE, 2x6 AND 24" O.C. U.N.O.
- MATERIAL LOAD UPTO 5 PSF.
- ROOF SHEATHING SHALL BE $\frac{5}{16}$ " THICK MIN. U.N.O.

ROOF NOTES:

- MATERIAL LOAD UP TO 5 PSF.
- ROOF SHEATHING SHALL BE $\frac{5}{8}$ " THICK MIN. U.N.O.
- BRACES UP TO 6' SHALL BE 2X6", LONGER BRACES (6'-16') SHALL BE MADE OF 2X6" AND LONGER BRACES (16'-27") SHALL BE MADE OF 2X10" FASTENED TOGETHER IN A "L" OR "T" PATTERN.
- VERIFY ALL DIMENSIONS AGAINST ARCHITECTURAL.
- ALL PURLIN SIZE SHALL MATCH RAFTER SIZE
- ALL FRAMING AND CONSTRUCTION MEMBERS TO BE PER 2015 IRC CODE.

VERIFY ALL DIMENSIONS AGAINST
ARCHITECTURAL AND ALL OTHER PERTINENT
DRAWINGS FOR DETAILS NOT SHOWN ON THE
STRUCTURAL DRAWINGS.

LEGEND

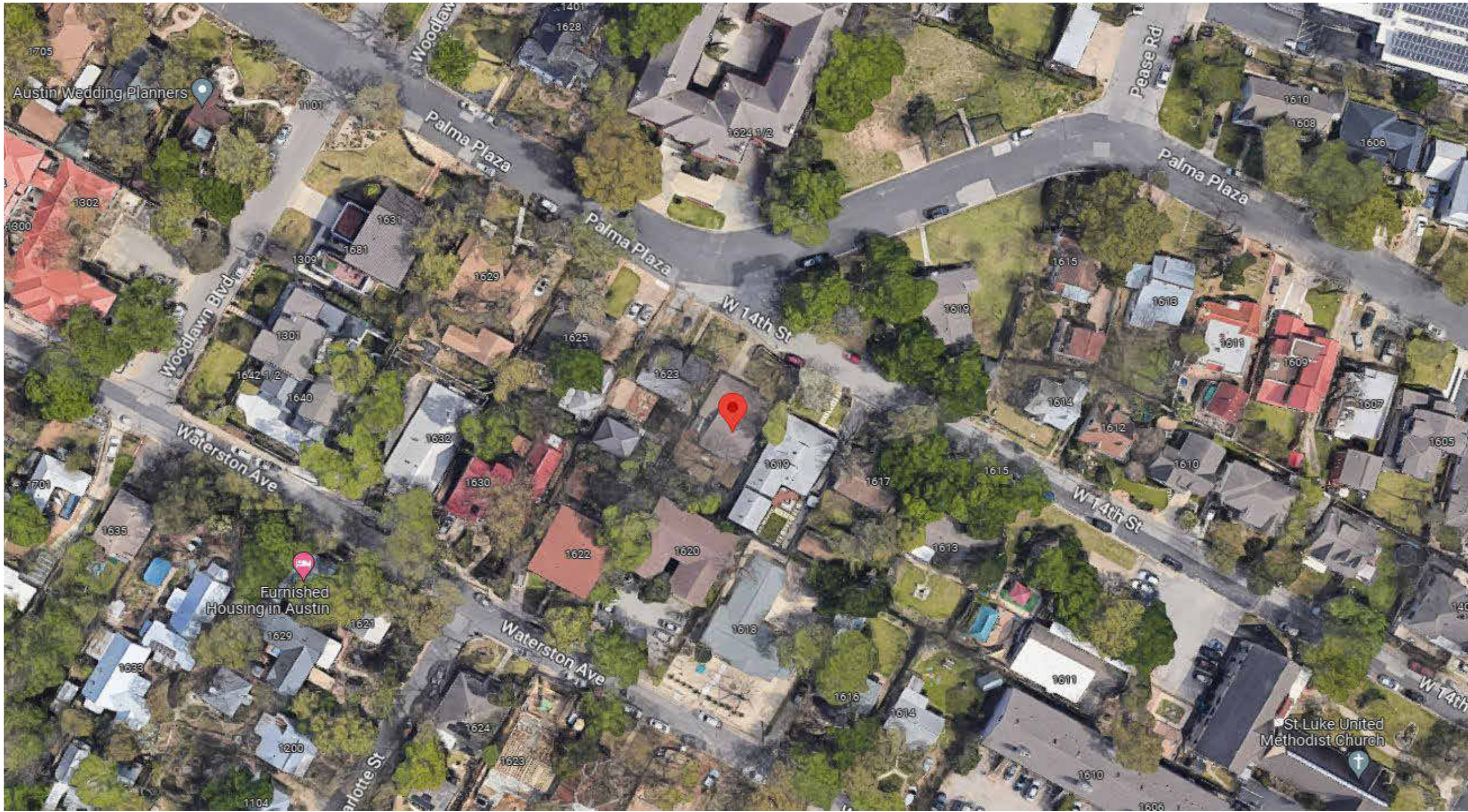


ROOF FRAMING

1/8"=1'-0" 11X17 SIZE
1/4"=1'-0" 22X34 SIZE

REVISIONS:		DESCRIPTIONS	DATE:	INITIAL	1621 W 14TH STREET						<div><div><div><div></div><div>BSA</div></div></div><div><div><div>B</div><div>S</div><div>A</div></div><div>STRUCTURAL ENGINEERS</div></div></div> <div>TBPE FIRM LICENSE #: 19354 2911 A.W. GRIMES BLVD, SUITE 203 PFLUGERVILLE, TX 78660 PH: (512)-577-2974 ADMIN@BSA-ENGINEERS.COM FOUNDATION/FRAMING/ WIND BRACING INSPECTION</div>	SHEET #	
A- REV					SUBDIVISION			DATE				07-27-2023	
B- REV					LOT		BLOCK	PH/SEC	JOB NO.				
C- REV					CITY			AUSTIN, TEXAS 78703				DRN BY RA	
D- REV					CLIENT							CHK BY SA	

VICINITY MAP



PROPERTY PROFILE

OWNER: AHMED ASHRAF & DARCY
ADDRESS: 1621 W 14TH ST AUSTIN, TX 78703-3922
LEGAL DESCRIPTION: ABS 697 SUR 7 SPEAR G W ACR. 142
ZONING: MF-3-NP
PROPERTY ID: 110136
GEOGRAPHIC ID:0111030705
LAND: 0.1420 ACRES (6,185.52 SQFT)

BUILDING PROGRAM

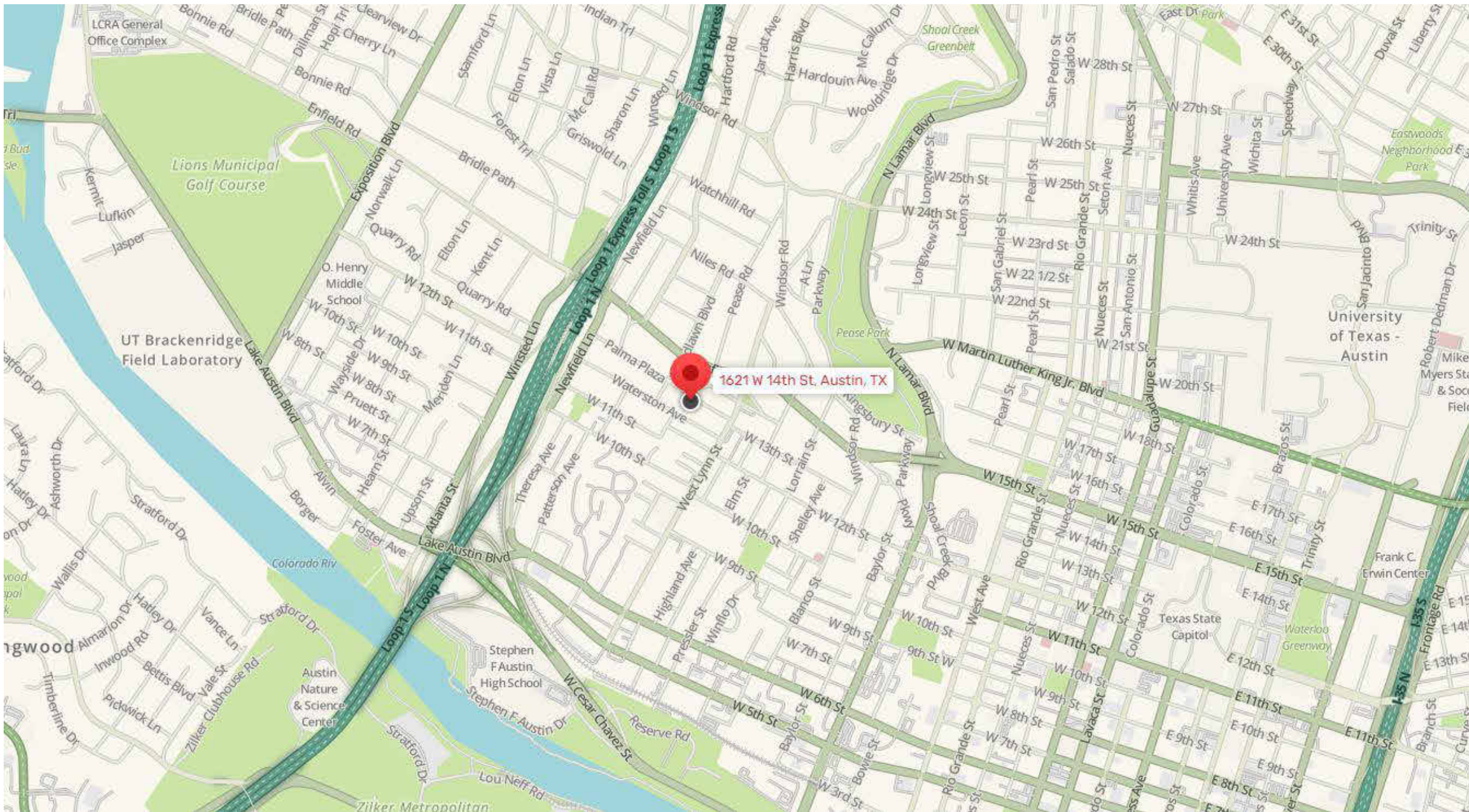
- CONVERSION OF CARPORT AND LAUNDRY TO CONDITIONED SPACE
- ADDITION OF MASTER SUITE
- RENOVATION OF KITCHEN
- EXISTING ROOF DEMOLISHED, NEW ROOF TO BE BUILT

SQUARE FOOTAGE CALCULATIONS

AREA SCHEDULE	
EXISTING	AREA
1ST FLOOR	1188 SQFT
STORAGE	80 SQFT
CARPORT	256 SQFT
2ND STORAGE	63 SQFT
OPEN PORCH	48 SQFT
EXISTING SQ FT.	1572 SQFT
NEW	
ADDITION	246 SQFT
IMPERVIOUS SQ FT. CALCS.	
EXISTING IMPERVIOUS COVERAGE %	25%
ADDED IMPERVIOUS COVERAGE %	3%

