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OWNER INFORMATION

NATHANIEL & ELIZABETH CHAPIN
309 PARK LANE
AUSTIN, TEXAS 78704

LEGAL DESCRIPTION

A PORTION OF BLOCKS 12-B & 12-C,
FAIRVIEW PARK ADDITION, A SUBDIVISION
IN TRAVIS COUNTY, TEXAS. ACCORDING
TO A MAP OR PLAT RECORDED IN
VOLUME 1, PAGE 46, PLAT RECORDS OF
TRAVIS COUNTY, TEXAS.

SITE INFORMATION

TAKEN FROM SURVEY PROVIDED BY
EDWARD RUMSEY, RPLS, ALL-STAR LAND
SURVEYING, DATED DECEMBER 7, 2012.

AREA CALCULATIONS

TOTAL LOT AREA= 16,568 S.F.

	EXISTING	DEMO	NEW	TOTAL
FIRST FLOOR COND.	1713 S.F.	686 S.F.	872 S.F.	1899 S.F.
STUDIO	469 S.F.	0 S.F.	0 S.F.	469 S.F.
COVERED PATIO (STUDIO)	143 S.F.	0 S.F.	0 S.F.	143 S.F.
COVERED PORCH (HOUSE)	574 S.F.	0 S.F.	63 S.F.	637 S.F.
BALCONY	0 S.F.	0 S.F.	48 S.F.	48 S.F.
CARPORT	520 S.F.	0 S.F.	0 S.F.	520 S.F.
	3,419 S.F.			3,716 S.F.

TOTAL BUILDING COVERAGE ON LOT 3,716 S.F.
% BUILDING COVERAGE: 22% < 40% MAX. ALLOWED

	EXISTING	DEMO	NEW	TOTAL
DRIVEWAY	204 S.F.	0 S.F.	0 S.F.	204 S.F.
SIDEWALKS	452 S.F.	0 S.F.	14 S.F.	466 S.F.
UNCOVERED PATIO	0 S.F.	0 S.F.	0 S.F.	0 S.F.
UNCOVERED WOOD DECK	0 S.F.	0 S.F.	196 S.F.	196 S.F.
AC. PADS	18 S.F.	0 S.F.	0 S.F.	18 S.F.
OTHER (STEPS)	9 S.F.	0 S.F.	17 S.F.	26 S.F.
OTHER (CONC. PAVERS)	58 S.F.	0 S.F.	0 S.F.	58 S.F.
OTHER (GARDEN SHED)	73 S.F.	0 S.F.	0 S.F.	73 S.F.
OTHER (WATER TANK)	28 S.F.	0 S.F.	0 S.F.	28 S.F.
				971 S.F.

TOTAL BUILDING COVERAGE ON LOT 3,714
TOTAL NON-BUILDING COVERAGE 971
TOTAL IMPERVIOUS COVERAGE 4,685
% IMPERVIOUS COVER: 28% < 45% MAX. ALLOWED

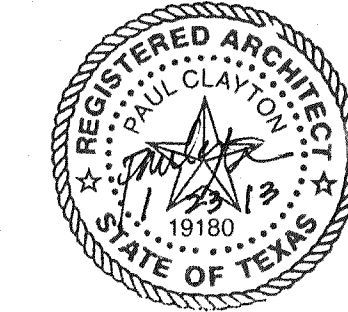
	EXISTING	DEMO	NEW	TOTAL
FIRST FLOOR COND.	1713 S.F.	686 S.F.	872 S.F.	1899 S.F.
SECOND FLOOR COND.	1713 S.F.	686 S.F.	799 S.F.	1826 S.F.
ATTIC COND.	0 S.F.	0 S.F.	328 S.F.	328 S.F.
CARPORT	520 S.F.	0 S.F.	0 S.F.	520 S.F.
				4,123 S.F.

TOTAL FLOOR TO AREA 4,123 S.F.
% FLOOR TO AREA RATIO: 25% < 40% MAX. ALLOWED

Architects
Clayton & Little

1001 East 8th Street
Austin, Texas 78702
512.477.7272

www.claytonandlittle.com



FIELD INSPECTION REQUIRED

Prior to performing any bidding,
new construction, and/or repairs
general contractor shall visit the
site, inspect all existing
conditions, and report any
discrepancies to the architect.

Chapin Residence

309 Park Lane, Austin, Texas 78704

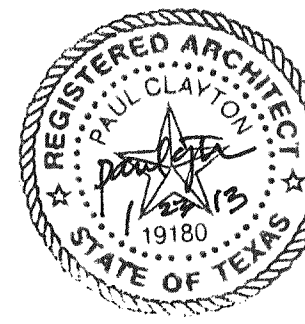
DATE	ISSUED FOR
12.21.12	For Permit
1.04.13	Client Review
1.10.13	Client Review
1.16.13	Client Review
1.23.13	For Bid & Const.

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PROJECT NUMBER: 1273

COVER SHEET
SITE PLAN

G1.0



FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

Chapin Residence

309 Park Lane, Austin, Texas 78704

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SPECIFICATIONS

G1.1

DIVISION TWELVE, THIRTEEN & FOURTEEN – Not Used

DIVISION FIFTEEN – MECHANICAL

- A. HEATING, VENTILATING AND AIR CONDITIONING:
- Provide three new high-efficiency systems for House. SEER 12 minimum. Level One system to be located in crawl space (floor-fed) and Level Two and attic systems to be located in Attic.
 - General Contractor shall submit to Owner for approval prior to installation a schematic layout of all equipment, duct, and grill size and locations.
 - Location of Thermostats and Condensing Unit must be approved by Owner, prior to installation.
- B. PLUMBING:
- Code reference for all plumbing work shall be the National Plumbing Code and any applicable local codes and ordinances.
 - All drain, waste and vent piping shall be Schedule 40 PVC.
 - Flashings at roof penetrations shall be compatible with roofing material, and shall be located in out-of-sight locations, not near eave or ridge. Verify roof jack locations with Architect/Owner before installation.
 - Each plumbing fixture shall have a shut-off valve at the individual fixture.
 - Provide mopped-fiberglass pans at all shower locations.
 - Provide new water supply and drain to all ice maker locations.
 - Provide gas in-line water heater(s) with recirculating pump. Review location with owner prior to installation.

PLUMBING FIXTURE SCHEDULE – All fixtures to be selected by Owner, installed by G.C. Allow \$10,000 for fixtures.

DIVISION SIXTEEN – ELECTRICAL

- A. Code reference for all electrical work shall be the National Electric Code and any applicable local codes.
- B. Contractor to include in base electrical bid the cost of all recessed cans, under/upper cabinet strip fixtures, code-required smoke detectors, and any fixture specified herein. Contractor to provide and install.
- C. Allow \$20,000 for Owner selected fixtures.
- D. Verify all electrical panel locations with Owner & Architect prior to installation.
- E. All new telephone and computer jacks to use Category 6 wiring.
- F. All wire and cable to be insulated copper and new from factory. Voltage ratings of wire and cable operating on voltage in excess of 50 volts shall be 250 volts A.C. For circuits operating on less than 50 volts, the ratings may not be less than 250 volts.
- G. All splices and junctions shall be made in accordance with NEC requirements. No splices or butt joints shall occur other than at junction pull or outlet boxes.
- H. Power feeders shall be type THHN/THWN. Branch circuit wire and cables to be type THHN/THWN. Wires for exterior installation to be in conduit, and wires for use underground to be in Schedule 40 PVC conduit, unless otherwise noted.
- I. All interior wiring shall be done with non-metallic sheathed cable, type NM-B (Romex). All wiring to be no smaller than #12, and all wiring to be copper.
- J. Outlet boxes to be solid plastic or metal; no fiberglass. Metal boxes required where wire size is #6 or larger, or provide a metal junction box.
- K. All wall-mount fixtures to have 4" round box; verify all fixture mounting requirements with fixture specification.
- L. All notations regarding installation heights shall be measured from finish floor to bottom of box.
- M. Wall switches to be standard toggle switch (dimmers also), mounted 36" A.F.F., unless otherwise noted. Owner to select finish.
- N. Dishwasher switch to be mounted on inside face of Kitchen sink cabinet.
- O. All duplex outlets mounted 12" A.F.F., unless noted otherwise, verify with owner prior to installation.
- P. Provide ground fault interrupters at wet locations, per Code.
- Q. Provide arc-fault protection for all electric outlets and devices in bedrooms, per Code.
- R. See Drawings E-1 and E-2 for electrical layout, notes, and legend
- S. Speakers and related equipment: to be provided by Owner; Contractor to coordinate the installation of all.
- T. Security system and related equipment: to be provided by Owner; Contractor to coordinate the installation of all.
- END-

6. If attic space contains furnace and/or storage space a fire retardant layer must be applied to the spray foam insulation.
- B. AIR INFILTRATION PROTECTION: All sealants, caulks and adhesives shall be water based or non-solvent formulations. Install an expanded polycyl foam sealer to all sole plates, projections through exterior walls, around all exterior doors and windows & at penetrations through drywall of electrical and mechanical outlets.
- C. Insulate all hot water and cold water lines where exposed in exterior walls or airspace and in slab. Also insulate piping for sound control.
- D. CAULK: All plates, openings, cracks for watertight construction; use water-based products.
- E. AIR BARRIER: #15 Felts half-lapped, installed in accordance with manufacturer's recommendations over exterior sheathing at all walls.
- F. MOISTURE BARRIER AT WINDOWS AND DOORS: Provide self-stick Moist-Stop at all nailing flanges around all windows and doors.
- G. MOISTURE BARRIER @ ROOF: At all areas provide 30 lb. felts half lapped.
- H. MOISTURE BARRIER @ FIXED GLASS: Wrap top of wall assembly w/ self-stick ice and water shield.
- I. FLASHING: Provide metal flashing at all openings, penetrations, roof valleys and locations necessary for watertight construction. Provide 24 ga. soldered flashing at roof jacks.
- J. METAL ROOF AT HOUSES: Gerdiege Victorian Shingle, 24 ga. Galvalume.
- K. TPO ROOF (Thermo Plastic Polyolefin): Contractor to provide white Firestone Ultraply thermoplastic Polyolefin (TPO) roof system or Architect approved equal. Install in accordance with manufacturer's recommendations, over roof sheathing.
- L. TURRET ROOF: Cedar Shake, fireproof shingle.
- GUTTERS: 5" galvalume metal half-round style gutters with round downspouts throughout. DIVISION EIGHT – DOORS & WINDOW DOORS:
- Exterior Doors: Per Schedule on Drawings. All factory-primed wood, with charcoal metal screening. Doors must be made old doors for re-use. Bore for cylinder lock and dead bolt, unless otherwise noted. Hinge with tamper-proof hinges where doors swing out.
 - Interior Doors: All to be reused, salvaged doors with existing hardware from House.
 - Screen doors: shall be 1-1/2" thick 2-panel, wood, with charcoal metal screening. Doors must be made to receive 4x4 galvanized welded wire mesh at bottom panels.
- B. WINDOWS: by Kolbe & Kolbe, all wood; factory primed. Owner-approved equal. See schedule for types. G.C. to provide charcoal wire mesh screens in wood frame for House.
- C. HARDWARE: to be selected by Owner. Allow \$10,000 for House and \$2,000 for Studio.
- Door Hardware at Houses: Reuse existing hardware when possible.
 - Locksets by Schlage, or equal, finish to be selected by Owner. Key all exterior doors to match.
 - All handles and trim to be selected by Owner. Allowance provided.
 - Door hinges must match finish of knobs and levers.
 - Provide heavy-duty track hardware at interior pocket doors.
 - Window Hardware: Style and color to be selected by Owner.
 - Existing Hardware: All existing interior exterior hardware to be refurbished and reused. Selected by Owner, installed by G.C. Allowance provided.
- D. GLASS:
- All exterior glass shall be double strength, High Performance Low-E.
 - Safety Glass to be provided at locations required by Code.
 - Mirrors shall be 1/2" float glass with warranted silvering. All exposed edges to be polished.
 - Sealants and Caulking: all fixed glass exposed to weather to be set in butyl rubber.

DIVISION NINE – FINISHES

- A. GENERAL NOTE: Owner shall select all finishes and colors. Contractor to confirm all materials with Owner prior to order. Installation of all materials by Contractor, unless otherwise noted.
- B. GYPSUM WALLBOARD:
- Walls: 1/2" thick with light spray mist finish.
 - Ceiling: 5/8" thick with light spray mist finish.
 - Provide texture samples for Architect/Owner approval prior to application. Eggshell finish is required.
 - Use "Greenrock" at all wet locations.
 - Provide "Hardiback" cement-board backing at tile installation locations.
- C. SHIPLAP AT INTERIOR WALLS AND CEILINGS AT HOUSE: 1 X 8 paint grade. Reuse existing/relocate when possible.
- D. Provide alternate bid for sheetrock ceilings throughout.
- E. WOOD FLOORING: Match existing floor species and size. Tooth into existing floor. Refinish all existing wood floors. Stain to be selected by Owner. Reuse as much of existing flooring as possible. Any "new" wood to be old, salvaged.
- F. CERAMIC/PORCELAIN/STONE TILE: Owner to select all tile and grout; G.C. to install. Allow \$10 per s.f. G.C. to provide antiructure membrane at all tile floor installations at wood frame construction.
- G. COUNTERTOPS:
- Kitchen: Stainless steel
 - Butler and Pantry: Butcher block, contractor to allow \$80/sf.
- H. PAINTING:
- Acceptable Brands – Benjamin Moore, Pittsburgh, Sherwin Williams, Porter (Premium Quality Only).
 - Protection of Vegetation – Extreme care must be taken to protect vegetation from over-spray. No dumping paint or chemicals on site.
 - Samples – Contractor shall provide up to three color samples for each area to be painted/stained, as directed by Owner. Color combinations may be up to three per room/area. Contractor to provide up to 20 quarts of different paint samples 24" x 24" on site for color verification/selection by Owner.
4. EXTERIOR:
- Preparation:
 - Exterior staining or painting is not to be done during or immediately following foggy, rainy or frosty weather, or when the temperature is likely to drop below 50 degrees F.
 - All knots, pitch streaks and sappy spots are to be first cleaned of residue, and touched up with shellac or other approved sealer.
 - Remove all dirt, dust, grit, etc. Caulk all gaps and cracks.
 - Avoid painting surfaces while they are exposed to hot sun. Allow all coats to dry thoroughly before applying succeeding coats.
 - To avoid rust showing from nail heads, nails are to be counter-sunk and the holes filled with putty.
 - Schedule: All colors selected by Owner on site.
 - Existing wood, painted: scrape all loose paint and sand smooth; prime coat with oil base enamel two finish coats satin enamel, latex.
 - New wood, painted: one coat oil base primer two finish coats satin enamel, latex.
 - Wood, stained: All exterior stain to include Jomaps M1 mildicide additive.
 - Misc. Metals: one coat rust inhibitive primer. Two finish coats semi-gloss oil-based enamel.

5. INTERIOR:
- Preparation:
 - All surfaces to be painted should be dry, clean and free of loose dirt, dust or grit, and sanded to a smooth surface.
 - Putty all nail holes, cracks, etc. in woodwork after undercoat is applied and lightly sand to a smooth surface. Putty should be tinted to match wood where transparent stain is to be used.
 - Top and bottom edges of all doors to be primed the same as face of doors, after fitting by carpenter.
 - All coats shall be thoroughly dry before applying succeeding coats and lightly sanded between coats.
 - Schedule: All colors and products to be selected by Owner and approved prior to preparation and install.
 - Drywall: Seal all walls with one coat vinyl primer and cover with two coats of latex satin wall paint.
 - Wood, painted: one coat oil base enamel undercoat, two finish coats, oil base semi-gloss at trim, doors, windows, as noted at areas of new work.
 - Wood, stained: one coat stain, two coats polyurethane. Color to be selected by Owner.
 - Brick: Provide latex sealer, two coats minimum, matte finish.
 - All registers and return air grills to be painted to match adjacent surface.
 - All recessed can trim and speaker trim to be painted to match adjacent surface.

