

ALL BEARINGS ARE BASED ON THE RECORDED PLAT UNLESS OTHERWISE NOTED. ALL EASEMENTS AND BUILDING LINES ARE BASED ON THE RECORDED PLAT, UNLESS OTHERWISE NOTED. SURVEYOR DID NOT ABSTRACT SUBJECT PROPERTY. THIS SURVEY HAS BEEN COMPILED IN ACCORDANCE WITH INFORMATION CONTAINED IN THE TITLE COMMITMENT REFERENCED IN GF NO. 23-0958-A

SURVEY OF

LOT 1 AND 2, HARRIS PARK ADDITION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT OF RECORD IN VOLUME 3, PAGE 99, OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

THIS TRACT IS LOCATED WITHIN FLOOD ZONE "X(UNSHADED)" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 480624 465 K, REVISED JANUARY 22, 2020. FLOOD ZONE DETERMINED BY GRAPHIC PLOTTING ONLY. WE DO NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.

PURCHASER	RJ 814 PROPERTIES, LLC	LENDER CO.	-
ADDRESS	701 SPARKS AVENUE, AUSTIN, TX 78705	TITLE CO.	CORRIDOR TITLE

 Windrose Land Services - Austin 4120 Commercial Center Dr. Suite 300 Austin, Texas 78744 TEL. (512) 326-2100 FAX (512) 326-2770 COPYRIGHT 2023 WINDROSE LAND SERVICES - AUSTIN, ALL RIGHTS RESERVED		 STATE OF TEXAS REGISTERED MICHAEL TURNER 6441 PROFESSIONAL LAND SURVEYOR		I do hereby certify that this survey was this day made on the ground and that this plot correctly represents the property legally described hereon (or on attached sheet), that the facts found at the time of this survey show the improvements and that there are no encroachments apparent on the ground, except as shown. Surveyor for Windrose Land Services - Austin. FIRM REGISTRATION NO. 10110400				
FIELD WORK	04/25/23	CL	DRAFTED BY	04/26/23	WS	CHECKED BY	04/26/23	MT
REVISION	07/05/23	GW	ADDED TREES & TOPOGRAPHICAL INFORMATION			MAPSCO PAGE		JOB NO.
REVISION	07/18/23	MT	BOUNDARY			585 B		42390

703 SPARKS House with Accessory Dwelling



WT 50. FT. 7752
 MUWNO F.A.P. 3100
 MUWNO I.C. 3488

NOTES:

PROVIDE POSITIVE DRAINAGE AWAY FROM
 HOUSE AROUND ENTIRE STRUCTURE.
 FINISHED GRADES AS CALLED ON PLAN ARE
 APPROXIMATE AND SHOULD BE VERIFIED FROM
 ARCHITECTURAL AND ENGINEERING PLANS.
 FINAL DRAINAGE AT HOUSE TO BE DETERMINED
 BY CONTRACTOR & VERIFIED BY OWNER.

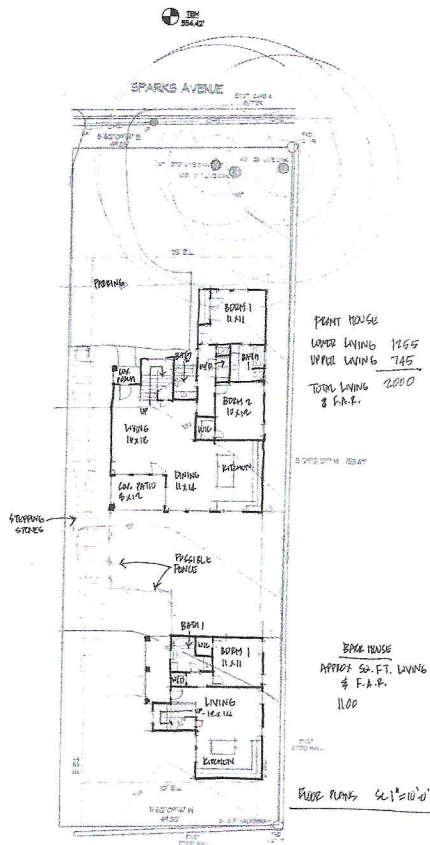
LEGAL DESCRIPTION

HARRIS PARK ADDITION
 LOT 2
 SPARKS AVENUE



SITE PLAN

SCALE: 1/4" = 1'-0"



FRONT HOUSE
 LOWER LIVING 1265
 UPPER LIVING 745
 TOTAL LIVING 2010
 8 B.A.P.

BACK HOUSE
 APPROX 50. FT. LIVING
 8 F.A.P.
 1100

FRONT PLANS 1/4" = 1'-0"



FRONT UNIT UPPER FLOOR



BACK UNIT UPPER FLOOR

NO. OF PLANS	72623
DATE	
REVISIONS	
REVISIONS	

Lot 2 Sparks Avenue

austin design group
 RESIDENTIAL DESIGN FIRM
 800 South Capital of Texas Highway, Suite 100, Austin, TX 78704 (512) 344-0000

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 EXT.

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