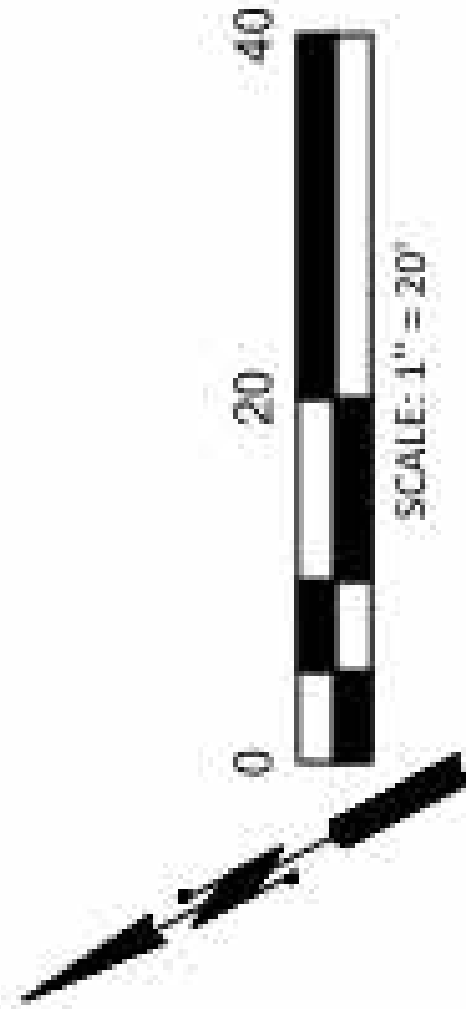
Sheet List			
Sheet Name	Sheet Number	Drawn By	Approved By
TITLE PAGE	A0	JESUS A	OMAR G
SITE PLAN	A101	JESUS A	OMAR G
FOUNDATION	A102	JESUS A	OMAR G
EXISTING FLOOR PLANS	A103	JESUS A	OMAR G
PROPOSED FIRST FLOOR PLAN	A104	JESUS A	OMAR G
PROPOSED SECOND FLOOR PLAN	A105	JESUS A	OMAR G
EXISTING ROOF PLAN	A106	JESUS A	OMAR G
PROPOSED ROOF PLAN	A107	JESUS A	OMAR G
EXISTING NORTH / SOUTH ELEVATIONS	A201	JESUS A	OMAR G
EXISTING EAST / WEST ELEVATIONS	A202	JESUS A	OMAR G
PROPOSED NORTH / SOUTH ELEVATIONS	A203	JESUS A	OMAR G
PROPOSED EAST / WEST ELEVATIONS	A204	JESUS A	OMAR G
KITCHEN ELEVATIONS	A205	JESUS A	OMAR G
SECTIONS	A301	JESUS A	OMAR G
DETAILS	A501	JESUS A	OMAR G
RENDERS	A901	JESUS A	OMAR G
RENDERS	A902	JESUS A	OMAR G
ELECTRICAL PLAN	E101	JESUS A	OMAR G
GENERAL NOTES	G1	JESUS A	OMAR G

MAP



IMPERVIOUS COVER & TREE SURVEY

OF A CALLED 0.1428 ACRES
DOCUMENT NO. 201112754
OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS
IN THE GEORGE W. SPEAR LEAGUE SURVEY NO. 7
ABSTRACT NO. 697



GENERAL NOTES:

- 1) THIS PROPERTY IS SUBJECT TO ANY AND ALL RECORDED AND UNRECORDED EASEMENTS. SURVEYOR HAS MADE NO INVESTIGATION FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS OR OWNERSHIP TITLE EVIDENCE.
- 2) SUBJECT TO ALL APPLICABLE DEVELOPMENT CODES AND ZONING ORDINANCES.
- 3) DUE TO DIFFERING BUILDING PRACTICES, BUILDING DIMENSIONS ARE APPROXIMATE.
- 4) ANY UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR GRAPHIC REPRESENTATION ONLY.
- 5) OWNERSHIP DEED RECORDED IN DOCUMENT NO. 201112754, TRAVIS COUNTY RECORDS.
- 6) TREE TYPES TO BE VERIFIED BY CERTIFIED ARBORIST.
- 7) THIS SURVEY ONLY SHOWS ABOVE GROUND IMPROVEMENTS.
- 8) BUILDING SET BACK LINES PLACED PER CITY OF AUSTIN ZONING GUIDE.

LEGEND

- 1/2" IRON ROD FOUND (UNLESS NOTED)
- 1/2" IRON PIPE FOUND
- GAS METER
- ELECTRIC METER
- WATER METER
- CLEAN OUT
- POWER POLE
- WASTE WATER MANHOLE
- FIRE HYDRANT
- GAS VALVE
- GUY ANCHOR
- SIGN

- PROPERTY LINE
- ADJOINER LINE
- EDGE OF PAVEMENT
- OVERHEAD UTILITY
- WOOD FENCE
- CONCRETE AREA
- OVERHANG COVERAGE
- WALLS (TYPE NOTED)
- WOOD DECK
- STONE AREA
- VOLUME AND PAGE
- PLAT RECORDS
- TRAVIS COUNTY TEXAS
- OFFICIAL PUBLIC RECORDS
- REAL PROPERTY RECORDS
- TRAVIS COUNTY TEXAS
- STRUCTURE ON/OFF
- SUBJECT PROPERTY
- RIGHT OF WAY
- RECORD INFORMATION
- SETBACK LINE

FLOOD INFORMATION

PER WWW.FEMA.GOV, THIS PROPERTY APPEARS TO BE LOCATED IN ZONE X (UNSHADED). THIS PROPERTY WAS FOUND IN MAP NUMBER 4945303449K, DATED 01/22/2020.

DATUM & BEARING BASIS

TEXAS STATE PLANE COORDINATE SYSTEM;
CENTRAL ZONE (4903); NAD 83; GRID NORTH;
ELEVATION DATA NAVD 83; GEOID 18;
DISTANCES IN US SURVEY FEET (GRID).

I CERTIFY THAT THIS SURVEY HAS BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF TEXAS TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE OF LAST FIELD WORK: FEBRUARY 20, 2023

JAD Duplechin R.P.L.S. NO. 6806 MARCH 02, 2023
DRAWN BY: EV REVIEWED BY: JAD
FIELD CREW: JZ

REVISION #:
SHEET SIZE = 11"x17"



IMPERVIOUS COVERAGE CALCULATIONS

TOTAL BUILDING COVERAGE: 1,307.8
DRIVEWAY & FRONT SIDEWALK: 615.7
AC PAD AND STONE PLANTER: 16.1
RETAINING WALLS: 55.9
UNCOVERED WOOD DECKS (@50%): 4.8
OVERHANG MINUS 24" (@50%): 17.9

TOTAL SITE COVERAGE: 2,018.2
LOT AREA: 6,243
TOTAL IMPERVIOUS COVERAGE PERCENTAGE: 32.3%

TREE TABLE		
Tag No.	Type	Trunk
3000	ASH	13"
3001	HACKBERRY	12"
3002	ASH	10"
3003	CREPE MYRTLE	(M) 12" / 8.5", 7"
3004	HACKBERRY	7.5"
3005	HACKBERRY	10.5"
3006	PECAN	(P) (M) 32" / 23", 18"
3007	LIGUSTRUM	9"
3008	LIGUSTRUM	6.5"
3009	PECAN	19"
3010	ASH	6.5"
3011	ASH	(M) (A) 19" / 11", 11", 5"

TREE LEGEND

- CRITICAL ROOT ZONE = DIAMETER EQUAL IN FEET TO TWICE THE NUMBER OF INCHES OF THE TREE'S TRUNK DIAMETER
- PROTECTED TREE (DIAMETER ≥ 19")
- HERITAGE TREE (DIAMETER ≥ 24")
- MULTIPLE TRUNK
- APPROXIMATE
- TREE LEANING DIRECTION