DIVISION TEN – SPECIALTIES

- A. BATH ACCESSORIES: shall include all towel bars, toilet paper holders, soap holders and any other misc. accessories. Owner to select all accessories. Allow \$1,000, G.C. to install.
- B. FIREPLACE: existing fireplaces to be refurbished/rebuilt to draw properly and meet current codes.
- C. FIREPLACE MANTEL & Hearth: All existing to remain, and be refurbished per owner. Protect thoroughly throughout construction

DIVISION ELEVEN – EQUIPMENT

All equipment to be selected by Owner, provided & installed by Contractor. Contractor to verify proper fit of all built-in appliances; coordinate with cabinetmaker. Allowances for unit only, does not include installation.

APPLIANCE SCHEDULE- All items to be selected by Owner, installed by G.C. Allow: \$10,000.

- A. Kitchen:
- Refrigerator
 - Range – Re-use existing
 - Dishwasher
 - Microwave
- B. Utility
- Washer
 - Dryer
- C. Butler's Pantry
- Under-counter refrigerator
 - Under-counter ice maker

DIVISION THREE – CONCRETE

- A. See Notes on Structural Drawings.
- B. NOTIFY Structural Engineer and Architect a minimum of two days prior to concrete pour for Required Inspection of Steel Placement.
- C. COORDINATION – Provide all sleeves, insets and openings, as required for passage, provision and/or incorporation of the Work of the Contract, including but not limited to Mechanical, Electrical and Plumbing work.
- D. All exposed areas of foundation to be parged.

DIVISION FOUR – MASONRY

- A. EXISTING BRICK: At Historic Chimneys: Stabilize foundation per Structural Drawings. Reuse matching brick for patching when required; match existing joint size and style. Repoint brick as needed for watertight construction. Paint.
- B. FIREBRICK: as required to rebuild existing flues. Make existing fireplaces operable and retain existing chimneys.
- C. MORTAR: at masonry shall be Type N made with Portland cement (ASTM C150, Type I); hydrated lime, (ASTM C207, Type S), and sand (ASTM C144). Mixing water must be clean and free of deleterious amounts of acids, alkalis, organic materials, or other substances which would adversely affect the quality or appearance of mortar or masonry units.
- D. SAMPLES: are not required, but all repair/fill must match existing to satisfaction of Architect.
- E. MASONRY TIES: Sheet metal anchors for attachment to concrete and wood frame shall be hot-dip galvanized 20 gage straps 5/8" wide x length required to come within 3/4" of exterior face and still provide 5/8" mortar coverage. Install per IBC, 2000 Edition.
- F. FLASHING: install thru-wall flashing of Moilestop sheeting reinforced with glass fiber (minimum product acceptable, coated copper sheet is preferred) for use at base of wall and over all openings. Flashing to step along slopes as necessary while maintaining continuous flow to weeps.
- G. WEEPS: Provide plastic tube weeps of 3/8" inside diameter and length required, spaced @ 32" o.c. maximum at one course above grade and at window and door lintel locations. Air space to be kept clean of debris and excessive mortar to ensure that weeps do not become blocked.

DIVISION FIVE – METALS

- A. GENERAL: Refer to Structural Plan and Notes. All dimensions to be verified at the job site. Any discrepancies shall be brought to the attention of the Owner and Structural Engineer for resolution.
- B. STANDARDS: IBC (International Building Code, 2000 Current Edition. Manual of Steel Construction, American Institute of Steel Construction, eighth Edition.
- C. All steel shall be 100% primed with red metal primer prior to installation.

DIVISION SIX – WOOD & PLASTICS

- A. ROUGH CARPENTRY
- STANDARDS
 - American Plywood Association, APA
 - American Wood Preserves Instituta, AWPI
 - Southern Pine Inspection Bureau, SPIB
 - Unless otherwise noted, all structural framing lumber shall be clearly marked No. 2 KD pine by the SPIB with a minimum Fb=1350psi (single member use). Wood studs in non-load bearing wall may be SPF lumber.
 - Place a single plate at the bottom and a double plate at the top of all stud walls. All sill plates to be pressure treated No. 2 yellow pine.
 - All floor framing at ground level within 18" of grade shall be pressure treated pine, and where directly exposed to weather (rafter tails, fascias, soffits, etc.).
 - Wood stud walls shall be full height without intermediate plate line unless detailed otherwise.
 - Solid 2" blocking shall be provided at end and points of support of all wood joists and shall be placed between supports in rows not exceeding 8'-0" apart. All walls shall have solid 2" blocking at 2' max. vertically. End nail with 2-16d nails or side toe nail with 2-16d nails.
 - All members framing into the side of a header, valley, hip, flitch, steel, or any other shall be connected with Simpson Hangers.
 - Laminated Wood Beams: All laminated wood beams shall be of construction grade fabricated per Southern Pine Inspection Bureau "Standard Specifications for Structural Glued Laminated Southern Pine Timber" and shall provide allowable design values of 2400 psi in bending, 200 psi on horizontal shear and 1,800,000 psi in modulus of elasticity.
 - Roof Decking:
 - Roof: 5/8" "Techshield" radiant barrier decking at all concealed roof areas.
 - Use 10d common nails @ 8" o.c. at all intermediate.
 - Exterior Wall Sheathing: 1/2" CDX plywood. All corners of exterior wall framing shall be braced by one of the following methods:
 - A 1x4 let-in brace at a 45-degree angle from the top plate to the bottom plate, continuous.
 - A 4'-0" wide x 1/2" plywood diaphragm from top plate to bottom plate.
 - A 16 ga. x 1/2" galvanized steel strap at a 45-degree angle from the top plate to the bottom plate, continuous.
 - Floor Decking: Refer also to Structural Drawings. Shall be minimum 1-1/8" CDX plywood or OSB, tongue and groove, attached with construction adhesive and nails.
 - Refer to Notes on Structural Drawings for additional information.
- B. EXTERIOR WOOD:
- All non-structural fascia, exposed rafter tails and soffit, trim boards to be C-grade SYP or Superior Fir, painted.
 - All intersecting wood members, fascia, corner boards, etc. shall meet with edges mitered at 45-degrees. NOTE: Window and door trim to be butt joined. Use continuous members wherever possible. Splice only where spans exceed nominal board lengths. No splices will be allowed in structural members unless approved by Engineer. Kerf cut backs of all trim boards 6" or wide to minimize cupping, prior to back sealing and installation.
 - Wood railings and Columns at Open Porches to be C-grade SYP or Superior Fir, painted.
 - Porch Ceilings: beaded board, tongue and groove. – Match existing.
 - Wood Siding: Sliding to match existing. Confer with Owner prior to order.
 - Porch Decking: To be Eco-Prem by Ecovantage (thermally modified wood) of owner approved equal. Painted.
 - Set all nails. Do not over-nail. Staples are not permitted. Blind nail all tongue and groove flooring.
 - All exterior fasteners shall be hot-dipped galvanized, long enough to extend 1/2" into studs.
 - All fasteners at pressure-treated wood to be hot-dipped galvanized, Teflon-coated, or approved substitute.
- C. INTERIOR WOODWORK
- Standards:
 - American Plywood Association, APA
 - Architectural Woodwork Institute, AWI
 - National Woodwork Manufacturers Association, NWMA
 - Southern Pine Inspection Bureau, SPIB
 - Materials: Refer to details for locations and verify with Owner.
 - Interior trim for painted finish: Paint-grade White or Ponderosa Pine, fir or poplar; finger-joint is acceptable as a minimum product.
 - Interior trim for stained finish: none.
 - Shelving: birch veneer plywood, paint grade, 3/4" thick, with hardwood 1/4" strip at exposed edges.
 - Shelf supports: Fixed shelf supports shall be 1x2 continuous; confirm with Owner. No metal shelf brackets. NO ADJUSTABLE SHELVES.
 - No particle-board or water-board shall be used.
 - Interior Trim: size and style as noted on Drawings.
 - Cope running trim to internal corners and miter at external corners.
 - Splice butt joints over solid bearings and nail securely. Splices not permitted in sections less than 12 feet.
 - Set exposed nail heads to receive putty or filler. Sand trim to eliminate marks and defects that could affect finish.
 - Interior Walls and Ceilings: old shiplap and/or wood siding.
 - Cabinets and Shelving: Contractor to provide shop drawings for all cabinets to Owner for one-week review and approval prior to fabrication. Contractor to coordinate dimensions of all appliances and proper fit prior to fabrication of cabinets. Cabinetmaker and installer, through the General Contractor, shall be responsible for finished installation and function of cabinetry and shelving.

For bid purpose assume the following:

- All AWH custom grade. No particle board. Flush overlay construction, with face frame.
- All paint grade cabinets are birch or maple. Face frames shall be solid birch or maple.
- All stain grade cabinets are to be selected by Owner, unless noted otherwise. Face frames shall be solid wood.
- Cabinet doors – shall be flush overlay with flat panels or flat panel with glass insert, as per Drawings. Provide minimal frame size on doors with glass inserts.
- All slab doors to have hardwood banded edges. No taped edges.
- Provide 1/4" reveals at all cabinets.
- Hinges: surface mount.
- Drawer Slides: KV 1300 Standard, provide full extension at all locations.
- Shelves at cabinets to be 3/4" maple or birch veneer plywood with 1/2" min. hardwood banded edges. No taped edges.
- Support fixed shelves on securely fastened wood cleats, unless otherwise noted.
- No adjustable shelves.
- Cabinet Base shall be 4" tall and 4" recessed unless shown otherwise on interior elevations. Upper cabinets as drawn.
- All plywood to be urea formaldehyde free.
- Cabinet hardware: to be selected by Owner. Allow \$3,000.

DIVISION SEVEN – THERMAL & MOISTURE PROTECTION

- A. SPRAY FOAM INSULATION: closed cell.
- R-30 on sloped ceiling roof
 - Turret Roof insulation method to be determined on site. Interior wood plank ceiling to remain. Insulate from exterior prior to new roof installation.
 - R-15 at 2x4 exterior stud walls.
 - R-15 at 2x6 exterior stud walls.
 - R-30 at Second Floor framing system, Attic, and crawlspaces.
 - Install in accordance with manufacturer's recommendations.

SPECIFICATIONS

GENERAL & SPECIAL CONDITIONS

The Standard form of the American Institute of Architects #A107 (latest edition) *Abbreviated Form of Agreement between Owner and Contractor for Construction Projects of Limited Scope where the Basis of Agreement is a Stipulated Sum* is hereby made a part of these Specifications or a contract generated by Contractor and approved by Owner.

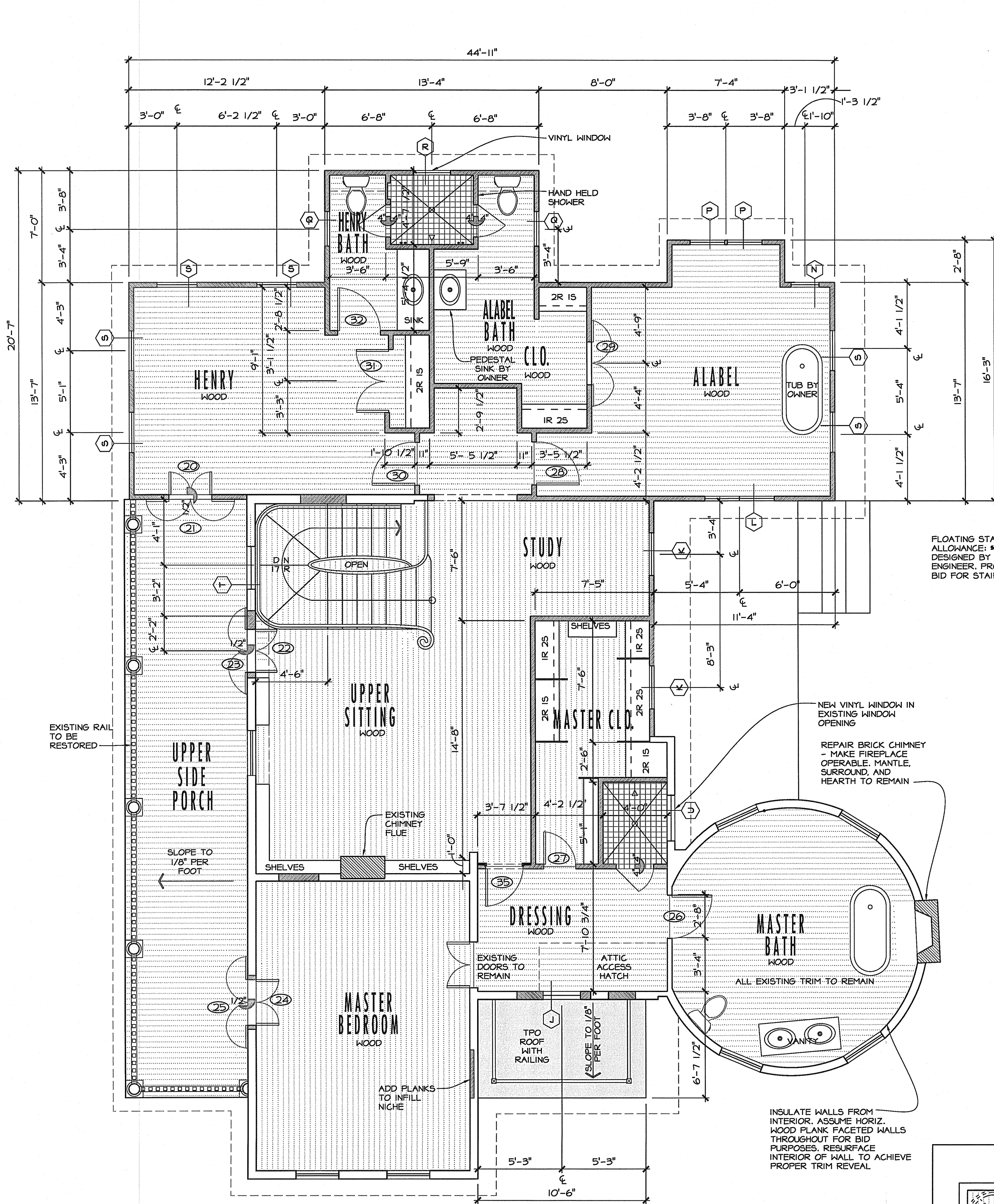
- A. BOND: A performance, labor and materials payment bond is not required.
- B. CODES & ORDINANCES: The construction shall be in accordance with all national, state and local codes and ordinances, and it is the responsibility of the General Contractor to oversee all work to guarantee compliance with governing codes.
- C. WARRANTY: The General Contractor and each Subcontractor hereby warrant for a period of one year from the date of Certificate of Occupancy, all work called for in the various divisions of these Plans and Specifications when such work is performed by said General Contractor and/or Subcontractor.
- D. INSURANCE: The General Contractor shall carry insurance as set forth below. Previous to commencing work, there shall be filed with the Owner certificates of policies as proof of coverage.
- EMPLOYER'S ACCIDENT INSURANCE: \$300,000
 - COMMERCIAL LIABILITY:
 - Limit per Occurrence: \$300,000
 - Limit for General Aggregate: \$600,000
 - Limit for Product Aggregate: \$600,000
 - BUILDER'S RISK INSURANCE: Minimum of Contract Sum.
 - WORKER'S COMPENSATION: General Contractor to provide to Owner, signed waivers from all Subcontractors for Worker's Compensation.
 - RETAINAGE: A ten percent retainage will be withheld from each Draw Request, or partial lien waivers from each subcontractor must be submitted with each Draw Request.

DIVISION ONE – GENERAL REQUIREMENTS

- A. SCOPE OF WORK: The Project consists of a Remodel and Addition to an existing residence located at: 309 Park Lane in Austin, Texas. The Work shall include all labor, materials, equipment, and services required to complete construction of the project in accordance with the Drawings and Specifications, and as required for a complete and operable installation.
- The Drawings consist of Architectural, Electrical, and Structural Drawings. They show the kind of materials to be used and their form, fabrication and assembly. In all cases, measured dimensions taken at the building site will take precedence over scaled dimensions on Drawings. All dimensions must be verified on site prior to construction. The General Contractor shall call the Architect for a visual inspection if discrepancies arise.
 - Special care must be taken to insure and protect the good condition of the existing grounds throughout construction.
 - HISTORIC CHARACTER – Owner's intent is to retain the imperfect, historic character of house. Contractor will work closely with Owner to establish quality and appearance desired.
 - Owner's primary goal is to retain historic character and aged elements of the House. Salvage all original materials to be removed for Owner review and possible reuse. Stockpile in orderly, viewable manner on site and protect throughout construction. A pristine, perfect re-creation is not desired.
- B. CONSTRUCTION DOCUMENTS: Small-scale and large-scale drawings are intended to be mutually explanatory, and not to be scaled. In case of variance, the following order of preference is established to define the intent of the Work:
- Explanatory notes on Drawing
 - Figured dimensions
 - Large Scale Details
 - Small Scale Details
- C. LAYING OUT WORK, MEASUREMENTS AND LEVELS:
- The General Contractor shall establish and maintain all levels and lines and shall be responsible for the accuracy thereof.
 - Before installation of any materials or doing of Work, each Subcontractor shall verify all measurements at the building site and shall be responsible for correctness of same. No extra charge or compensation will be allowed because of difference between actual dimensions and the measurements indicated on the drawings. Any differences that may be found shall be submitted to the Architect for consideration before proceeding with the Work.
- D. PERMITS: The General Contractor shall be responsible for application and payment of all costs required for all necessary permits for construction.
- E. UTILITIES:
- Contractor shall confirm location of all utilities prior to excavation and construction. Contractor shall provide all utilities to the Project. Any upgrade or relocation shall be the responsibility of the Contractor. Cost of any upgrade to utilities shall be provided in bid.
 - Owner shall provide all utilities during construction.
- F. COMPLIANCE WITH ALL GOVERNING CODES AND ORDINANCES:
- Building Code: IRC (International Residential Code) 2009, Current Edition.
 - It is the Contractor's responsibility to assure that all Work is performed according to governing codes and ordinances.
 - Should any discrepancy exist between Plans and Specifications and the governing codes, the governing codes shall govern. It is the responsibility of the Contractor to determine any such discrepancies and to call them to the Architect's immediate attention for resolution.
- G. REPORTS: The General Contractor shall furnish the following to the Owner within ten (10) days after award of the Contract:
- Insurance Certificates
 - Complete cost breakdown (per specification division)
 - Progress Schedule – to be revised monthly and submitted with each Payment Application.
 - Complete list of Subcontractors with addresses and phone numbers
- H. PAYMENTS AND COMPLETION: Progress payments shall occur approximately once a month, or at intervals appropriate to the progress of work, as approved by the Owner. The Contractor's Application for Payment shall include an itemization of work by category of specification section, the valued amount, & percentage of completion. General Contractor shall submit Application for Payment to Owner for review, approval and payment within five days of receipt.
- I. ALLOWANCES: All allowances as provided for in various Sections of these Specifications shall be for materials with sales tax only, and do not include any shipping costs, etc. The allowance shall not include Subcontractor and Contractor overhead or cost of installation, unless otherwise stated. Owner shall be given advantage of Contractor's normal discounts so that allowance items selected are at "Builder's Cost". Owner shall receive/pay difference should actual amount be less than/exceed specified allowance.
- J. USE OF PREMISES: The General Contractor shall observe the Limits of Construction as determined in the field with Owner prior to construction. The General Contractor shall stay entirely within the Limits of the Construction Area and shall provide orange fencing marking limit of Construction at back yard and studio and shall also be responsible for all persons approaching the site to stay within the designated Construction Area. It is the responsibility of the Contractor to see that great care is taken to protect areas of the site that are not affected by the Work of this Contract. It is also the responsibility of the Contractor to secure and protect the premises at all times during construction.
- K. DUTIES, INSPECTIONS AND REPORTS:
- Architect: At Owner's request, Architect will not provide regular Construction Administration Services, but will be available for consultation throughout construction.
 - General Contractor: The General Contractor will assume responsibility for materials and methods of Construction. The General Contractor will work directly with Owner for interpretation of Drawings and Design intent.
 - Structural Engineer: Structural Engineer shall make a minimum of two standard inspections: (a) prior to concrete pour, to inspect placement of structural steel, and (b) upon completion of rough framing. The Contractor shall notify the Architect and Engineer one week in advance of date required for Engineer's inspections. The Engineer will also be available on an as-needed basis for on-site inspection.
 - After each on-site inspection, the Engineer will submit to the General Contractor and Owner copies of a Field Report summarizing all decisions made and items discussed during the site inspection. If the Engineer is not notified of any error or discrepancy within two (2) days after issue of Field Report, it shall then become part of the Construction Documents.
- L. SHOP DRAWINGS: General Contractor shall submit shop drawings to the Owner for review and approval on all necessary projects including but not limited to the following items:
- Cabinets and millwork.
 - Steel members and connections.
- Drawings shall clearly indicate intended materials and methods of installation plus indicate any areas where more information is necessary and any areas of deviation from original specifications or drawings. Owner shall have a minimum of four days to review shop drawings and return to Contractor with comments.
- M. CLEANING: Contractor shall maintain building, grounds and access free from accumulations of waste materials and rubbish. Dispose of waste materials properly and in a timely manner.
- N. DUMPSTER and PORTABLE TOILET: to be located in Owner-approved locations to minimize impact on vegetation, curbs and sidewalks.
- O. FINAL CLEANUP: Contractor shall remove grease, dirt, fingerprints, stains, labels, dust and other foreign materials from interior and exterior finished surfaces. Wash all windows, polish all glass and bright metal surfaces, and clean plumbing fixtures, appliances, etc. to make ready for occupancy. Repair, patch, and touch-up marred surfaces to specified finish matching adjacent surfaces. Broom clean paved surfaces, and rake clean other surfaces of ground. Replace air-conditioning filters if units were operated during construction (to be avoided if possible). Clean ducts, blowers and coil if air-conditioning units were operated without filters during construction. Maintain cleaning until project or portion thereof is accepted by Owner.
- P. FINAL SUBMITTALS: Contractors and Sub-Contractors shall submit all operating and maintenance data and manuals, guarantees, warranties, and bonds. General Contractor shall instruct Owner in operation of mechanical, plumbing and electrical equipment and systems.

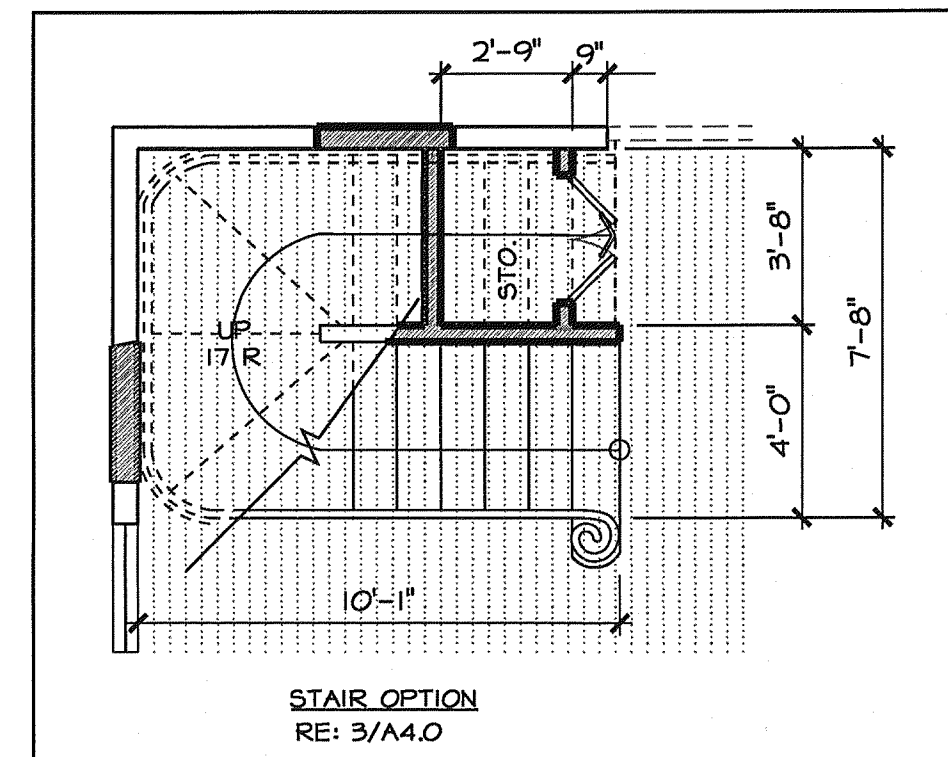
DIVISION TWO – SITEWORK

- A. TREE PROTECTION: General Contractor shall take great care to protect all existing trees and vegetation within the Construction Area. A licensed Arborist shall perform any required pruning at Owner's expense. Protect all other trees from damage during entire job. Remove from site all debris and underbrush immediately after Owner-approved clearing.
- B. EXCAVATION:
- Excavate as required for building construction, as per Foundation Plans on Structural Drawings.
 - General Contractor shall store all excavated earth in specified area and haul off all excavated earth not used for fill. Extreme care must be taken to protect the existing vegetation, trees and root systems. Refer to Foundation Notes on Drawings for suitable fill materials.
- C. GRADING: Bring rough grade to proper level in preparation for final grading. In general, slope all grades for positive drainage away from buildings, sidewalks and driveways.
- D. SOIL TREATMENT FOR TERMITES CONTROL: Provide FHA and EPA approved treatment and provide Owner with a written guarantee that structure will be free from termite infestation for a minimum of five years from date of final acceptance of the building by the Owner. Take extreme caution to affect only building areas, with no harm or residue on adjacent areas or plantings.



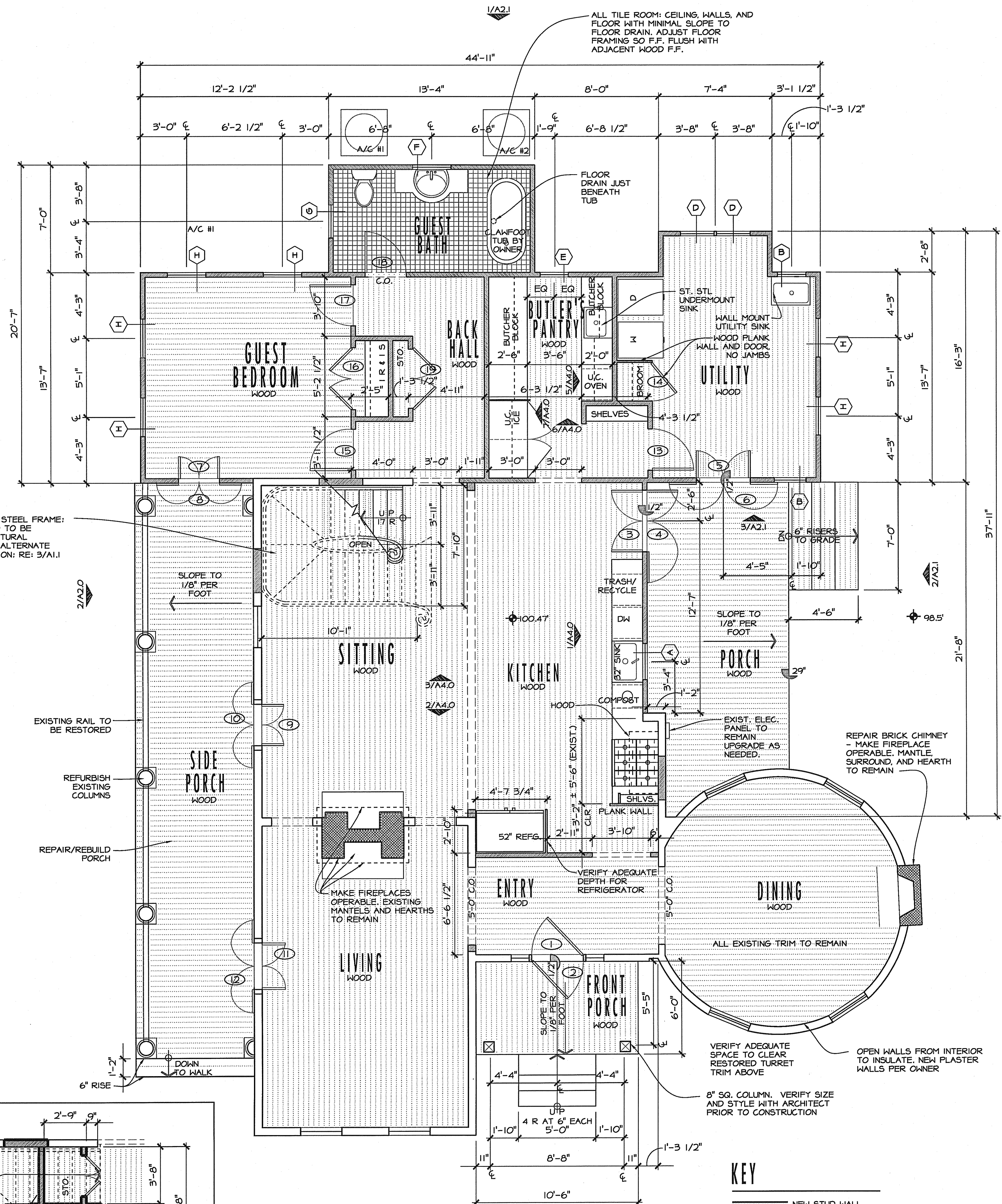
2 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



3 STAIR OPTION

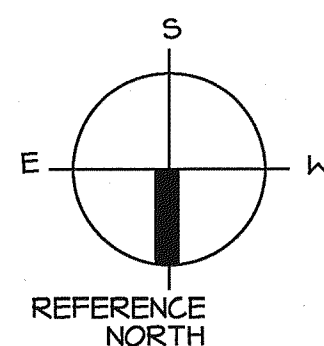
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

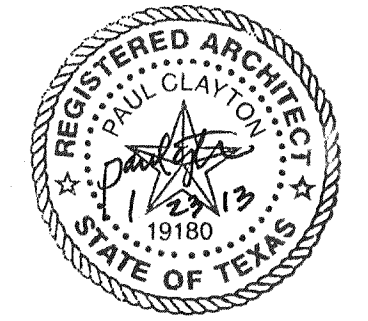
KEY
 NEW STUD WALL
 EXISTING WALL



Architects
Clayton & Little

1001 East 8th Street
Austin Texas 78702
512.477.727

www.claytonandlittle.com



FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

Chapin Residence

309 Park Lane, Austin, Texas 78704

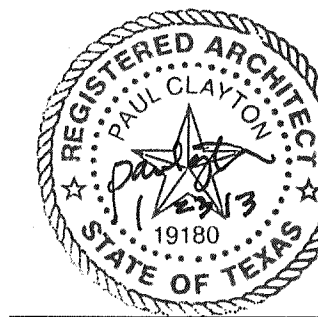
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1.23.13	For Bid & Const.