SURVEYOR NOTES

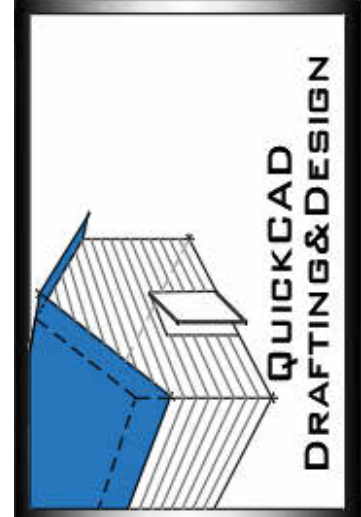
- [1] SHED CROSSES SET BACK LINE (CITY OF AUSTIN ZONING) AS DEPICTED HEREON

SURVEYED FOR:
DARCY AHMED
PROJECT NO. 23-0029
1621 WEST 14TH STREET
AUSTIN, TEXAS



INFO@SURVEYWORKS.COM
SURVEYWORKS.COM
1307 DORTCH DRIVE
AUSTIN, TX 78741
FIRM #10194157
(512) 599-8007

SHEET
1 of 1



4926 Spicewood Springs RD
Ste#105, Austin TX
T: 512-822-5143
E: quickcaddesign@outlook.com

As Indicated

2023 - 09

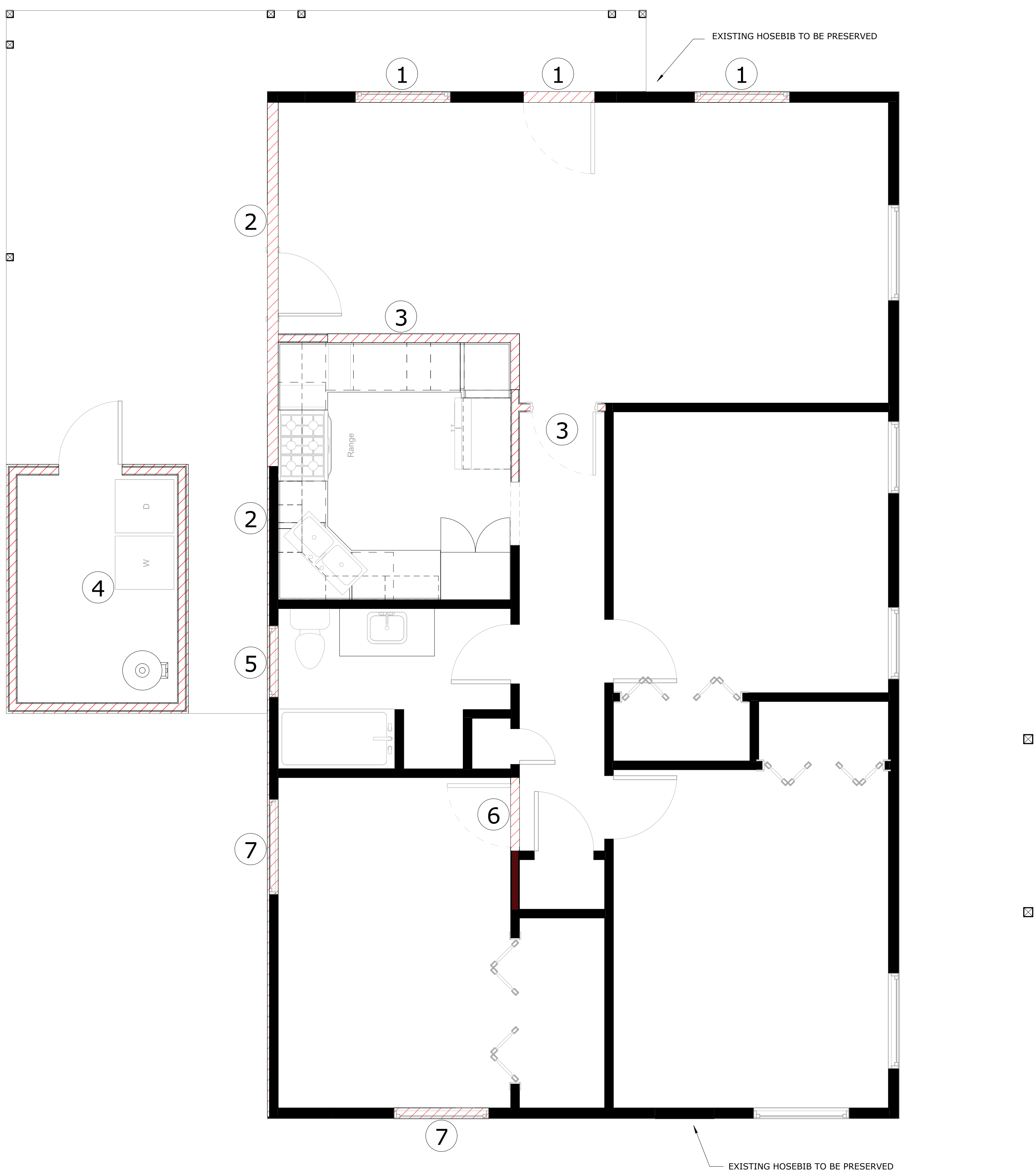
A101

SITE PLAN

HOUSE RENOVATION

1621 WEST 14TH ST AUSTIN, TX 78703





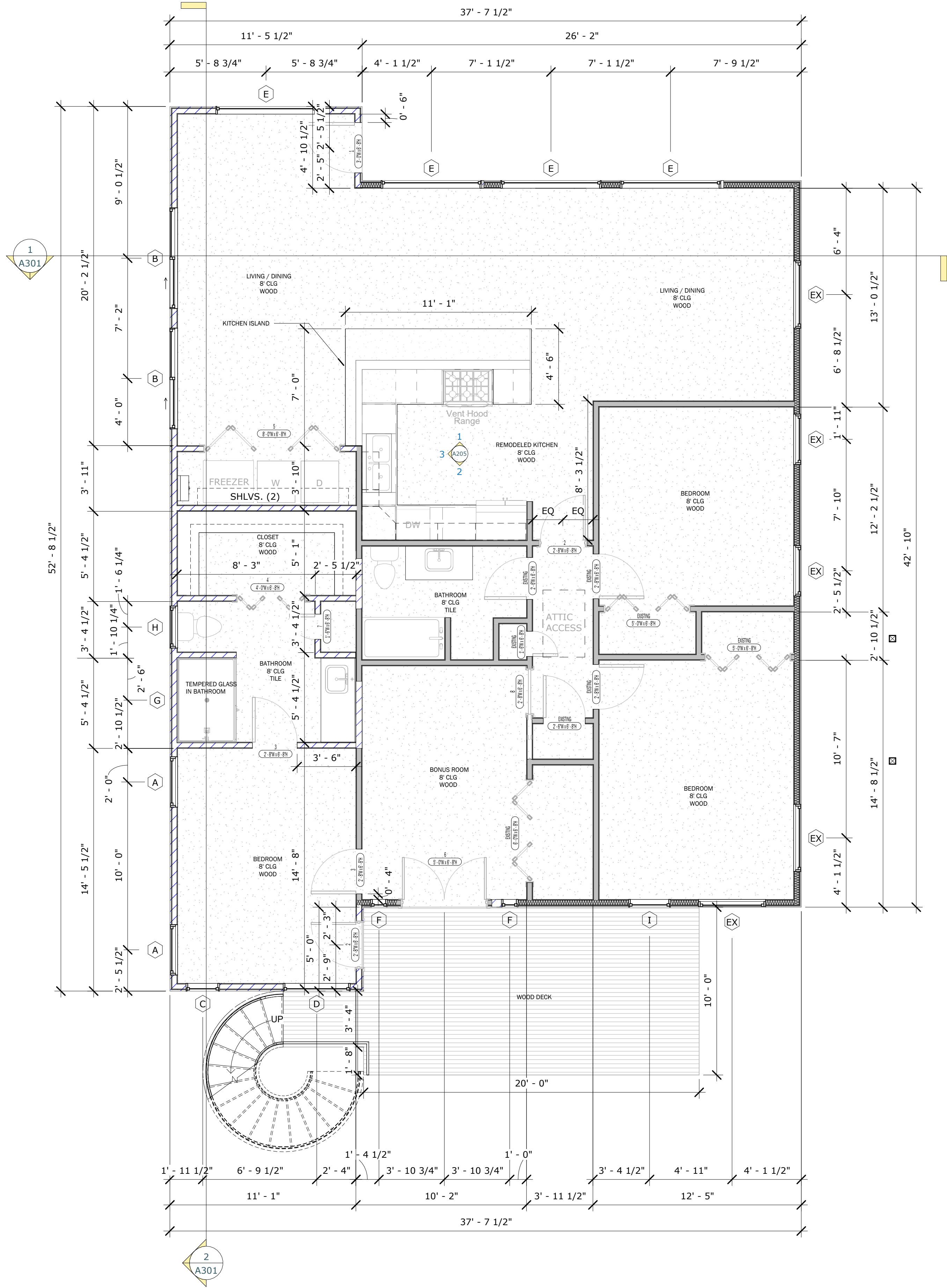
1 EXISTING / DEMO FIRST FLOOR PLAN
3/8" = 1'-0"

DEMOLITION PLANS	
#	TO BE REMOVED
1	REMOVE FRONT WINDOWS AND MAIN DOOR
2	REMOVE PART OF WALL AND EXTERIOR SIDING
3	REMOVE KITCHEN WALL AND EXTERIOR SIDING
4	REMOVE PLASTIC SHED
5	REMOVE BATHROOM WINDOW
6	REMOVE DOOR AND REPLACE WITH POCKET DOOR
7	REMOVE BEDROOM WINDOWS

DEMOLITION LEGEND

WALLS, FLOORS, AND FIXTURES TO BE DEMOLISHED

WINDOWS/DOORS TO BE REMOVED



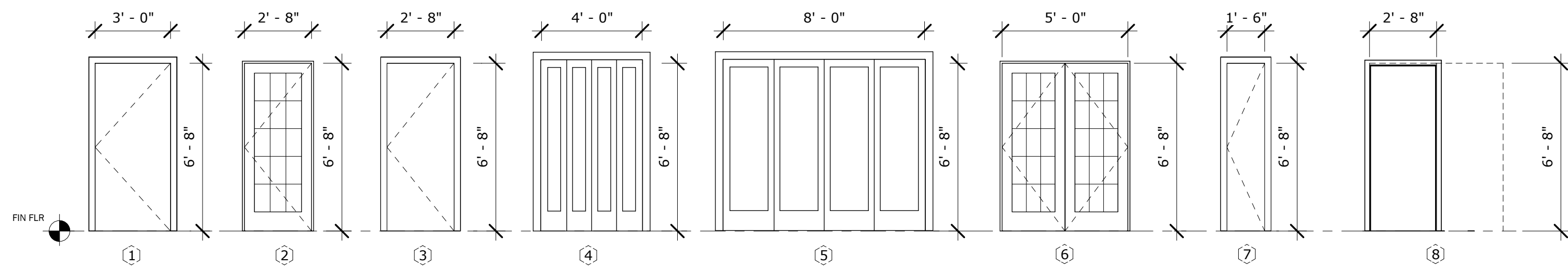
1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN NOTES

- CONTRACTOR SHALL FIELD VERIFY AND CORRELATE ALL DIMENSIONS ON THE JOBSITE.
- FIELD VERIFY AND USE DIMENSIONS AS INDICATED. DO NOT SCALE DIMENSIONS FROM THE DRAWINGS.
- CONTRACTOR TO LOCATE AND LAY OUT ALL WALLS AND PARTITIONS AS THEY RELATE TO THE STRUCTURE AND OTHER BUILDING ELEMENTS AS SHOWN ON THE DRAWINGS, AND IN CONFORMANCE WITH THE DESIGN CONCEPT AND INTENT.
- ALL FLOOR PLAN DIMENSIONS ARE TO THE FACE OF PLYWOOD SHEATHING OR GYPSUM BOARD AT WOOD FRAME EXTERIOR WALLS OR INTERIOR PARTITIONS OR FURRING ASSEMBLIES, THE FACE OF THE EXTERIOR/PERIMETER EDGE OF THE CONCRETE SLAB OR FOUNDATION WALLS, GRID LINES OR THE CENTER LINE OF COLUMNS AND BEAMS; THE FACE OF MASONRY WALLS OR VENEERS; THE FACE OF THE WINDOW FRAMES OR HOLLOW METAL DOOR FRAMES; THE EXPOSED FACADE OF WOOD DOOR FRAMES (JAMBS) AT NOMINAL DOOR OPENINGS; UNLESS NOTED OTHERWISE, (U.N.O).
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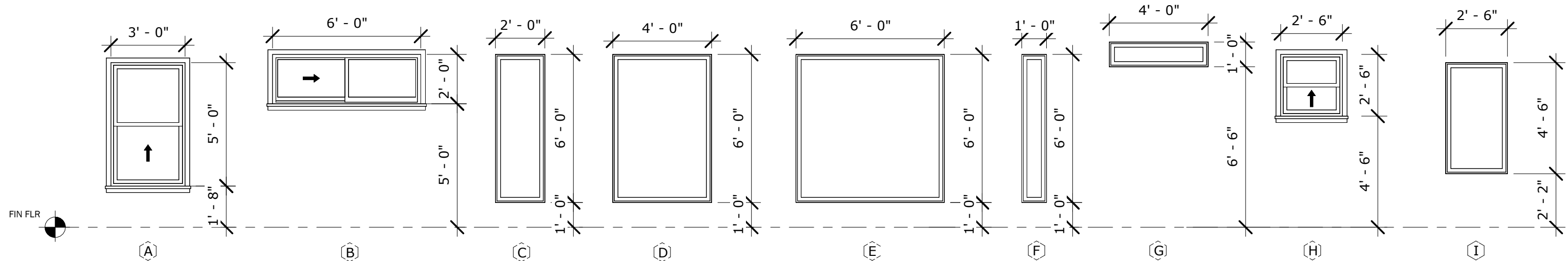
DOOR SCHEDULE

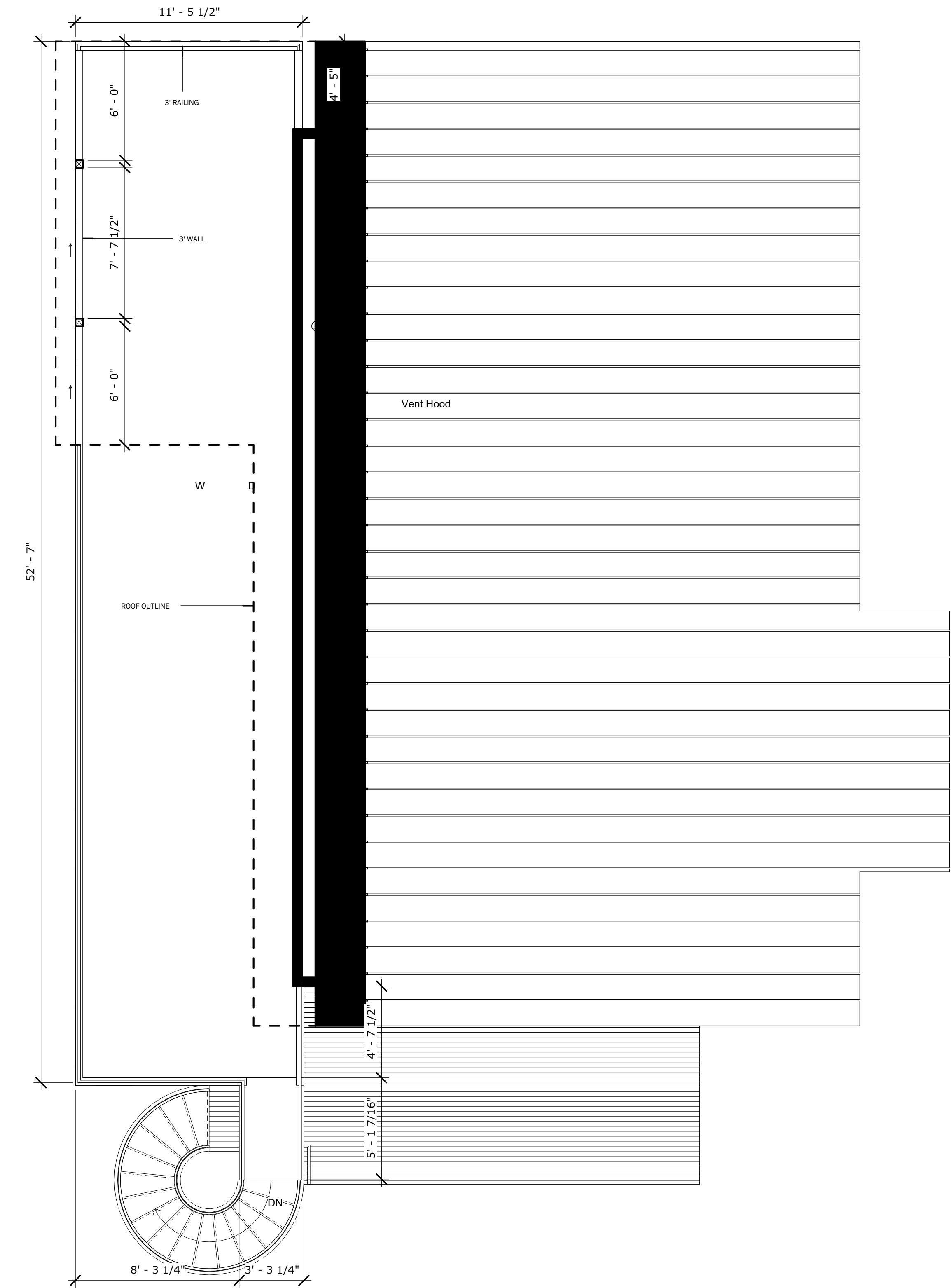
Type Mark	Width	Height	Count	Comments
1	3' - 0"	6' - 8"	1	SINGLE PANEL EXTERIOR SOLID CORE
2	2' - 8"	6' - 8"	2	EXTERIOR WOOD FRAME TEMP. GLASS INSERT
3	2' - 8"	6' - 8"	2	INTERIOR SINGLE PANEL INTERIOR HOLLOW CORE
4	4' - 0"	6' - 8"	1	BIFOLD
5	8' - 0"	6' - 8"	1	BIFOLD
6	5' - 0"	6' - 8"	1	EXTERIOR TEMPERED GLASS FRENCH DOORS
7	1' - 6"	6' - 8"	1	INTERIOR SINGLE PANEL INTERIOR HOLLOW CORE
8	2' - 8"	6' - 8"	1	POCKET DOOR; INT. SOLID CORE PTD. WOOD FLAT SLAB



WINDOW SCHEDULE

Type Mark	Width	Height	Sill Height	Count	Comments
A	3' - 0"	5' - 0"	1' - 8"	2	SINGLE HUNG, NEW, EGRESS
B	6' - 0"	2' - 0"	5' - 0"	2	SINGLE HUNG, NEW
C	2' - 0"	6' - 0"	0' - 8"	1	FIXED, NEW, TEMPERED
D	4' - 0"	6' - 0"	0' - 8"	1	FIXED, NEW, TEMPERED
E	6' - 0"	6' - 0"	1' - 0"	4	FIXED, NEW, TEMPERED
F	1' - 0"	6' - 0"	0' - 8"	2	FIXED, NEW, TEMPERED
G	4' - 0"	1' - 0"	6' - 6"	1	FIXED, NEW
H	2' - 6"	2' - 6"	4' - 2"	1	SINGLE HUNG, NEW
I	2' - 6"	4' - 6"	2' - 2"	1	FIXED, NEW





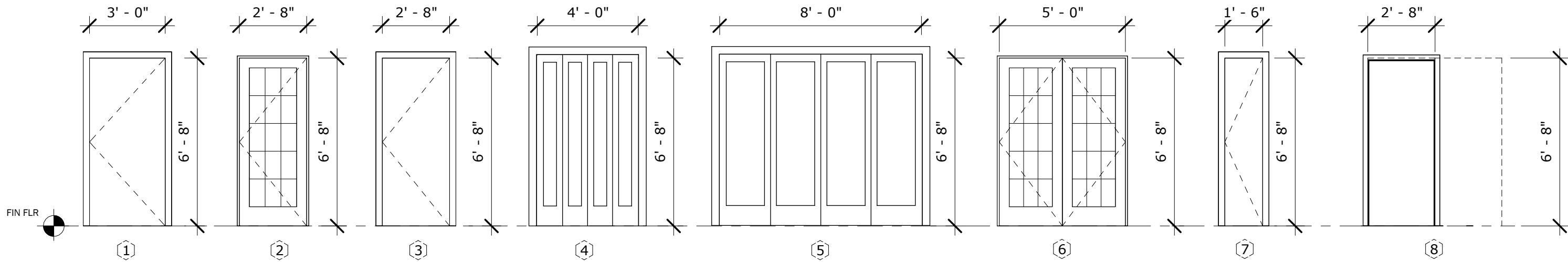
1 PROPOSED ROOF TOP DECK
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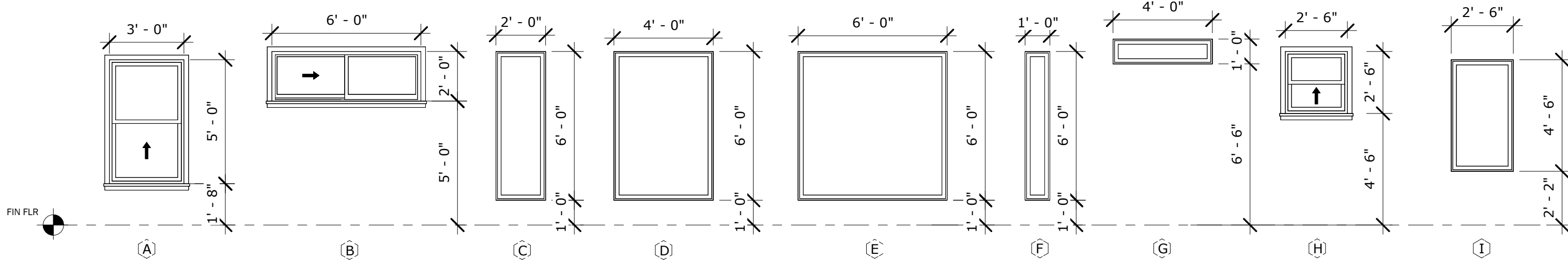
DOOR SCHEDULE

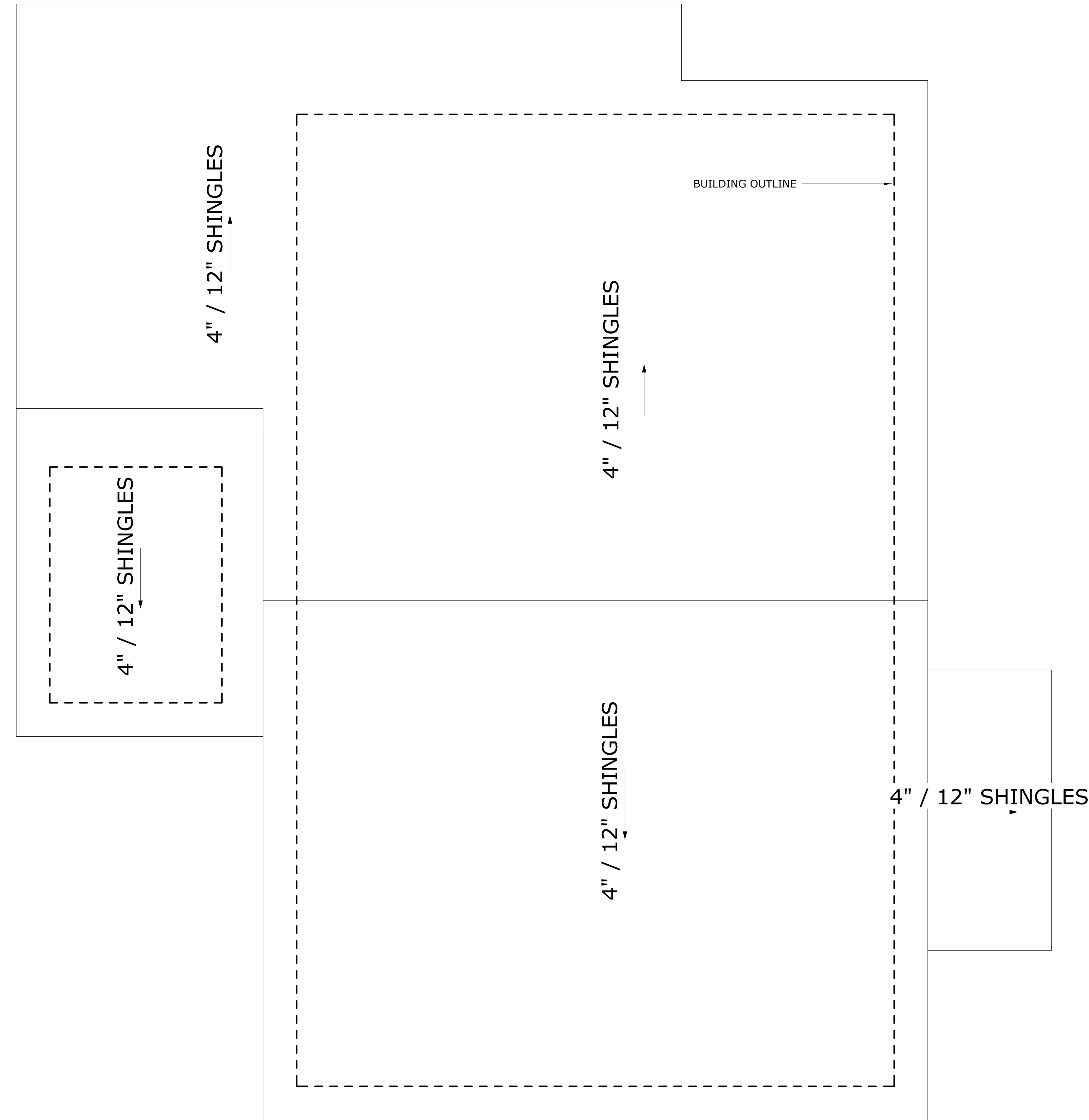
Type Mark	Width	Height	Count	Comments
1	3' - 0"	6' - 8"	1	SINGLE PANEL EXTERIOR SOLID CORE
2	2' - 8"	6' - 8"	2	EXTERIOR WOOD FRAME TEMP. GLASS INSERT
3	2' - 8"	6' - 8"	2	INTERIOR SINGLE PANEL INTERIOR HOLLOW CORE
4	4' - 0"	6' - 8"	1	BIFOLD
5	8' - 0"	6' - 8"	1	BIFOLD
6	5' - 0"	6' - 8"	1	EXTERIOR TEMPERED GLASS FRENCH DOORS
7	1' - 6"	6' - 8"	1	INTERIOR SINGLE PANEL INTERIOR HOLLOW CORE
8	2' - 8"	6' - 8"	1	POCKET DOOR; INT. SOLID CORE PTD. WOOD FLAT SLAB