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PROJECT NUMBER: 1273

FIRST FLOOR PLAN
SECOND FLOOR PLAN

A1.0



FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

DOOR SCHEDULE

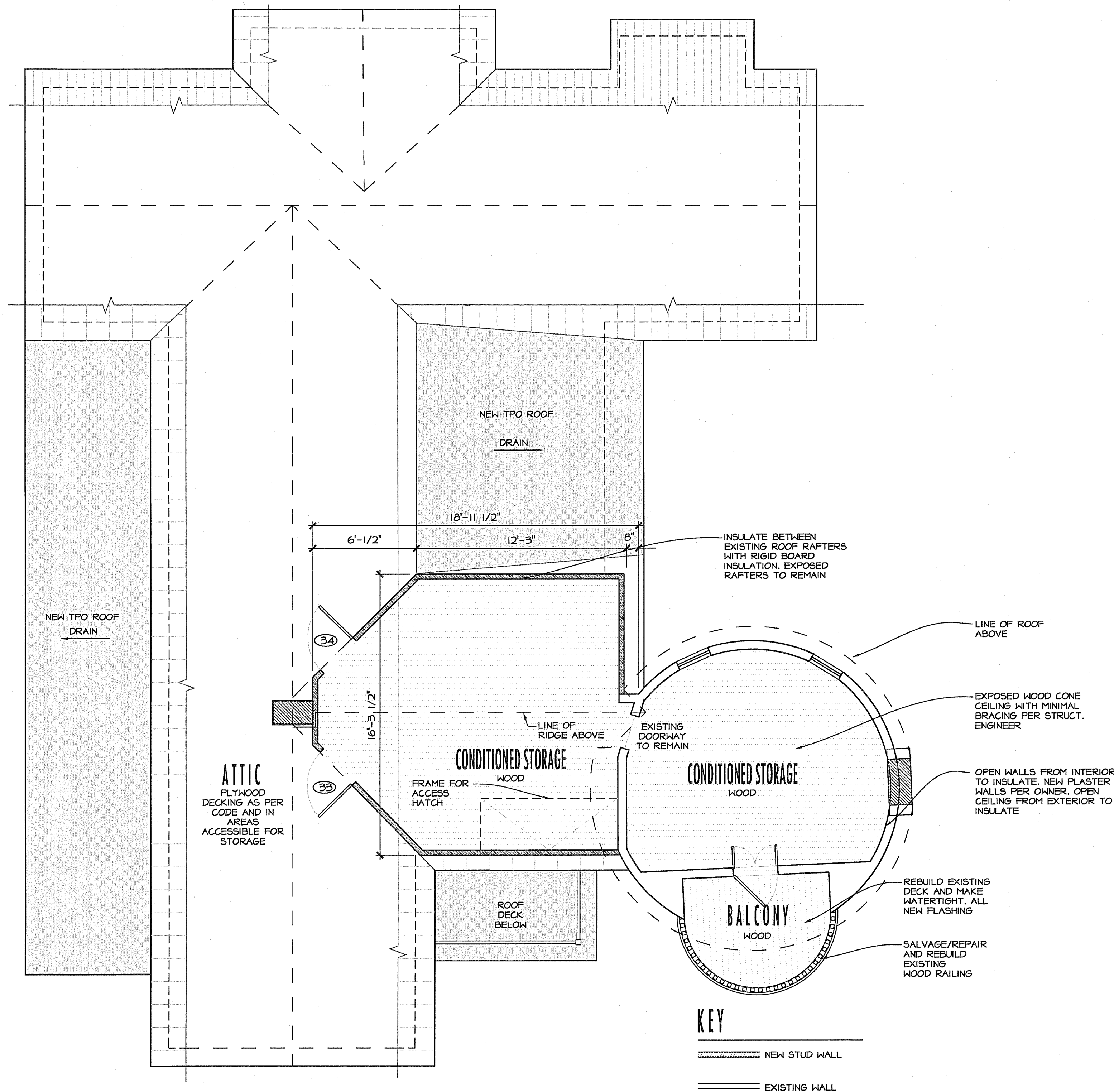
- NOTES:
- OWNER PREFERS TO USE SALVAGED DOORS AT EXTERIOR.ALLOWANCE: \$12,000
 - ALL GLASS TO HAVE INSULATED SOUTHERN LOW-E GLAZING, TEMPERED PER CODE.
 - ALL HARDWARE TO BE SELECTED BY OWNER, G.C. TO INSTALL. ALLOW \$10,000.
 - OWNER PREFERS TO USE SALVAGED DOORS FROM EXISTING HOUSE AT INTERIOR.
 - CONFIRM ALL PANEL AND LITE LAYOUTS WITH OWNER PRIOR TO ORDERING.
 - ALL TRANSOMS TO BE WIDTH OF DOOR X 1'-3" UNLESS NOTED OTHERWISE.
 - DIMENSIONS OF EXISTING DOORS ARE APPROXIMATE AND SHOULD BE VERIFIED IN FIELD.
 - ALL SCREEN DOORS TO MATCH STYLE OF ADJACENT DOOR AND BE 1 1/2" THICK.
 - SHOWER DOORS TO BE TEMPERED GLASS PER CODE - VERIFY CLEAR OR OBSCURED WITH OWNER
 - NEW DOORS AT EXISTING OPENINGS. DIMENSIONS TO BE VERIFIED ON SITE.

No.	TYPE	SIZE	HARDWARE	NOTES
1	EXTERIOR WOOD DOOR	3'-4" X 8'-0"	DEADBOLT W/ ENTRANCE LOCKSET	SIDELIGHTS (2) 1'-2" X 8'-0"
2	SCREEN DOOR	3'-4" X 8'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM 4'-0" X 2'-0"
3	EXTERIOR DOOR (PAIR)	(2) 2'-0" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
4	SCREEN DOOR (PAIR)	(2) 2'-0" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
5	EXTERIOR DOOR (PAIR)	(2) 1'-9" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
6	SCREEN DOOR (PAIR)	(2) 1'-9" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
7	EXTERIOR DOOR (PAIR)	(2) 1'-4" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
8	SCREEN DOOR (PAIR)	(2) 1'-4" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
9	EXTERIOR DOOR (PAIR)	(2) 1'-4" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
10	SCREEN DOOR (PAIR)	(2) 1'-4" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
11	EXTERIOR DOOR (PAIR)	(2) 1'-6" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
12	SCREEN DOOR (PAIR)	(2) 1'-6" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
13	WOOD	2'-8" X 7'-0"	PASSAGE	PLACE SALVAGED DR AT THIS LOCATION
14	WOOD PLANK	2'-6" X 7'-0"	PASSAGE	NO JAMBS
15	WOOD	2'-8" X 7'-0"	PRIVACY	PLACE SALVAGED DR AT THIS LOCATION
16	WOOD (PAIR)	(2) 2'-0" X 7'-0"	PASSAGE	PLACE SALVAGED DR AT THIS LOCATION
17	WOOD	2'-8" X 7'-0"	PRIVACY	PLACE SALVAGED DR AT THIS LOCATION
18	WOOD	2'-8" X 7'-0"	PRIVACY	PLACE SALVAGED DR AT THIS LOCATION
19	WOOD (PAIR)	(2) 2'-0" X 7'-0"	PASSAGE	PLACE SALVAGED DR AT THIS LOCATION
20	EXTERIOR DOOR (PAIR)	(2) 1'-4" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
21	SCREEN DOOR (PAIR)	(2) 1'-4" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
22	EXTERIOR DOOR (PAIR)	(2) 1'-4" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
23	SCREEN DOOR (PAIR)	(2) 1'-4" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
24	EXTERIOR DOOR (PAIR)	(2) 1'-5" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
25	SCREEN DOOR (PAIR)	(2) 1'-5" X 7'-0"	PULLS WITH HOOK AND EYE DEADBOLT W/ ENTRANCE LOCKSET	TRANSOM
26	WOOD	2'-8" X 7'-0"	PRIVACY	PLACE SALVAGED DR AT THIS LOCATION
27	WOOD	2'-0" X 7'-0"	PASSAGE	PLACE SALVAGED DR AT THIS LOCATION
28	WOOD	2'-8" X 7'-0"	PRIVACY	PLACE SALVAGED DR AT THIS LOCATION
29	WOOD (PAIR)	(2) 1'-4" X 7'-0"	PASSAGE	PLACE SALVAGED DR AT THIS LOCATION
30	WOOD	2'-8" X 7'-0"	PRIVACY	PLACE SALVAGED DR AT THIS LOCATION
31	WOOD (PAIR)	(2) 2'-0" X 7'-0"	PASSAGE	PLACE SALVAGED DR AT THIS LOCATION
32	WOOD	2'-8" X 7'-0"	PRIVACY	PLACE SALVAGED DR AT THIS LOCATION
33	WOOD	2'-8" X 7'-0"	PASSAGE	PLACE SALVAGED DR AT THIS LOCATION
34	WOOD	2'-8" X 7'-0"	PASSAGE	PLACE SALVAGED DR AT THIS LOCATION

WINDOW SCHEDULE

- NOTES:
- NEW WINDOW STYLE TO MATCH PROFILE AND APPEARANCE OF EXISTING. ORIGINAL WINDOWS TO REMAIN, G.C. TO PROVIDE OWNER W/ RECOMMENDED MANUFACTURERS FOR CONSIDERATION.
 - ALL WINDOWS ON PLAN WITHOUT SYMBOLS TO REMAIN AND BE REPAIRED/REFURBISHED AND MADE OPERABLE.
 - ALL WOOD, FACTORY PRIMED UNLESS DIRECTED OTHERWISE BY OWNER, G.C. TO VERIFY ROUGH OPENINGS W/ WINDOW MANUFACTURER.
 - WINDOWS AT SHOWER TO BE VINYL; COLOR SELECTED BY OWNER.
 - ALL GLASS TO HAVE INSULATED GLAZING AND SOUTHERN LOW-E COATING.
 - G.C. TO PROVIDE CHARCOAL WIRE METAL SCREENS IN WOOD FRAME FOR ALL WINDOWS.
 - VERIFY WINDOWS TO MEET CODE EGRESS REQUIREMENTS, NOTIFY ARCHITECT IF ADJUSTMENT IN SIZE IS NECESSARY.
 - PROVIDE TEMPERED GLASS AT ALL CODE REQUIRED LOCATIONS.

No.	TYPE	NOMINAL SIZE	HEAD HT.	REMARKS
A	DOUBLE HUNG	2'-4"X 4'-10"	8'-7"	VERIFY SILL HT. W/ OWNER
B	DOUBLE HUNG	1'-10"X 6'-4"	8'-4"	
C	NOT IN USE			
D	DOUBLE HUNG	2'-2" X 6'-4"	8'-4"	
E	TRIPLE HUNG	1'-8 1/2" X 7'-8"	8'-4"	
F	DOUBLE HUNG	2'-2" X 5'-4"	8'-9 1/2"	
G	DOUBLE HUNG	2'-2" X 6'-4"	8'-4"	
H	DOUBLE HUNG	2'-6" X 6'-4"	8'-4"	
J	DOUBLE HUNG	2'-4"X 7'-0"	7'-8"	
K	DOUBLE HUNG	2'-4"X 6'-2"	7'-8"	
L	DOUBLE HUNG	(2) 2'-2" X 6'-2"	7'-8"	FACTORY MULL WITH SUPPORT MULLION
M	DOUBLE HUNG	2'-2" X 6'-2"	7'-8"	
N	DOUBLE HUNG	1'-9" X 6'-2"	7'-8"	
P	DOUBLE HUNG	2'-2" X 4'-6"	7'-0"	
Q	DOUBLE HUNG	2'-2" X 5'-6"	6'-11"	
R	DOUBLE HUNG - VINYL	2'-2" X 5'-0"	8'-0"	OBSCURED GLASS IN BOTTOM SASH
S	DOUBLE HUNG	2'-6" X 6'-2"	7'-8"	
T	DOUBLE HUNG	2'-8" X 6'-2"	7'-8"	
U	DOUBLE HUNG - VINYL	V.J.F X V.J.F.	V.J.F.	NEW WINDOW IN EXISTING OPENING



Chapin Residence

309 Park Lane, Austin, Texas 78704

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1.16.13	Client Review
1.23.13	For Bid & Const.

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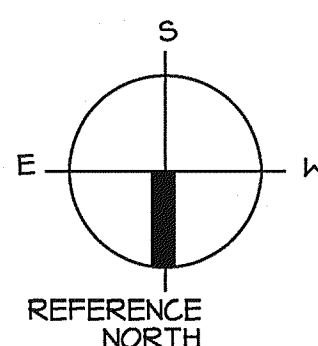
PROJECT NUMBER: 1273

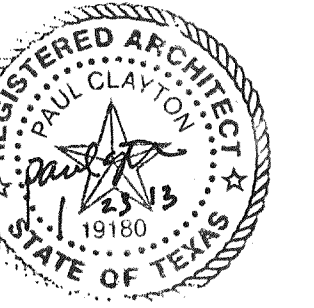
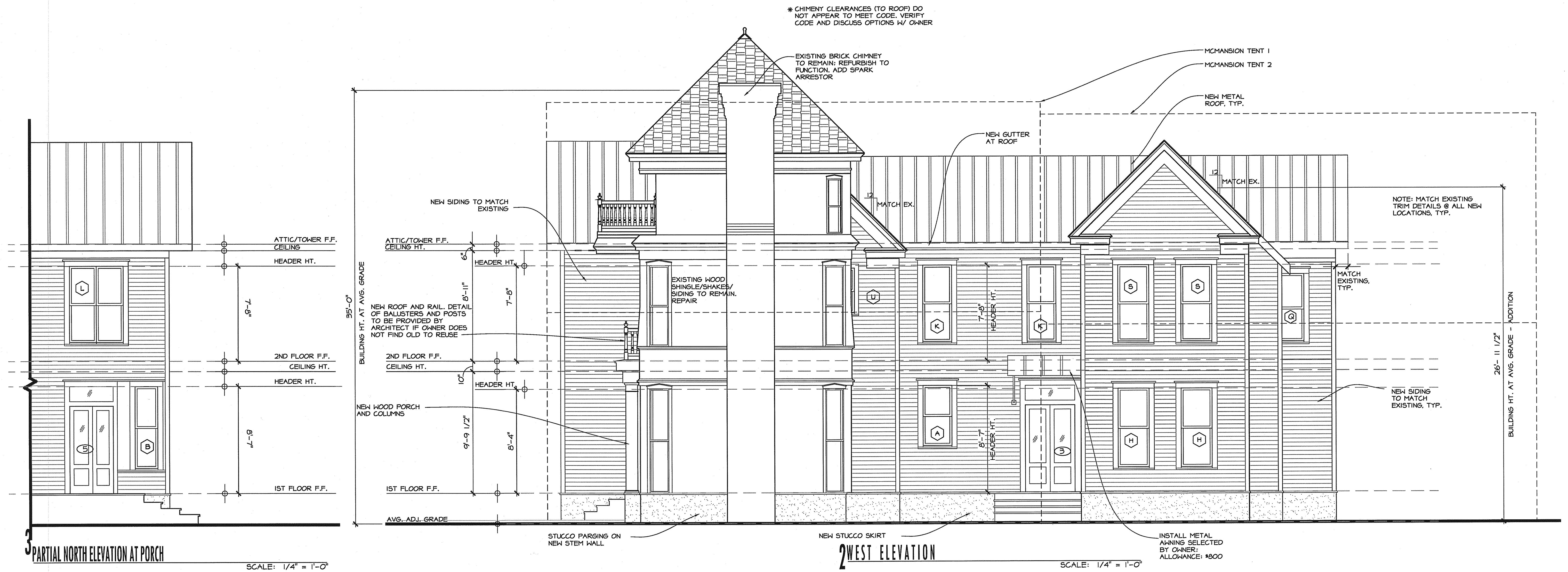
ATTIC PLAN

A1.1

CONDITIONED STORAGE - ATTIC LEVEL

SCALE: 1/4" = 1'-0"





FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

Chapin Residence

309 Park Lane, Austin, Texas 78704

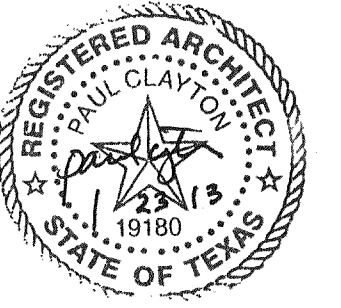
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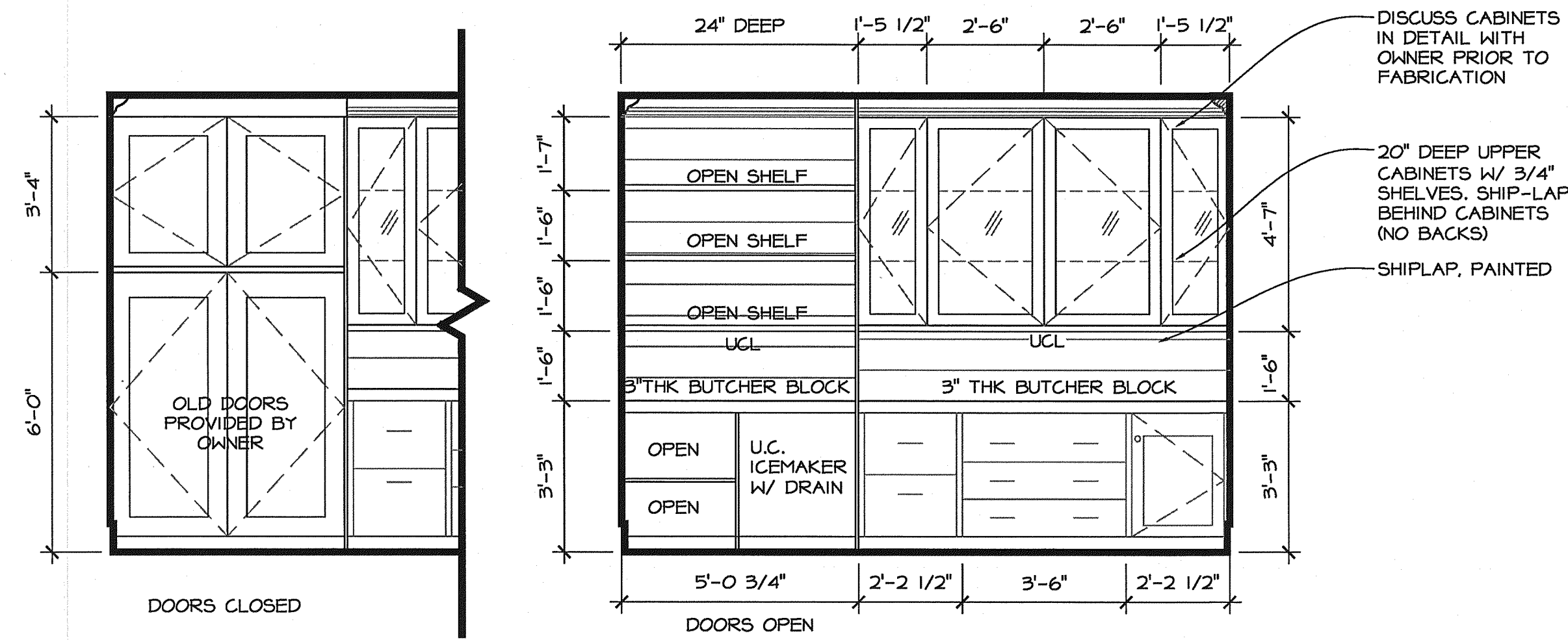
EXTERIOR ELEVATIONS

A2.1

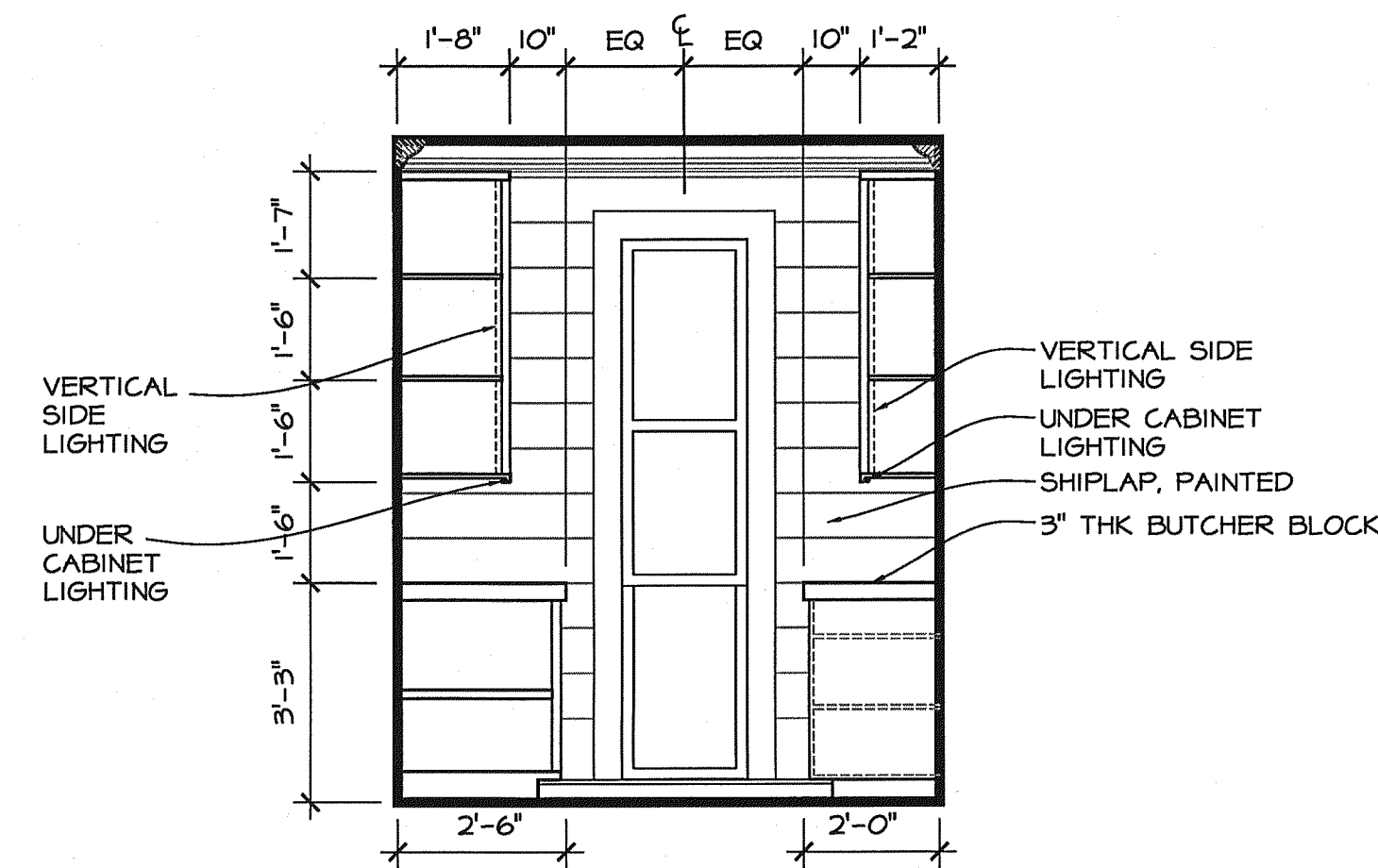


FIELD INSPECTION REQUIRED

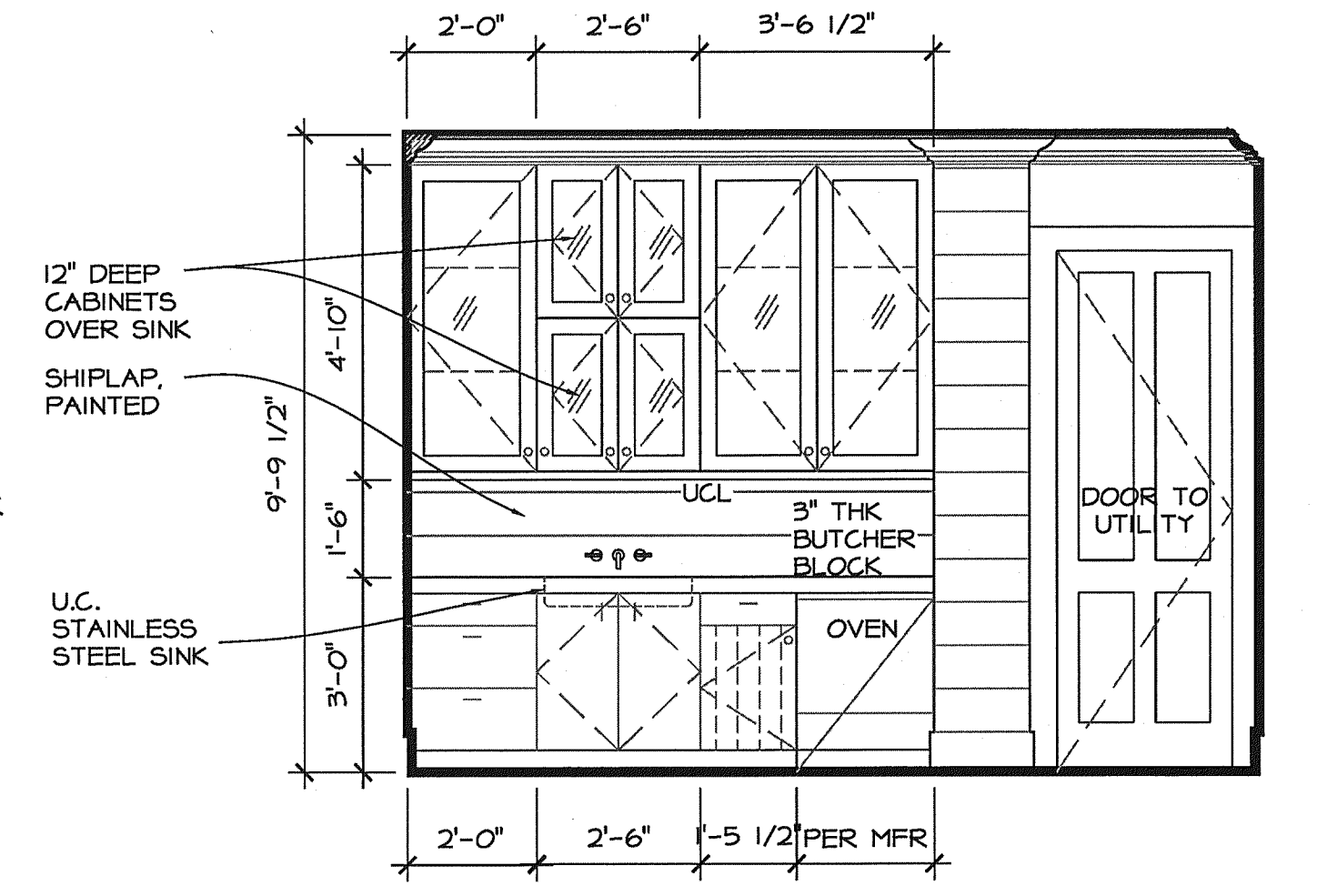
Prior to performing any bidding, new construction, and/or repairs general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.



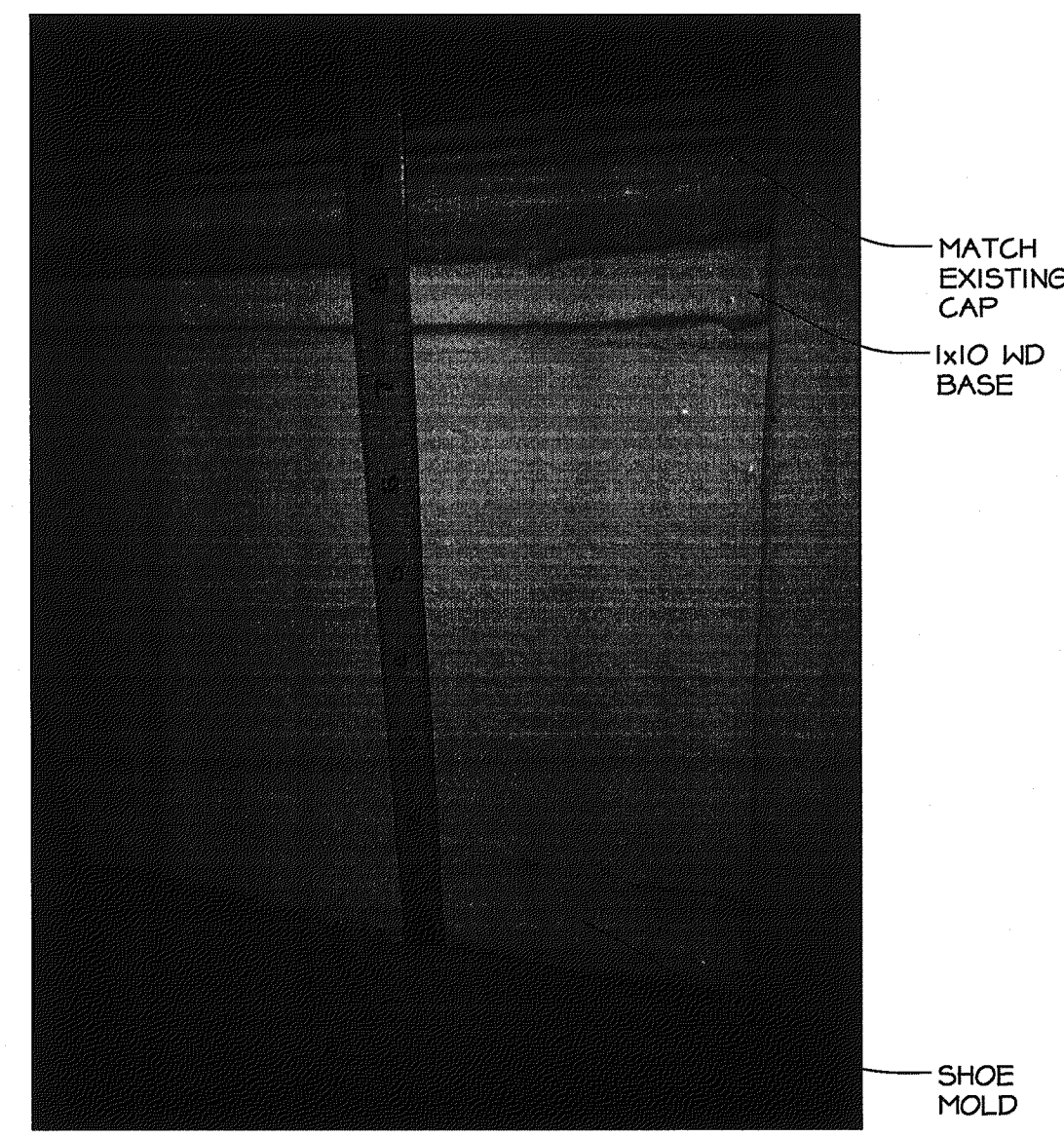
7 BUTLER'S PANTRY - LOOKING EAST
SCALE: 3/8" = 1'-0"