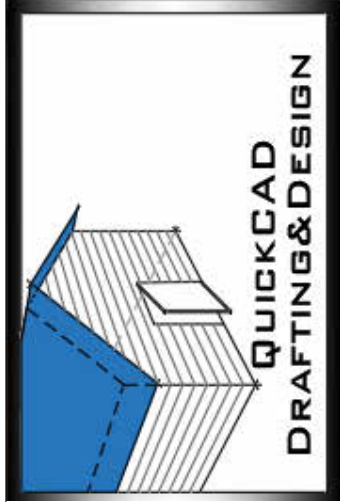
WINDOW SCHEDULE

Type Mark	Width	Height	Sill Height	Count	Comments
A	3' - 0"	5' - 0"	1' - 8"	2	SINGLE HUNG, NEW, EGRESS
B	6' - 0"	2' - 0"	5' - 0"	2	SINGLE HUNG, NEW
C	2' - 0"	6' - 0"	0' - 8"	1	FIXED, NEW, TEMPERED
D	4' - 0"	6' - 0"	0' - 8"	1	FIXED, NEW, TEMPERED
E	6' - 0"	6' - 0"	1' - 0"	4	FIXED, NEW, TEMPERED
F	1' - 0"	6' - 0"	0' - 8"	2	FIXED, NEW, TEMPERED
G	4' - 0"	1' - 0"	6' - 6"	1	FIXED, NEW
H	2' - 6"	2' - 6"	4' - 2"	1	SINGLE HUNG, NEW
I	2' - 6"	4' - 6"	2' - 2"	1	FIXED, NEW





① EXISTING ROOF PLAN
3/8" = 1'-0"



COMPLETED

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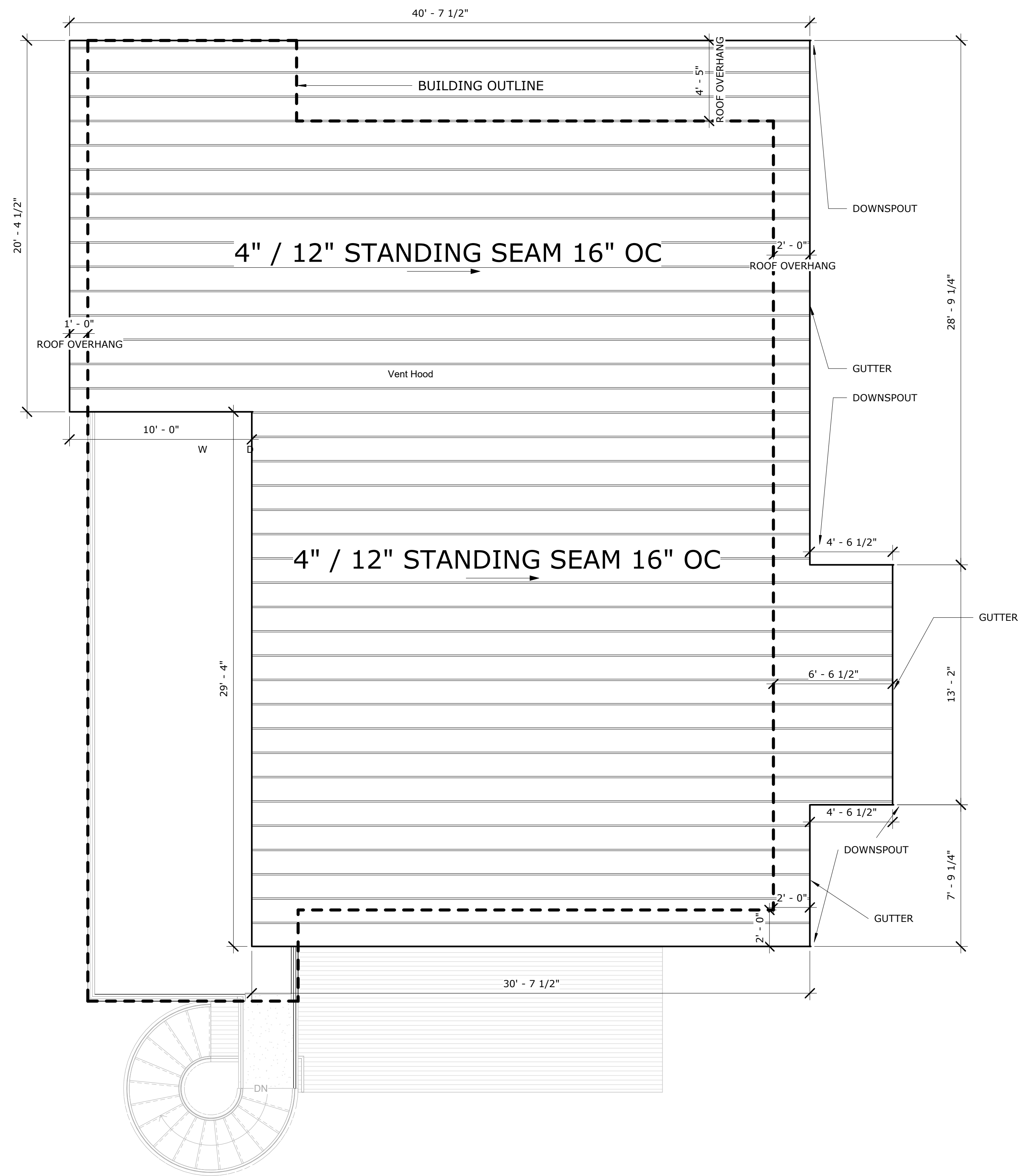
3/8" = 1'-0"

HOUSE RENOVATION

1621 WEST 14TH ST AUSTIN, TX 78703

A106

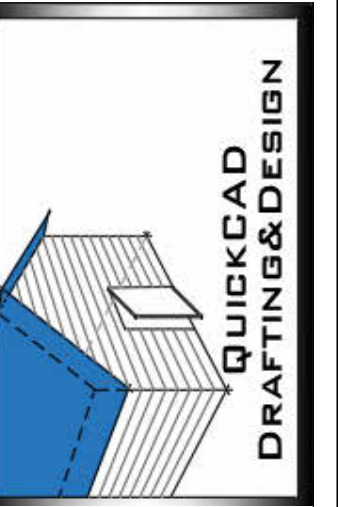
EXISTING ROOF
PLAN



① PROPOSED ROOF PLAN
1/4" = 1'-0"

GENERAL ROOF LAYOUT NOTES

1. PITCHES TO BE AS NOTED ON PLANS
2. HIPS, VALLEYS, AND RIDGES TO BE FRAMED ONE SIZE LARGER THAN RAFTERS
3. ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
4. ALL OVERHANGS TO BE 18" FROM THE FRAME WALL UNLESS NOTED OTHERWISE.
5. U.N.O. ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING.
6. ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
7. WHEN ENGINEERED TRUSSED TO BE USED, TRUSS DESIGN, AND DESIGN SPACING TO BE PER ENGINEERS SPECIFICATIONS.
8. ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2X6 STUDS. WALLS OVER 10'-0" THAT ARE NOT BUILT WITH 2X6 STUDS MUST BE BUILT WITH DOUBLE 2X4 STUDS AT 12" O.C.
9. BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
10. ALL LOAD BEARING HEADERS AND CONCEALED OR DROPPED BEAMS TO BE DESIGNED PER ENGINEER OR BUILDER.



COMPLETED

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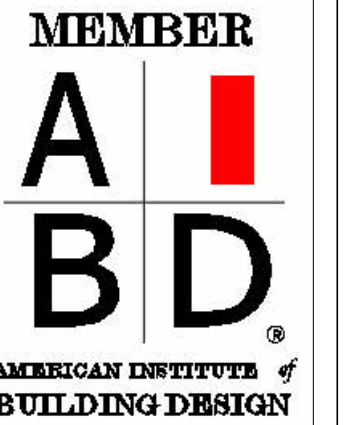
1/4" = 1'-0"

HOUSE RENOVATION

1621 WEST 14TH ST AUSTIN, TX 78703

A107

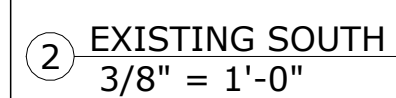
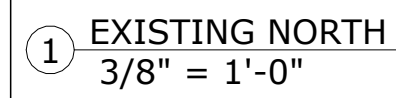
PROPOSED ROOF
PLAN



As indicated

1621 WEST 14TH ST AUSTIN, TX 78703

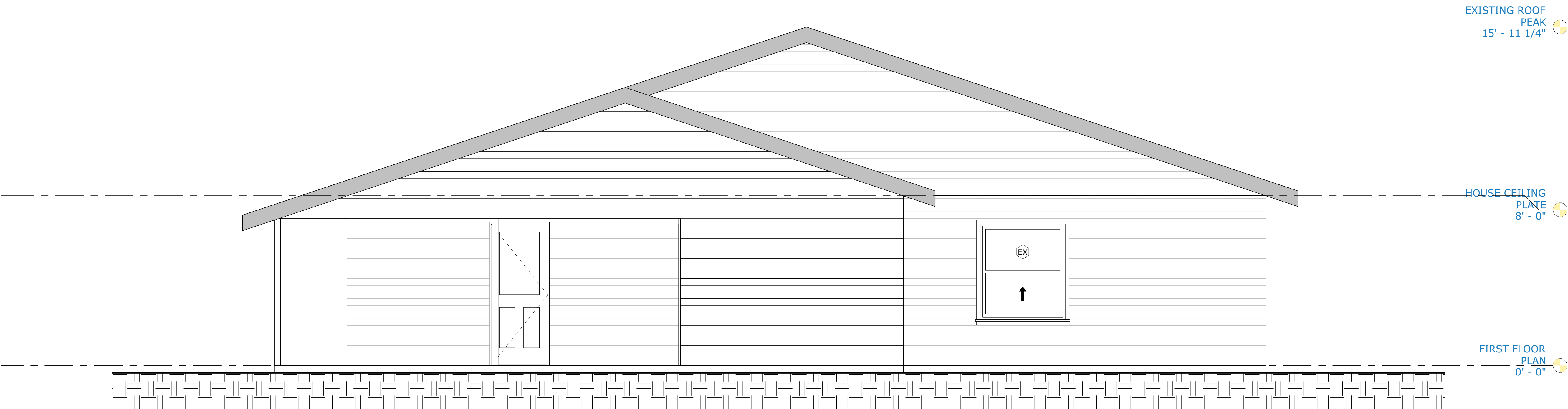
EXISTING NORTH
/ SOUTH
ELEVATIONS



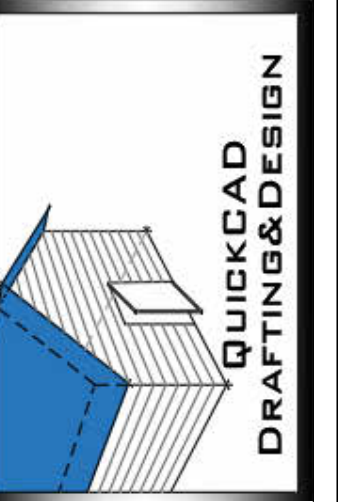


① EXISTING EAST
3/8" = 1'-0"