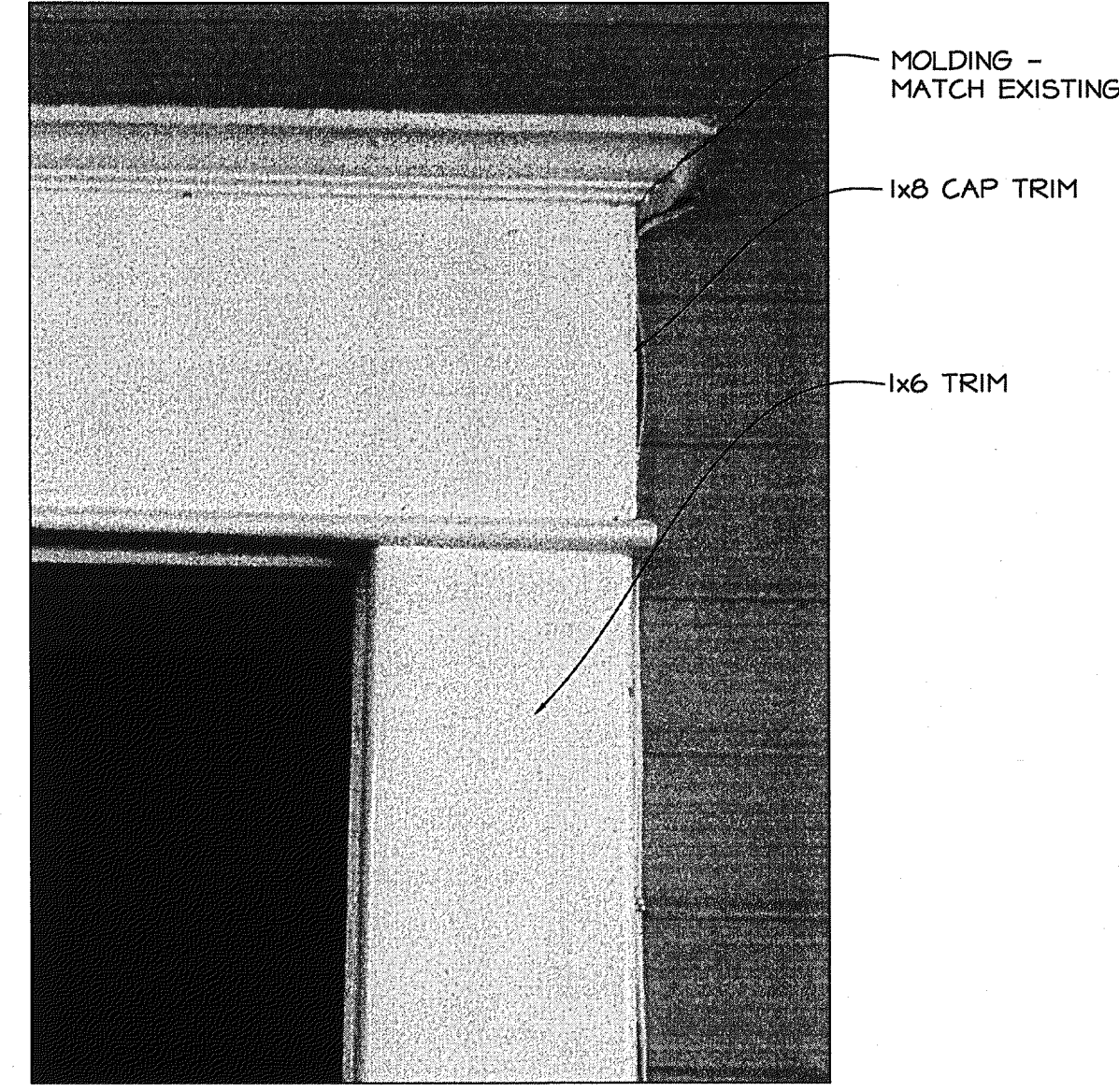
6 BUTLER'S PANTRY - LOOKING SOUTH
SCALE: 3/8" = 1'-0"



5 BUTLER'S PANTRY - LOOKING WEST
SCALE: 3/8" = 1'-0"



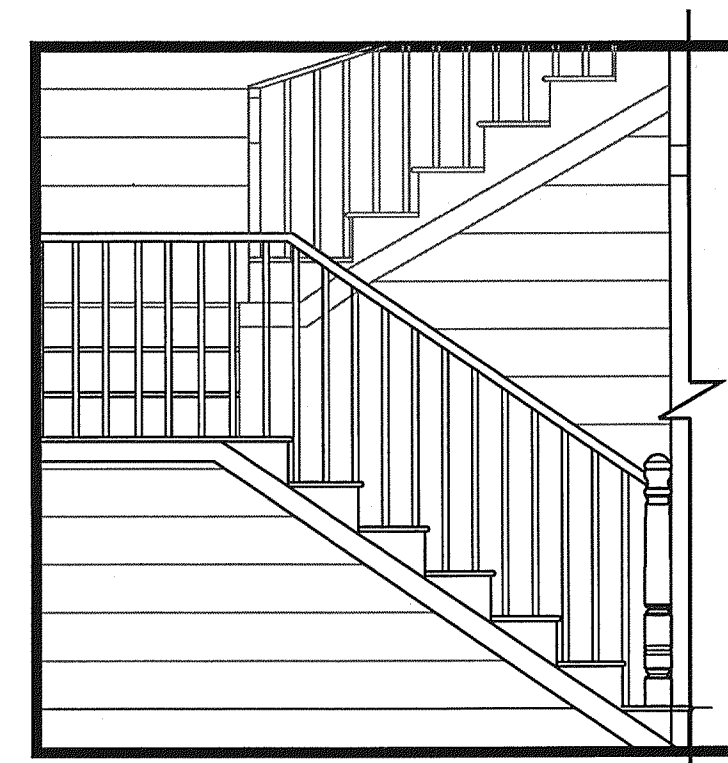
TYPICAL BASE



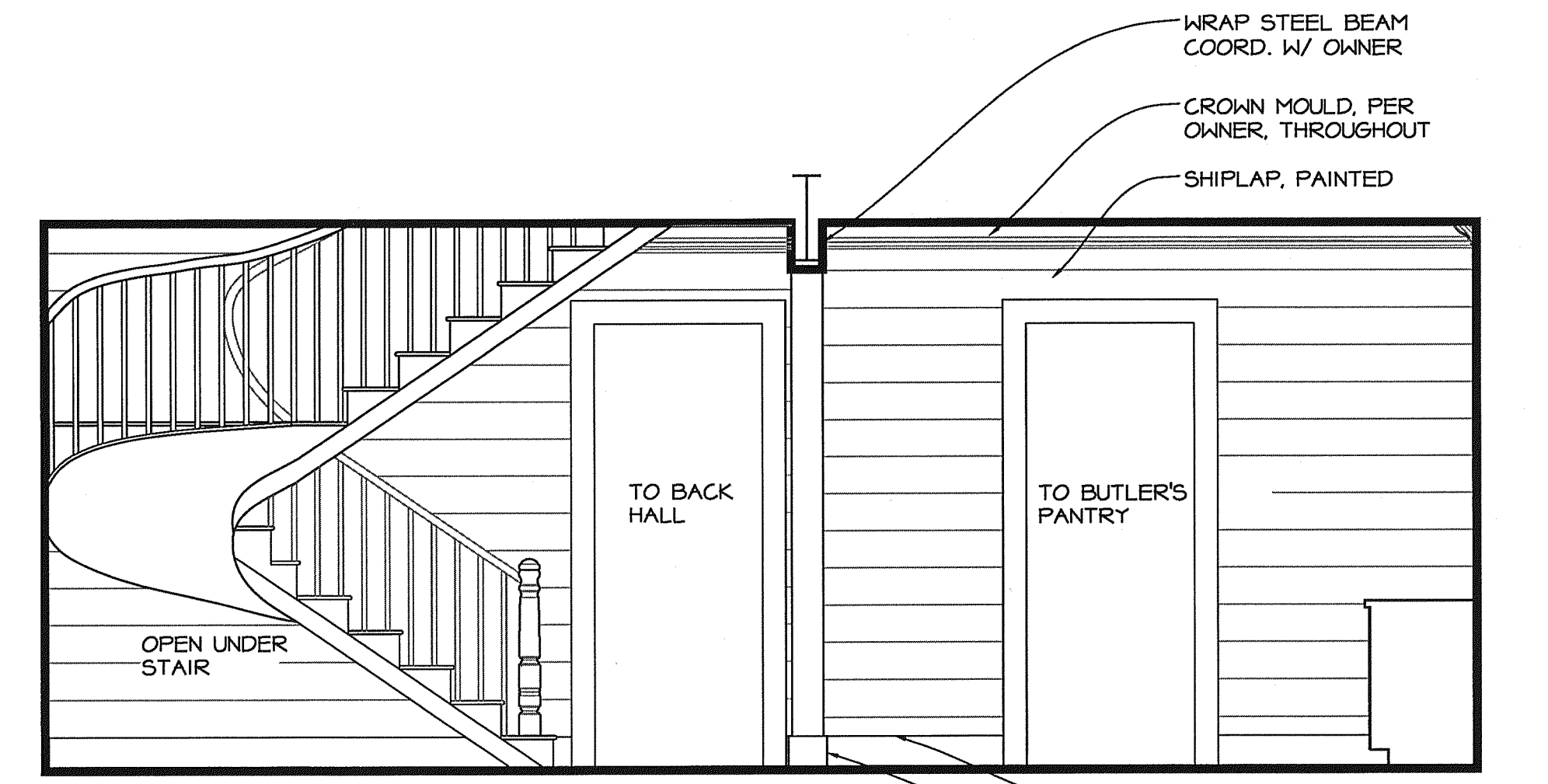
TYPICAL TRIM

NOTE: CROWN MOULDING IN EVERY ROOM. CONTRACTOR TO PROVIDE ALLOWANCE AND OWNER TO SELECT PROFILES DURING CONSTRUCTION

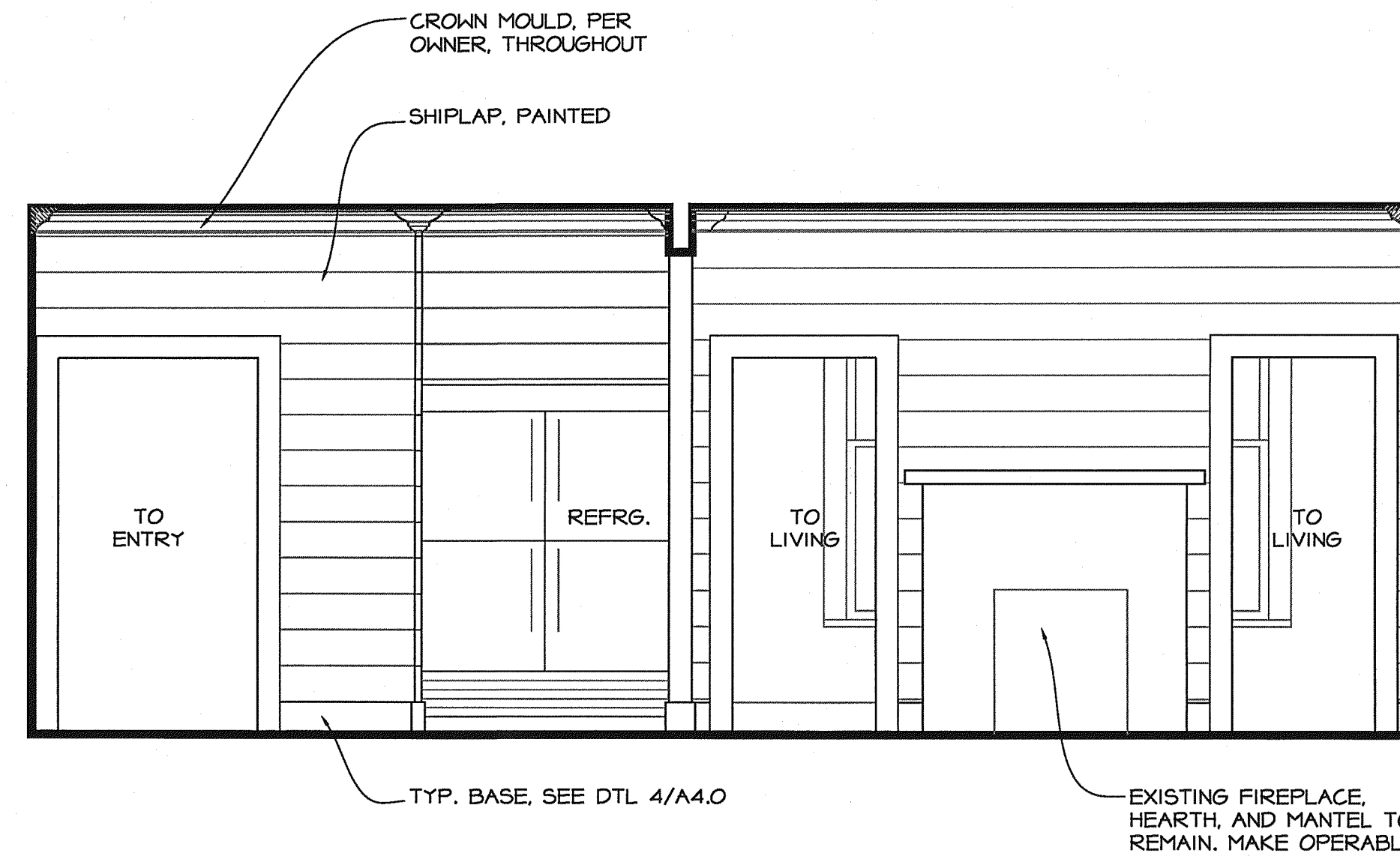
4 TYPICAL INTERIOR
NO SCALE



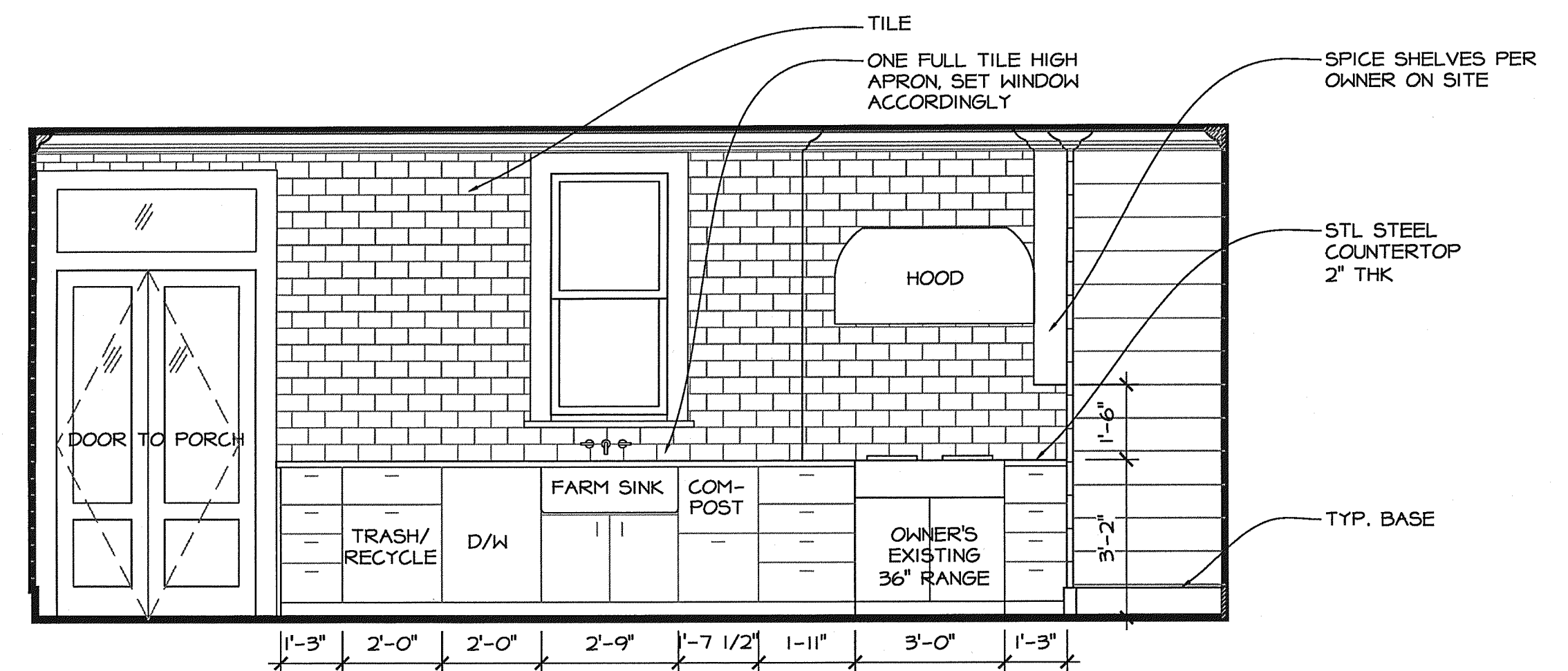
3a STAIR OPTION
SCALE: 3/8" = 1'-0"