- SHINGLE
- VINYL
- FIBER CEMENT
- STANDING SEAM



② EXISTING WEST
3/8" = 1'-0"



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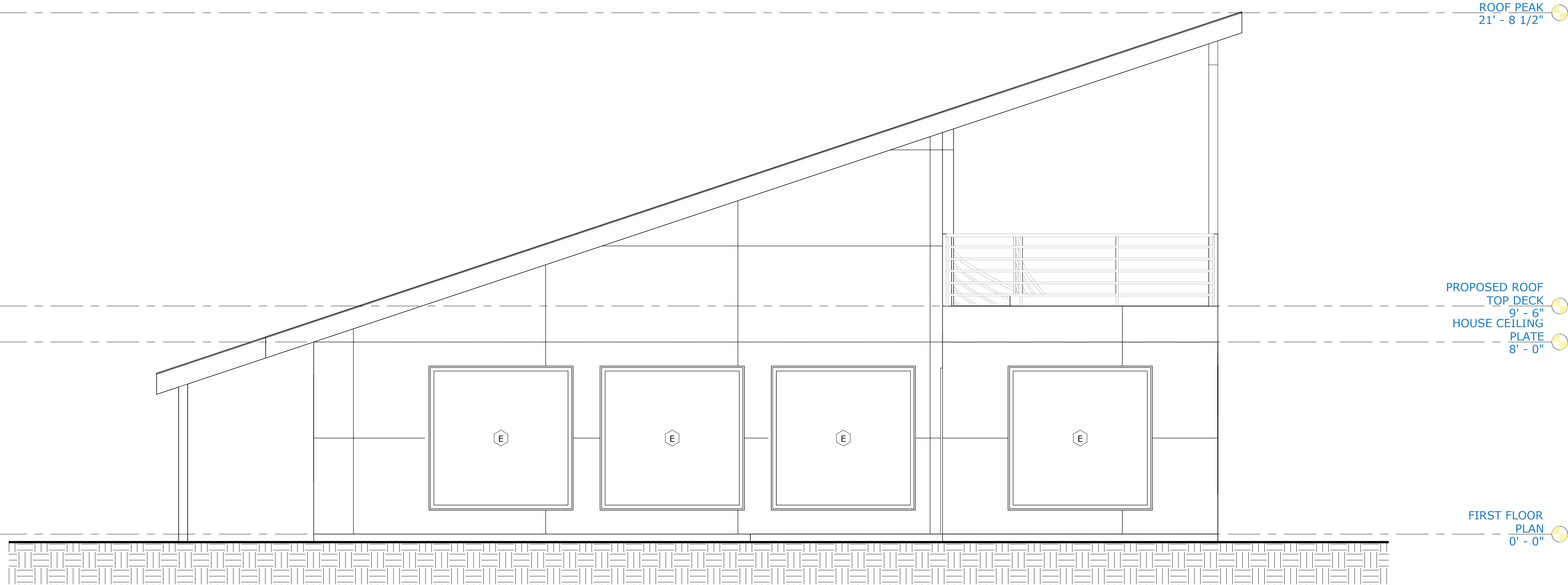
HOUSE RENOVATION

1621 WEST 14TH ST AUSTIN, TX 78703

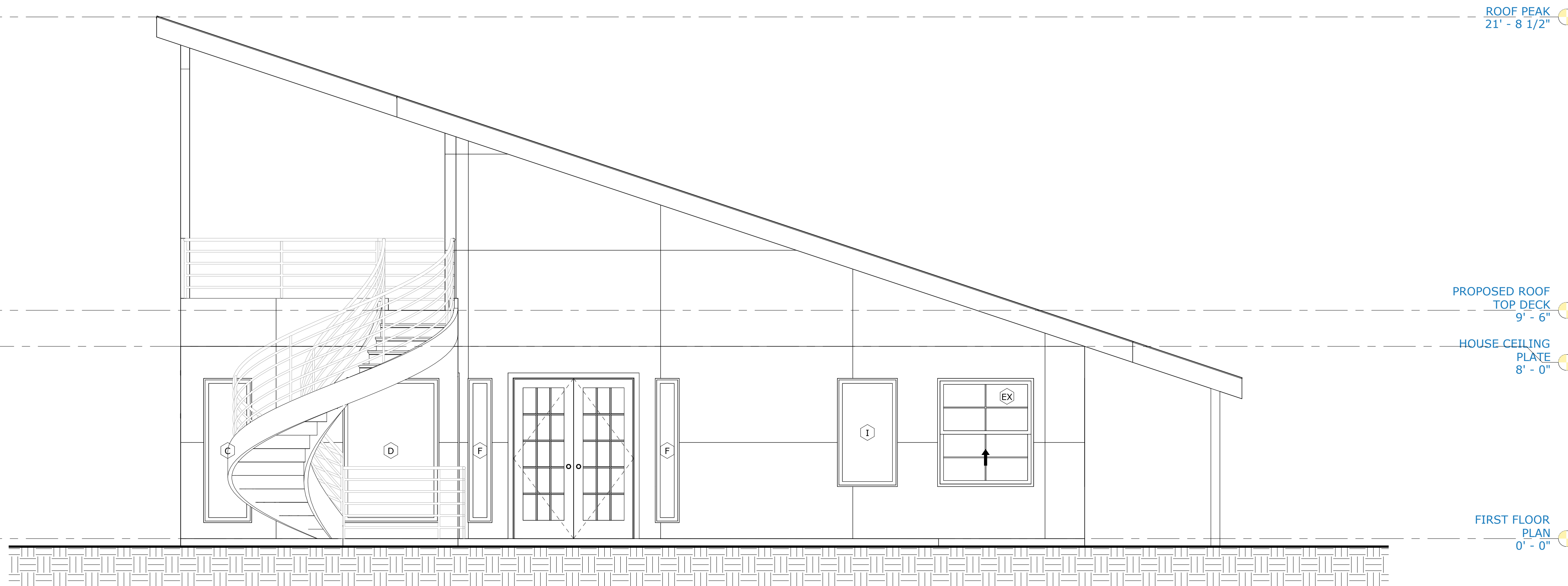
A202

EXISTING EAST /
WEST
ELEVATIONS

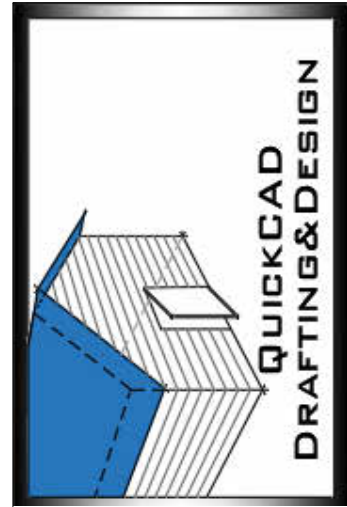
1 PROPOSED NORTH
3/8" = 1'-0"



2 PROPOSED SOUTH
3/8" = 1'-0"



- SHINGLE
- VINYL
- FIBER CEMENT
- STANDING SEAM



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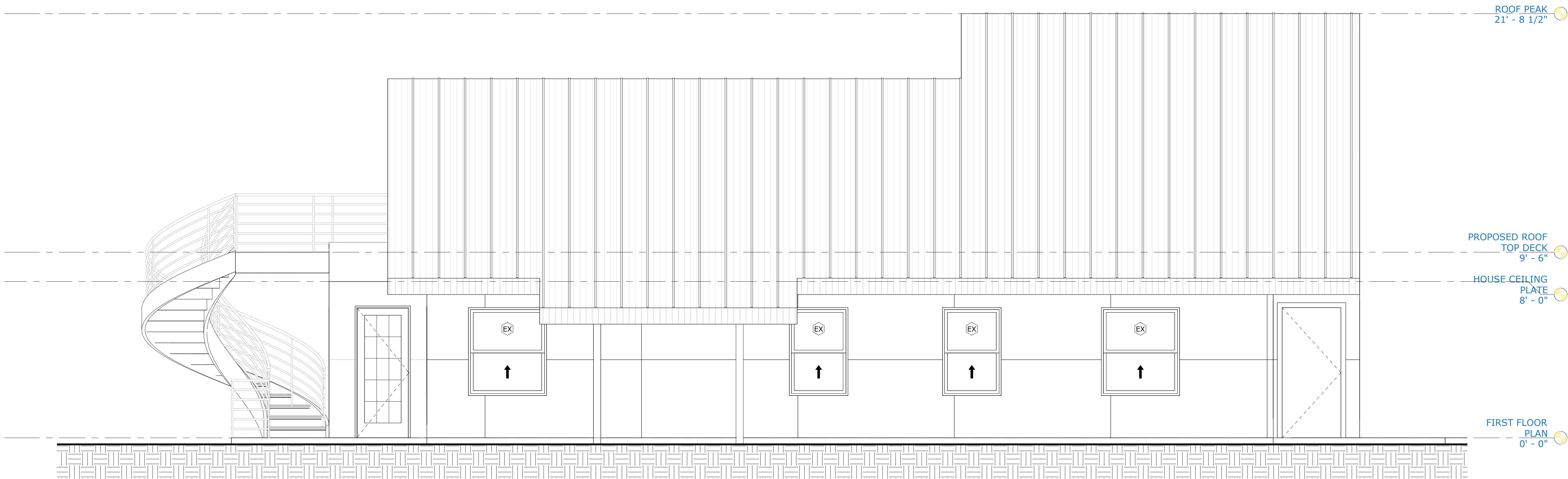
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HOUSE RENOVATION

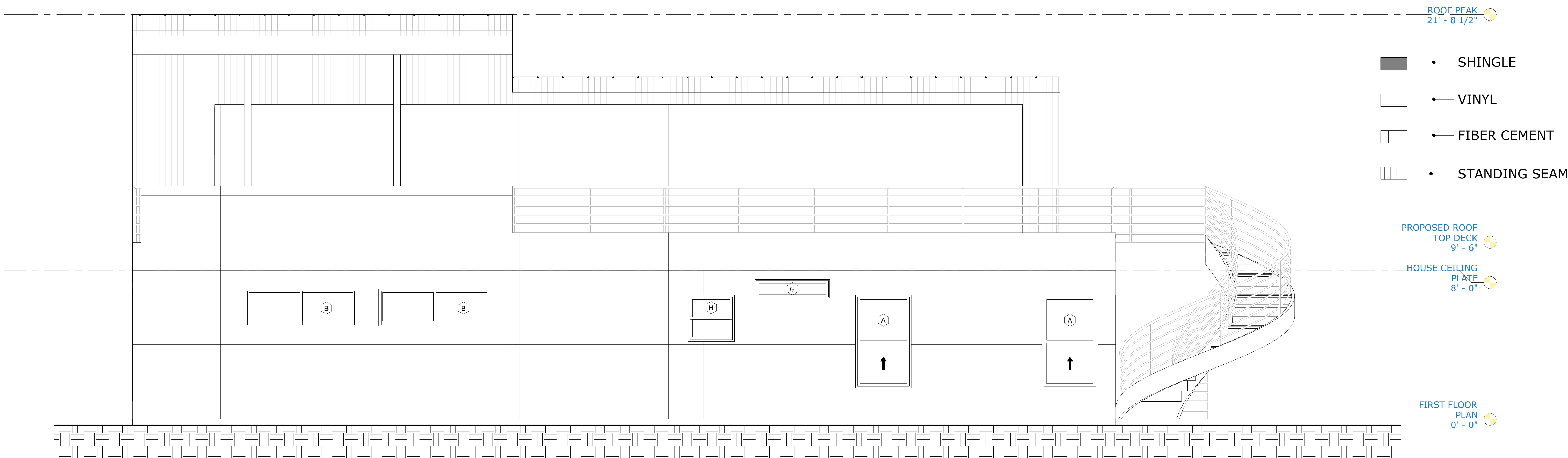
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A203

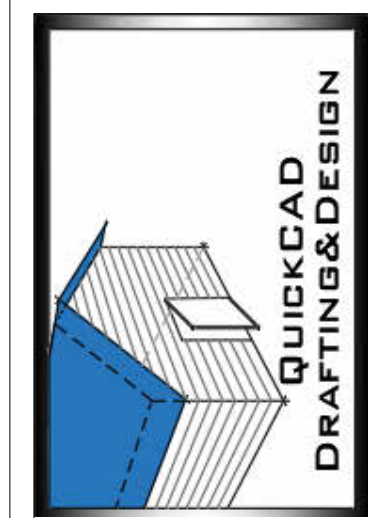
PROPOSED
NORTH / SOUTH
ELEVATIONS



① PROPOSED EAST
3/8" = 1'-0"



② PROPOSED WEST
3/8" = 1'-0"



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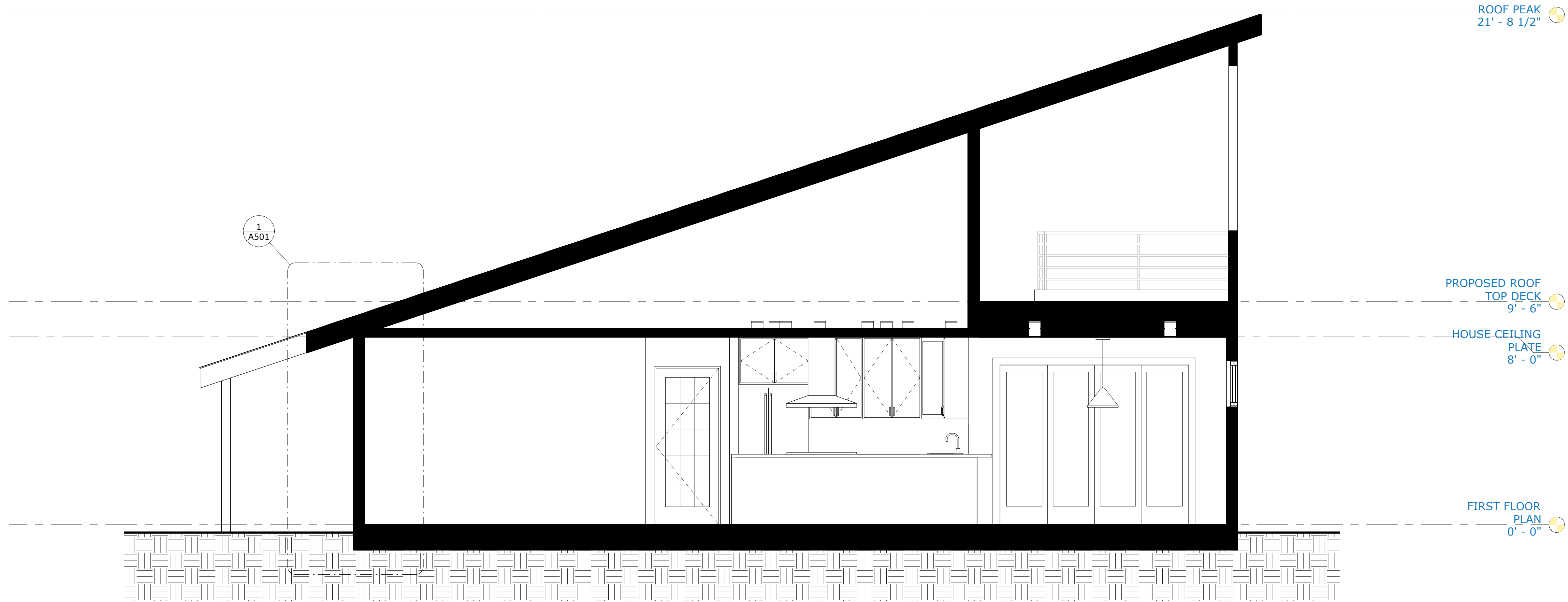
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HOUSE RENOVATION

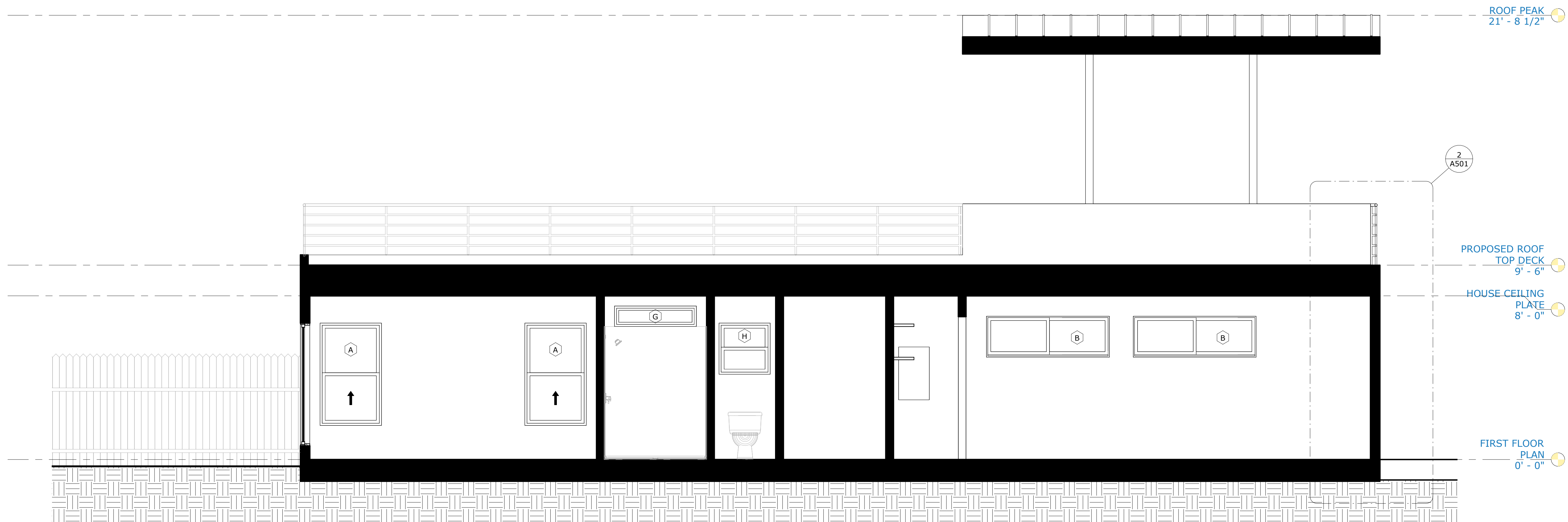
1621 WEST 14TH ST AUSTIN, TX 78703

A204

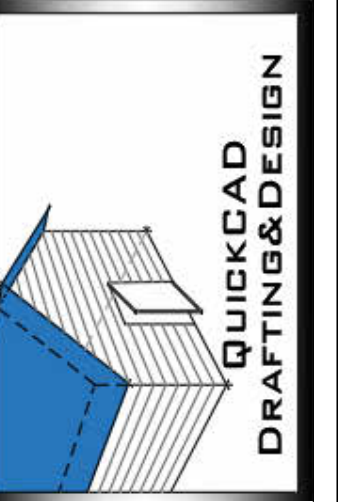
PROPOSED EAST /
WEST
ELEVATIONS



① Section 7
3/8" = 1'-0"



② Section 8
3/8" = 1'-0"



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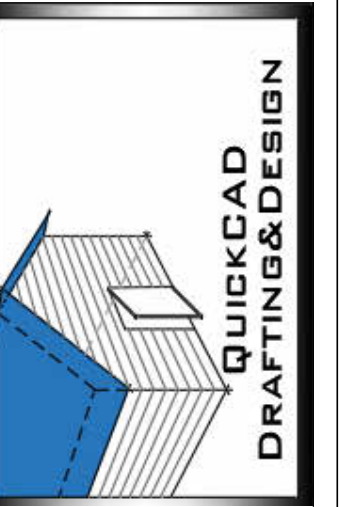
3/8" = 1'-0"

HOUSE RENOVATION

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A301

SECTIONS



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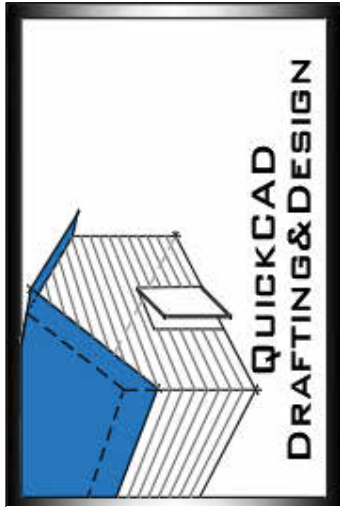
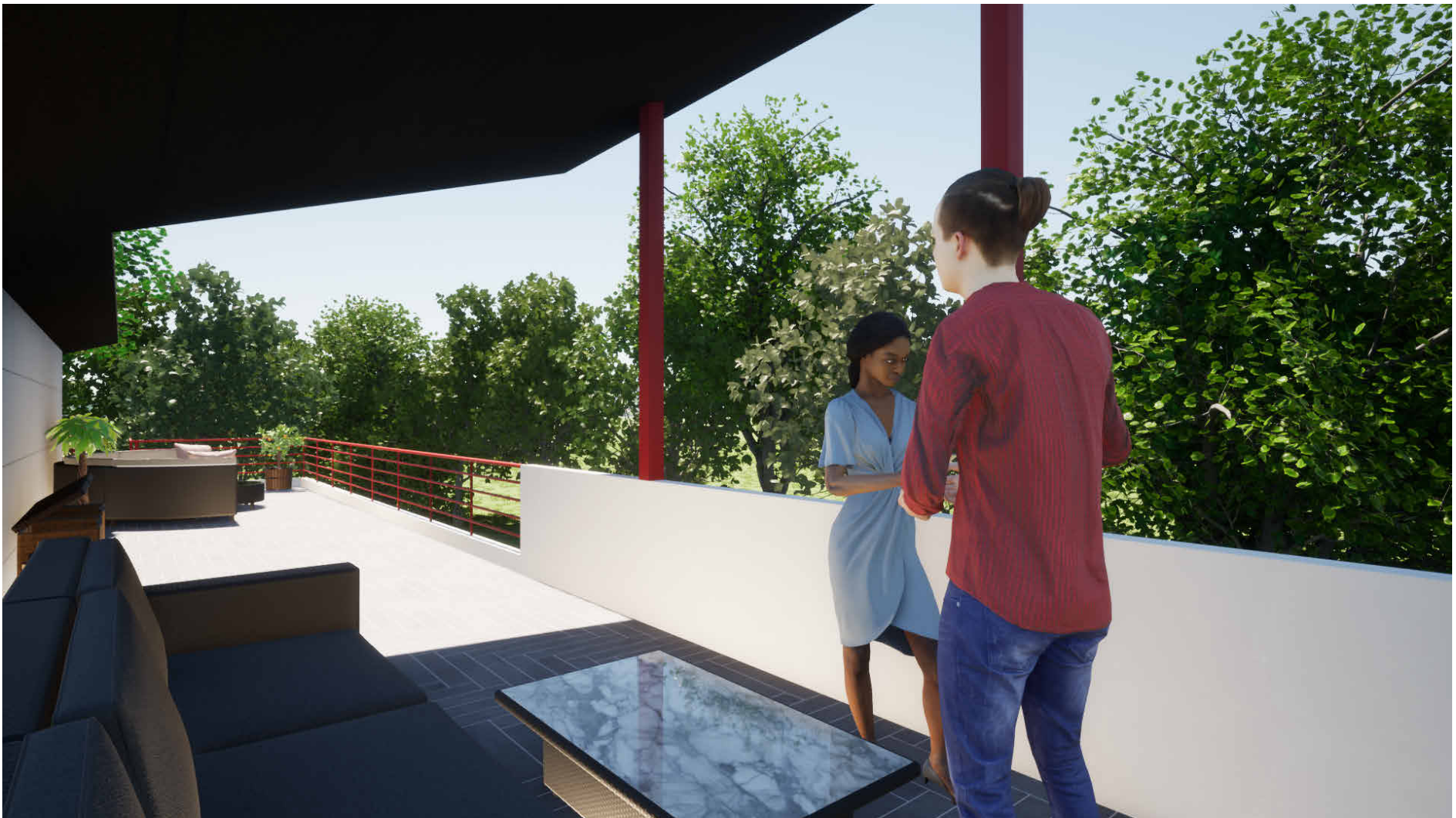
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HOUSE RENOVATION