3 SITTING/KITCHEN - LOOKING SOUTH
SCALE: 3/8" = 1'-0"



2 KITCHEN/SITTING - LOOKING NORTH
SCALE: 3/8" = 1'-0"



1 KITCHEN - LOOKING WEST
SCALE: 3/8" = 1'-0"

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309 Park Lane, Austin, Texas 78704

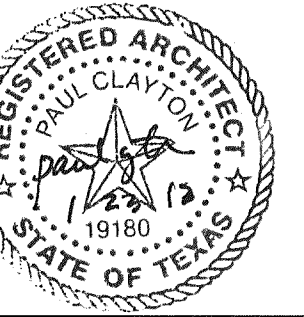
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INTERIOR ELEVATIONS

A4.0



ELD INSPECTION REQUIRED

rior to performing any bidding, new construction, and/or repairs the general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

Chapin Residence

309 FALK LAKE, RUSTON, TEXAS 76084

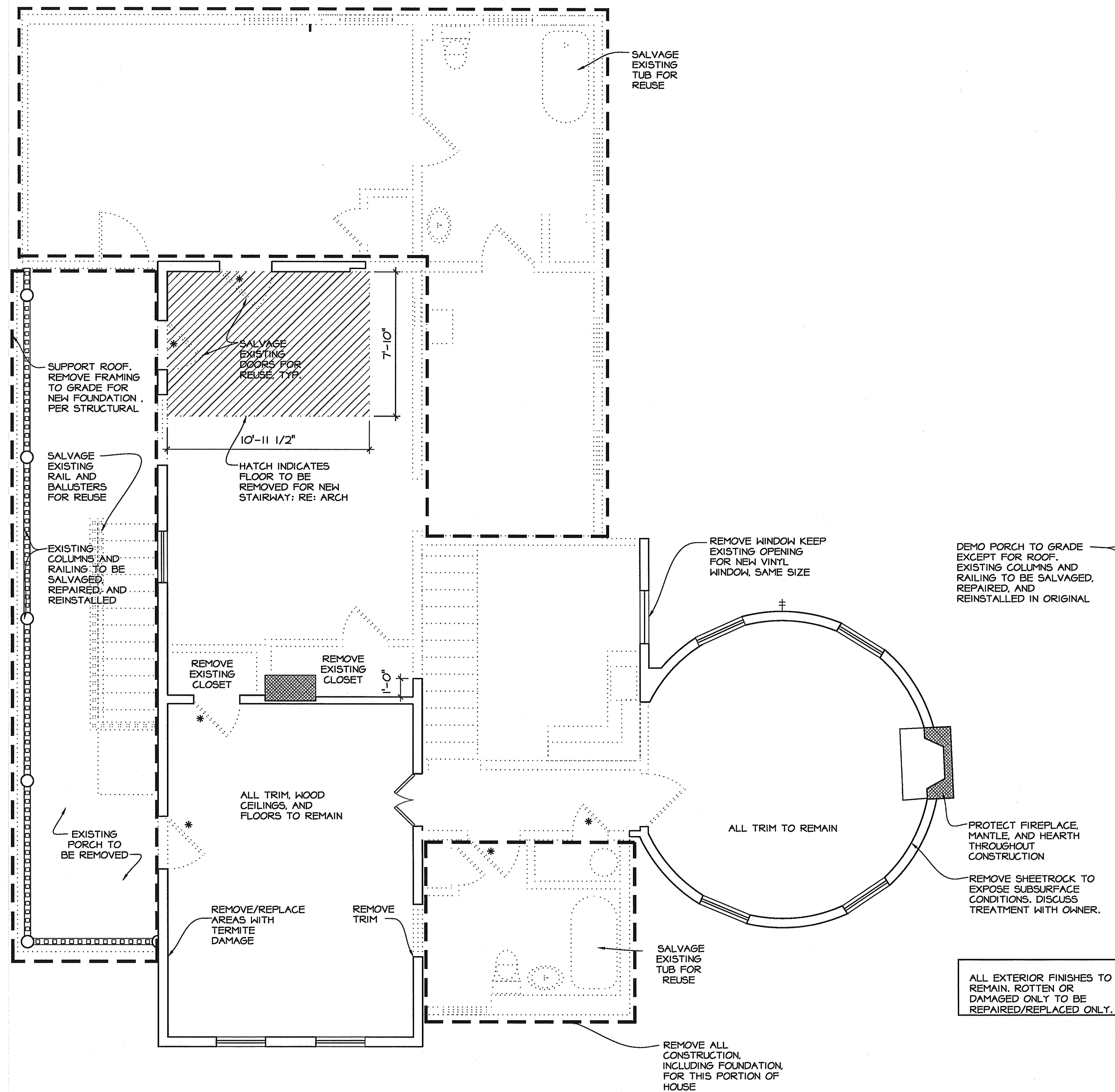
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23.13	For Bid & Const.

2013

PROJECT NUMBER: 1273

MO PLAN

01.0



DEMO NOTES:

1. OWNER'S PRIMARY GOAL IS TO RETAIN HISTORIC CHARACTER AND AGED ELEMENTS OF THE HOUSE. SALVAGE ALL ORIGINAL MATERIALS TO BE REMOVED FOR OWNER REVIEW AND POSSIBLE REUSE. STOCKPILE IN ORDERLY, VIEWABLE MANNER ON SITE AND PROTECT THROUGHOUT CONSTRUCTION. A PRISTINE, PERFECT RE-CREATION IS NOT DESIRED.

2. PROVIDE TEMPORARY SUPPORT TO ALL CONSTRUCTION ABOVE WALLS DESIGNATED FOR DEMOLITION. TEMPORARY BRACING AND SUPPORTS TO MEET ALL O.S.H.A. AND CODE REQUIREMENTS. CONTRACTOR TO CONTACT STRUCT. ENGINEER TO DESIGN BRACING IF REQUIRED.

3. WHERE DOORS OR WINDOWS ARE REMOVED FROM A WALL TO REMAIN, PREPARE OPENING TO RECEIVE NEW DOOR, WINDOW, OR INFILL WALL AS INDICATED ON FLOOR PLANS.

4. ALL WALLS TO REMAIN SHALL BE PATCHED AND PREPARED TO RECEIVE NEW FINISHES.

5. ALL EXISTING HVAC UNITS SHALL BE REMOVED.

6. WOOD FLOORS TO REMAIN WHERE POSSIBLE.
SALVAGE ALL REMOVED FOR REUSE.

7. EXISTING INTERIOR WOOD WALLS AND CEILINGS TO BE SALVAGED FOR REUSE. LEAVE IN PLACE, AS IS WHERE POSSIBLE. REINSTALLATION TO BE IMPERFECT WITH BUTT JOINTS AND GAPS VERY ACCEPTABLE.

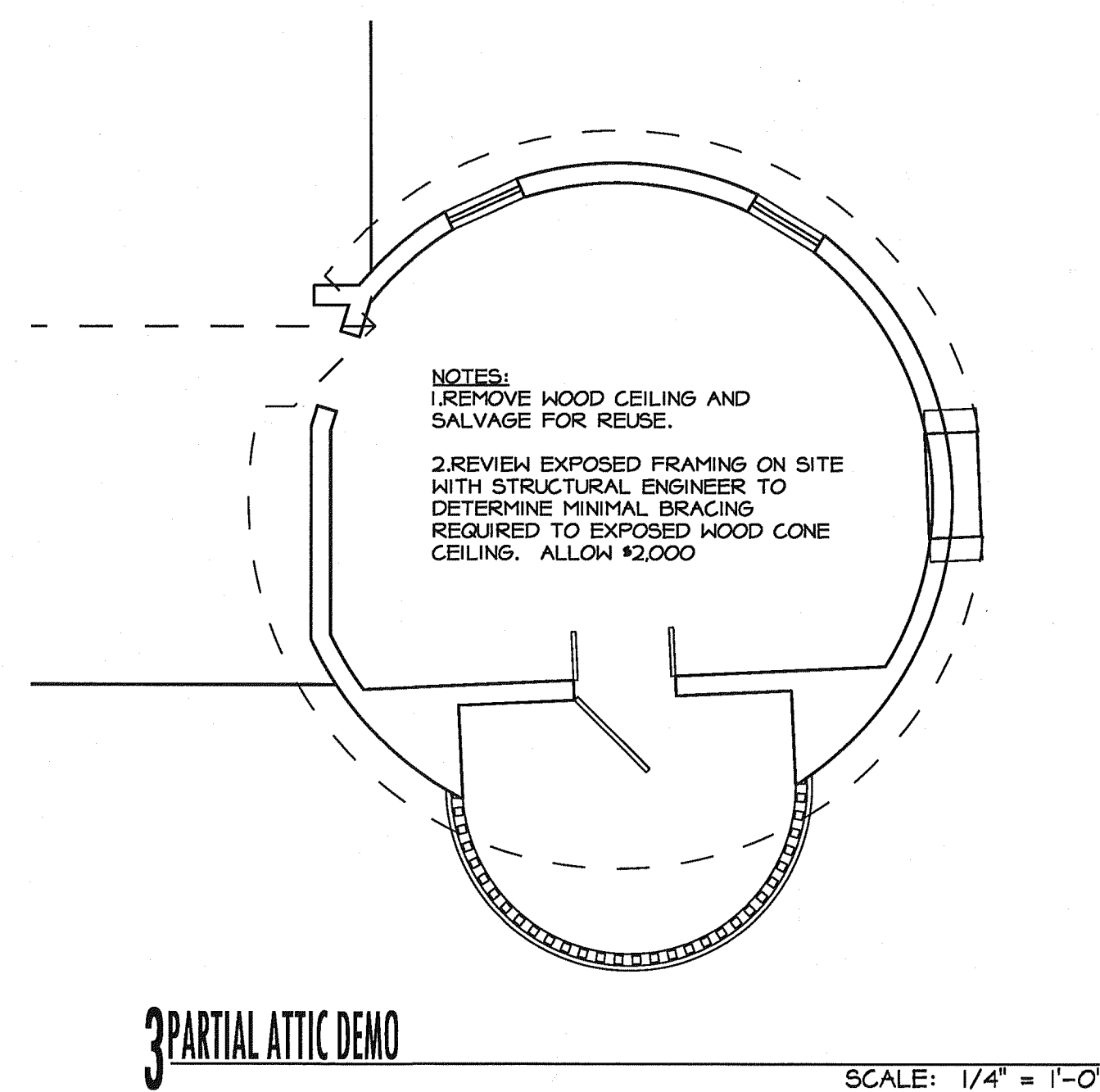
8. ALL EXTERIOR AND INTERIOR WOOD SIDING AND TRIM IN GOOD CONDITION TO REMAIN; REMOVE ONLY DAMAGED AND REPLACE WITH MATERIAL TO MATCH EXISTING.

KEY

EXISTING WALL
TO REMAIN

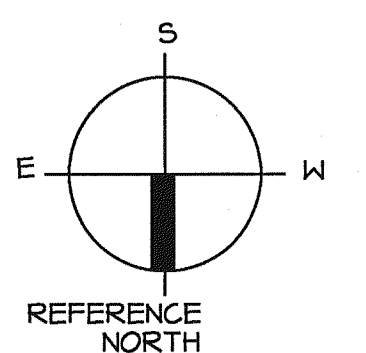
EXISTING ELEMENT
TO BE REMOVED

DASHED DOOR WITH
ASTERISK INDICATES
TO BE SALVAGED FOR
REUSE ALONG WITH
EXISTING HARDWARE



FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"





FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

Chapin Residence

309 Park Lane, Austin, Texas 78704

DATE	ISSUED FOR
12.21.12	For Permit
1.04.13	Client Review
1.10.13	Client Review
1.16.13	Client Review
1.23.13	For Bid & Const.