1621 WEST 14TH ST AUSTIN, TX 78703

A901

RENDERS



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HOUSE RENOVATION
1621 WEST 14TH ST AUSTIN, TX 78703

A902

RENDERS

DOOR & WINDOWS NOTES

- ALL DOORS AND WINDOWS MUST COMPLY WITH CURRENT BUILDING CODES.
- ALL INTERIOR DOORS 6'8" HOLLOW
- EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH A SILL FINISH HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPEN AREA OF 5.7 SQFT.
- EGRESS WINDOWS SHALL NOT HAVE AN OPERABLE AREA LESS THAN 20"WIDE OR 24" HIGH.
- DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1- 3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOORS SHALL BE SELF CLOSING.
- EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOORS SHALL BE OPERABLE FROM INSIDE WITH OUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS.

GLAZING/WINDOWS NOTES

- GLAZING IN SIDE HINGED DOORS EXCEPT JALOUSIES.
- GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS ASSEMBLIES AND PANELS IN SLIDING AND BIFOLD CLOSET DOORS ASSEMBLIES.
- GLAZING IN STORM DOORS
- GLAZING IN ALL UNFRAMED SWINGING DOORS.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITH-IN A 24 INCH ARC OF THE DOOR IN A CLOSED POSITION. AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES FROM THE FLOOR OR WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL OTHER THAN THOSE LOCATIONS DESCRIBED ABOVE, THAT MEETS ALL THE FOLLOWING CONDITIONS.
 - EXPOSED ARE OF AN INDIVIDUAL PANE GREATER THAN 9 SQ FT.
 - TOP EDGE GREATER THAN 36" ABOVE FINISHED FLOOR.

ELECTRICAL NOTES

- ALL INSTALLATION TO BE IN ACCORDANCE WITH LOCAL CODES AND THE NATIONAL ELECTRICAL CODE.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND INSPECTIONS.
- CONVENIENCE OUTLETS TO BE MOUNTED AT 14" A.F.F
- OUTLETS MOUNTED ABOVE CABINETS TO BE 6" ABOVE THE NOMINAL WORKING SURFACE AREA. SPECIALTY OUTLETS AS NOTED OR ACCORDING TO STANDARD PRACTICE.
- REFRIGERATOR AND APPLIANCES OUTLETS SHALL BE AT 44" A.F.F
- BATHROOM OUTLETS LABELED CT SHALL BE MOUNTED 6" ABOVE COUNTER.
- SWITCH BOXES TO BE MOUNTED 48" A.F.F TO CENTERLINE OF BOX CLUSTER.
- MICROWAVE OUTLETS SHALL BE 20AMP. SEPARATE.
- ATTIC LIGHT SWITCH BOX TO BE MOUNTED AT 84" A.F.F.
- ATTIC LIGHTS SWITCH TO BE KEYLESS FIXTURE WITH INTEGRATED CONVENIENCE OUTLET LOCATED CONVENIENT TO ACCESS.
- WASHER TO HAVE SEPARATE 20 AMP DUPLEX OUTLET AT 44" A.F.F
- DRYER TO HAVE SEPARATE 220V 30AMP SINGLE OUTLET AT 44" A.F.F
- ALL EXTERIOR OUTLETS TO BE GFCI AND WEATHERED PROTECTED.
- TELEPHONE OUTLETS: PROVIDE BOX AT 14" A.F.FOR 6" ABOVE COUNTER.
- CABLE OUTLETS: PROVIDE BOX AT 14" A.F.F OR 6" ABOVE COUNTER.
- SMOKE ALARMS SHALL COMPLY W/NFPA72 & SECTION R314 OF THE INTERNATIONAL RESIDENTIAL CODE.

GENERAL CONTRACTOR NOTES

- THESE PLANS ARE INTENDED TO PROVIDE THE BASIC CONSTRUCTION INFORMATION NECESSARY TO CONSTRUCT THIS STRUCTURE.THESE PLANS MUST BE FIELD VERIFIED AND CHECKED COMPLETELY BY THE GENERAL CONTRACTOR OR SUB-CONTRACTOR IN AUTHORITY FOR THE JOB. ANY DISCREPANCIES, ERROR, AND/OR OMISSION IF FOUND IS TO BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE DESIGNER PRIOR TO COMMENCING CONSTRUCTION,WORK, OF PURCHASE MADE.
- ALL CODES, ORDINANCES, AND REQUIREMENTS FEDERAL, STATE, AND LOCAL, TAKE PRECEDENT OVER ANY PART OF THESE DOCUMENTS, WHICH MAY CONFLICT WITH THESE AGENCIES RULES AND OR REGULATIONS AND MUST BE ADHERED TO BEFORE AND DURING CONSTRUCTION.
- ALL NOTES & DRAWINGS SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS AS PRODUCED BY THE INTERNATIONAL CODE COUNCIL. ALL REFERENCES WERE/ARE TAKEN FORM THE 2021 ISSUE.
- UNLESS OTHER WISE PERMITTED OR REQUIRED BY THE DRYER MFG, INSTALLATION INSTRUCTION OR APPROVED BY THE BLDG OFFICIAL DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF A 14' INCLUDING TWO 90 D ELBOWS IN EXCESS OF TWO.
- ATTIC ACCESS ARE PROVIDED ON PLANS TO SERVICES MECH. EQUIPMENT AND LIMITED LIGHT STORAGE BUT IN NO CASE SHALL THE COMBINED DECK ATTIC AREAS EXCEED 500 PSF.
- SHOWER STALLS TO BE TILED FLOOR TO CEILING.
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOM THROUGH NATURAL OR MECHANICAL MEANS AND COMPLY WITH R303.3 AND R303.4.
- APPROVED SMOKE DETECTORS LOCATIONS SHALL COMPLY WITH SECTION R314.
- IF AN ENGINEER STAMP/PLANS HAVE BEEN SUPPLIED BY OTHER AND ARE PRESENT. THE ENGINEER OF RECORD SHALL BEAR ALL STRUCTURAL RESPONSIBILITIES OF THE STRUCTURE CONTAINED HEREIN.
- ALL ANGLES TO BE 45 D UNLESS NOTED OTHERWISE.
- DIMENSIONS SHOWN ON THE FLOOR PLAN ARE NOMINAL, SLIGHT FIELD ADJUSTMENTS MAY BE NECESSARY TO ALLOW FOR ACTUAL MATERIAL SIZES AND PRACTICALITY OF THE CONVENTIONAL CONSTRUCTION METHODS. DETAILS AND NOTES NOT PROVIDED WITH THE DRAWINGS SHOULD BE PROVIDED BY THE MFG.
- ALL AGREEMENTS AS OUT IN THE CONSTRUCTION AGREEMENT SHALL HOLD PRECEDENCE OVER ANY SPECIFICATIONS AS OUTLINED OR DEFINED IN THESE DRAWINGS.
- ANY WORK COMPLETED BY ANY SUBCONTRACTOR SHALL BE ONLY CONDUCTED UPON A WRITTEN AGREEMENT/CONTRACT BETWEEN THE BUILDER AND SAID SUBCONTRACTOR WITH THE FULL SCOPE OF WORK TO BE COMPLETED DULY NOTE IN THE PROPOSAL. IN ADDITION THE AGREEMENT/CONTRACT SHALL ALSO STATE EXACT COSTS TO BE INCURRED AND FULL DRAW AND PAYMENT INSTRUCTIONS/DEMANDS. NO SUBCONTRACT SHALL CHANGE ANY SPECIFICATION AS DEFINED BY THESE DRAWINGS WITHOUT THE WRITTEN CONSENT FROM BOTH THE OWNER AND BUILDER.
- BUILDER SHALL NOTE THE FOLLOWING SPECIFIC CONSTRUCTION GUIDELINES IN ADDITION TO THE GENERAL NOTES SUPPLIED IN THESE DRAWINGS.
 - ALL WINDOWS SHALL BE APPROVED LOW E GLASS
 - FURNACES INSTALLED SHALL MEET A MINIMUM OF AN 80% AFUE RATING
 - ALL AIR CONDITIONING SYSTEMS SHALL BE A MINIMUM OF 12 SEER UNITS AS PER 2021 INTERNATIONAL ENERGY CONSERVATION CODE IECC.
 - MECHANICAL DUCTING REFER TO 2021 IECC REQUIREMENTS.
 - ALL EXTERIOR WALLS SHALL BE A MINIMUM OR R-13 INSULATION.
 - ALL CLOSED DOOR ROOMS SHALL RECEIVED A RETURNED AIR GRILL FOR PROPER AIR CIRCULATION.

2017 NEC GFCI REQUIREMENTS FOR DWELLING UNITS

ARTICLE 210.8 STATES THAT GROUND FAULT INTERRUPTERS SHALL BE USED FOR ALL 125 VOLT SINGLE PHASE 15 AND 20 AMP RECEPTACLES IN THE FOLLOWING LOCATIONS.

- BATHROOM: ALL RECEPTACLES
- EXCEPTIONS: RECEPTACLES SUPPLYING ONLY PERMANENTLY INSTALLED FIRE ALARM OR BURGLAR ALARM SYSTEM, RECEPTACLES THAT ARE NOT READILY ACCESSIBLE, RECEPTACLES ON A DEDICATED CIRCUIT AND LABELED FOR USED WITH A PLUG-IN EQUIPMENT.
- KITCHENS: ALL RECEPTACLES SERVING COUNTERTOP AREAS AND ANY RECEPTACLE WITHIN 4 FEET OF A SINK.
- LAUNDRY, UTILITY, AND WET BARS: WHERE RECEPTACLES ARE PLACED WITHIN SIX FEET OF THE OUTSIDE EDGE OF THE SINK.

CODES TO FOLLOW

- INTERNATIONAL BUILDING CODE 2021
- INTERNATIONAL RESIDENTIAL CODE 2021
- INTERNATIONAL ENERGY CONSERVATION CODE 2021
- INTERNATIONAL FIRE CODE 2021
- UNIFORM MECHANICAL CODE 2021
- UNIFORM PLUMBING CODE 2021
- NATIONAL ELECTRICAL CODE 2020
- AMERICAN NATIONAL STANDARD ACCESSIBLE & USABLE