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PROJECT NUMBER: 1273

ELECTRICAL PLAN

E1.0

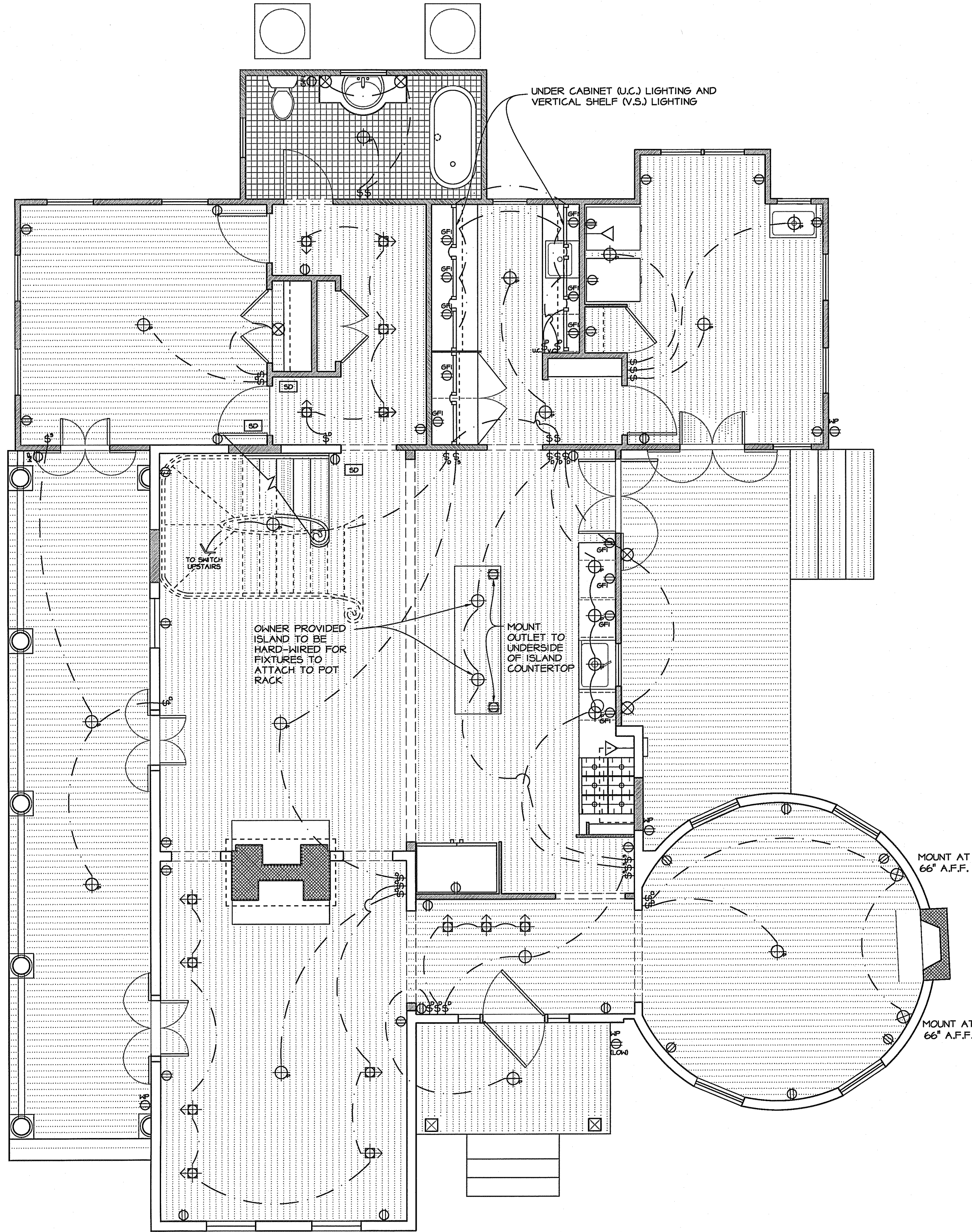
ELECTRICAL LEGEND

NOT ALL ITEMS ARE USED. SEE ELECTRICAL SPECIFICATIONS, SHT. SP-1.

X	SEE FIXTURE SCHEDULE	⊕ ^W	120V DUPLEX OUTLET - WATERPROOF
xx"	HEIGHT ABOVE FINISH FLOOR TO BOTTOM OF BOX. IF NOT NOTED, DETERMINE ON SITE W/ ARCH/OWNER. ALL SWITCH HEIGHTS TO BE 36" A.F.F. TO BOTTOM OF BOX UNLESS NOTED OTHERWISE	⊕ ^{GFI}	120V DUPLEX OUTLET - GROUND FAULT INTERRUPTER
⊕X	RECESSED INCANDESCENT FIXTURE	⊕	120V FOURPLEX OUTLET
⊕X	RECESSED ADJUSTABLE INCANDESCENT	⊕	120V DUPLEX OUTLET - FLUSH MOUNTED
⊗X	WALL MOUNTED INCANDESCENT FIXTURE	⊕	OUTLET RECESSED IN FLOOR W/ BRASS COVER PLATE
⊕X	CEILING MOUNTED FIXTURE	⊕	220V DRYER OUTLET, VERIFY PLUG TYPE
⊕PX	CEILING MOUNTED PENDANT FIXTURE	▼	TELEPHONE JACK
⊕WP	RECESSED WATERPROOF INCANDESCENT	⊕	CABLE TV JACK
⊕	STEP LIGHT	⊕	COMPUTER JACK
⊕	UNDERCABINET LIGHTING	⊕	SPEAKER - PROVIDED BY OWNER. COORDINATE ALL LOCATIONS AND INSTALLATION W/ OWNER
⊕	V EXHAUST FAN. 'HVL' EXHAUST FAN W/ HEAT AND LIGHT BY PANASONIC	⊕	DOOR BELL
⊕	TRACK LIGHTING	⊕	DOOR CHIME: TWO TONE
⊕	LIGHT COVE ROPE LIGHT	⊕	ALARM
⊕	DUAL FLOOD LIGHTS	⊕	GAS SUPPLY W/ VALVE
⊕	SWITCH - SINGLE POLE	⊕	JUNCTION BOX
⊕	SWITCH - DIMMER	⊕	THERMOSTAT
⊕	SWITCH - 3 WAY	⊕	SMOKE DETECTOR - INSTALL PER CODE
⊕	SWITCH - 4 WAY	⊕	TO BE PROVIDED BY OWNER. INSTALLED BY G.C.
⊕	SWITCH - JAMB/DOOR	⊕	
⊕	120V DUPLEX OUTLET	⊕	
⊕	120V DUPLEX OUTLET - HORIZONTAL MOUNT	⊕	
⊕	120V DUPLEX OUTLET - TOP HALF SWITCHED	⊕	

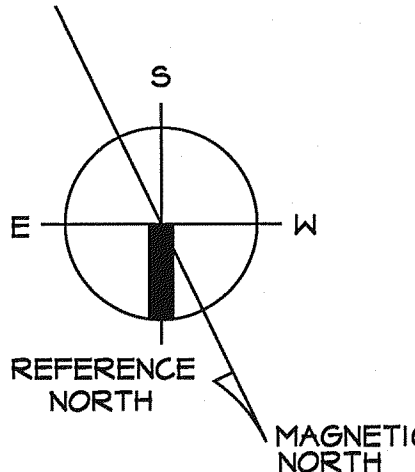
NOTES:

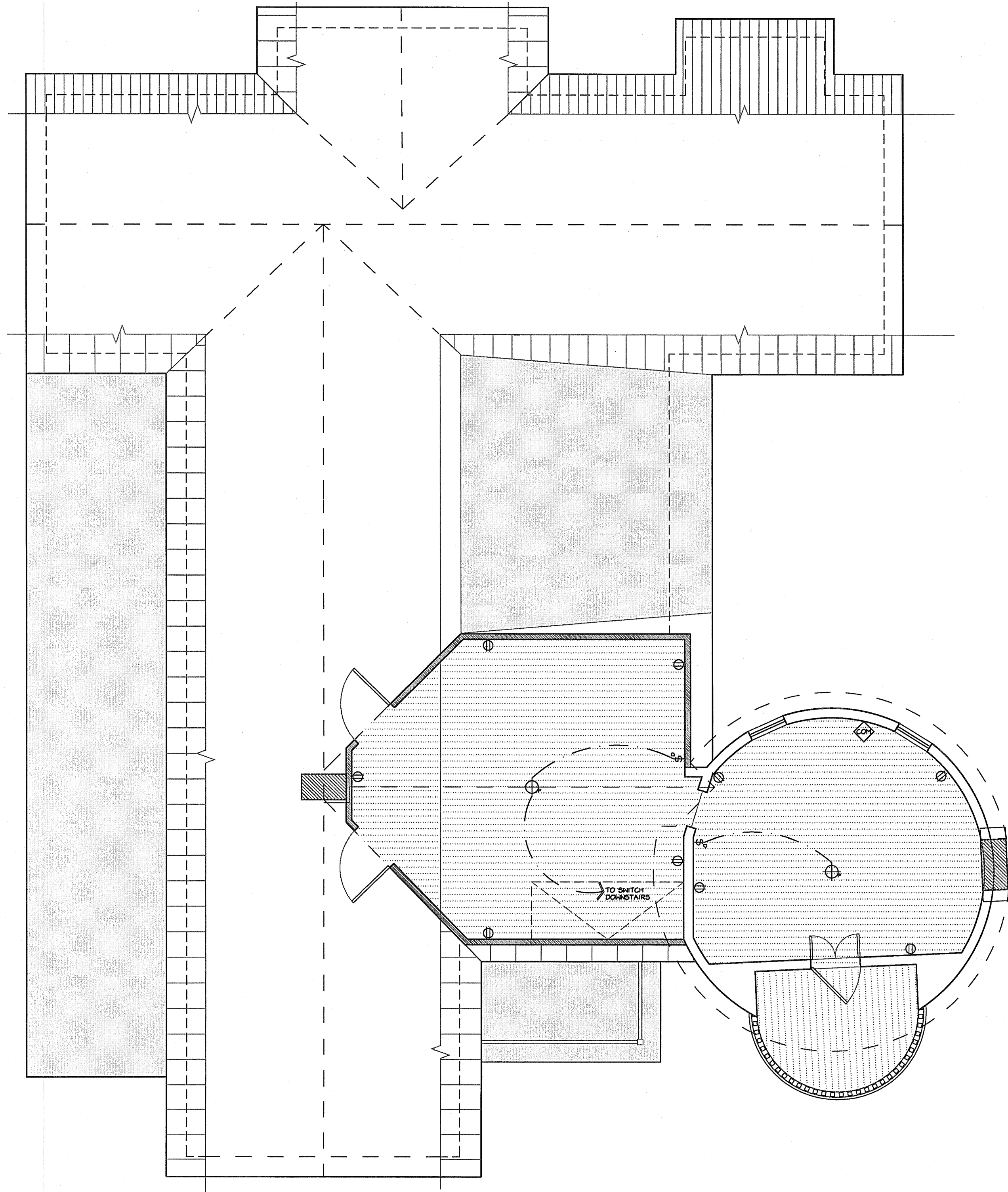
1. G.C. TO ENSURE THE PROPER SPACING AND LOCATION OF ALL ELECTRICAL FIXTURES PER CODE.
2. ALL RECESSED CANS TO BE SEALED W/ ALUMINUM TAPE. PROVIDE SLOPED CEILING TRIM AT ALL SLOPED CEILING LOCATIONS. IF DISCREPANCIES ARISE, G.C. TO CONSULT W/ ARCHITECT/OWNER
3. ALL ART LIGHTING SHOULD BE SPECIFIED TO HAVE A REMOTE TRANSFORMER
4. ALL LOCATIONS MUST BE CONFIRMED ON SITE WITH OWNER PRIOR TO ROUGH-IN AND AFTER BOXES ARE SET (BEFORE WIRES PULLED)
5. VERIFY ALL ART LIGHT LOCATIONS W/ OWNER AT ON SITE MOCK-UP W/ SELECTED FIXTURES



FIRST FLOOR ELECTRICAL PLAN

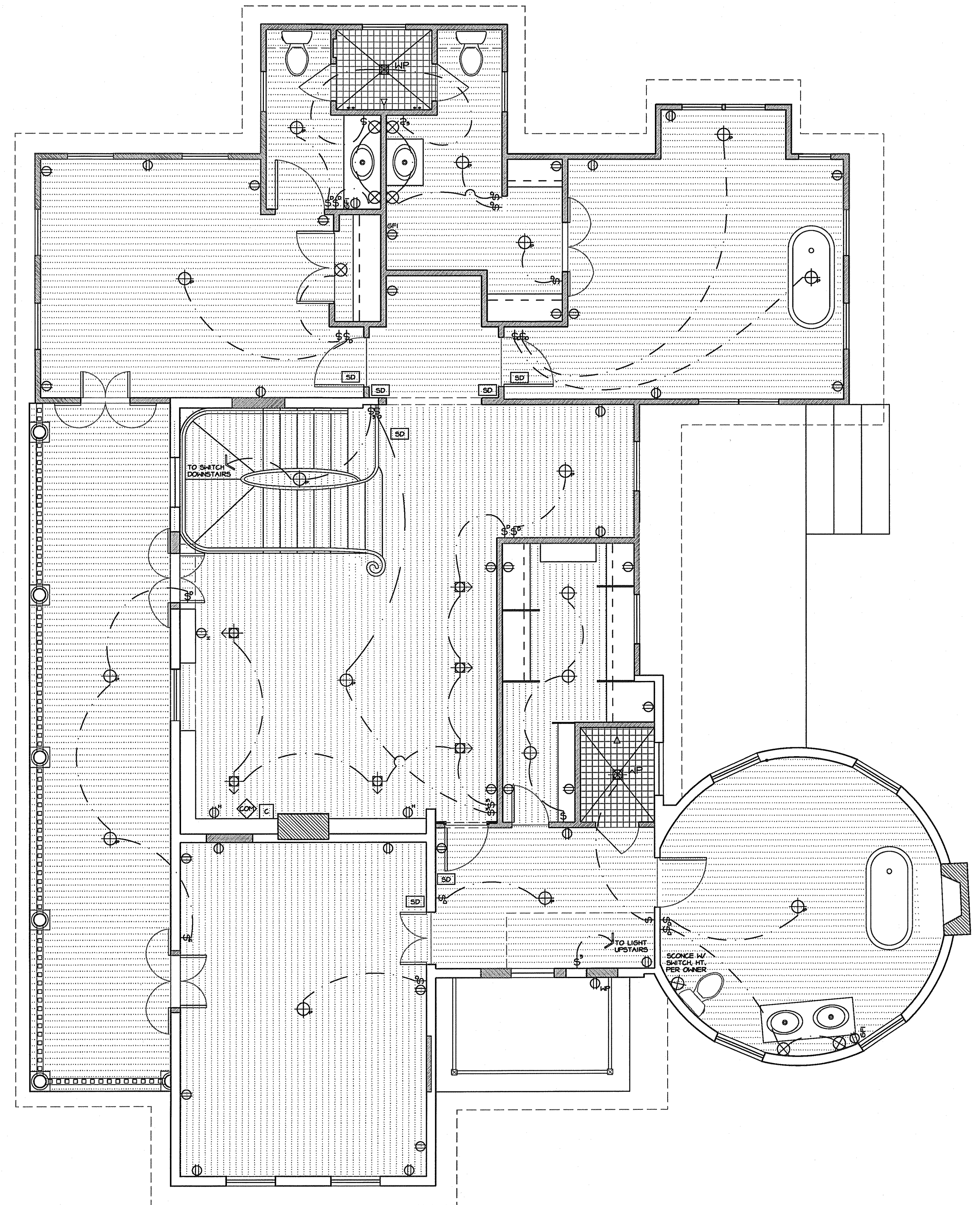
SCALE: 1/4" = 1'-0"





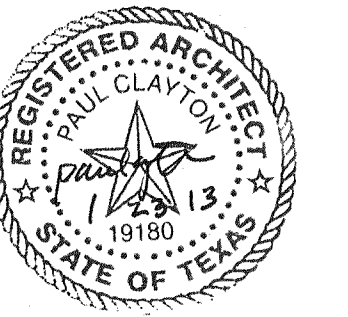
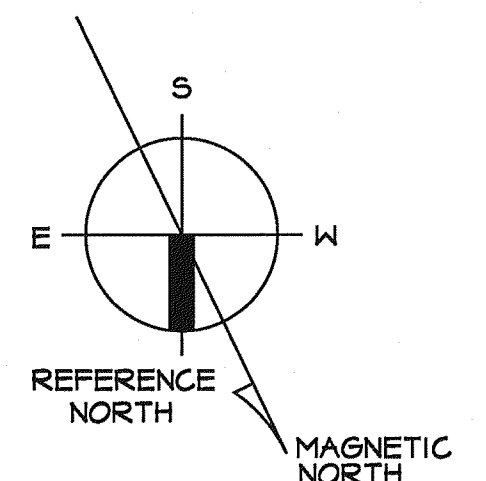
2 CONDITIONED STORAGE PLAN - ATTIC LEVEL

SCALE: 1/4" = 1'-0"



2 SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



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ELECTRICAL PLAN

E1.1