



# Historic Review Application

For Office Use Only

Date of Submission: \_\_\_\_\_

Plan Review #: \_\_\_\_\_

Property Address: \_\_\_\_\_

Historic Landmark

Historic District (Local)

National Register Historic District

Historic Landmark or

Historic District Name: \_\_\_\_\_

Applicant Name: \_\_\_\_\_ Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

Applicant Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

*Please describe all proposed exterior work with location and materials. If you need more space, attach an additional sheet.*

PROPOSED WORK	LOCATION OF PROPOSED WORK	PROPOSED MATERIAL(S)
1) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____
2) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____
3) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____

## Submittal Requirements

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing *and* proposed conditions for alterations and additions.

Site Plan

Elevations

Floor Plan

Roof Plan

2. Color photographs of building and site:

Elevation(s) proposed to be modified

Detailed view of each area proposed to be modified

Any changes to these plans must be reviewed and approved by the Historic Preservation Office and/or Historic Landmark Commission.

Applicant Signature: \_\_\_\_\_

Date: \_\_\_\_\_



# Design Standards and Guidelines for Historic Properties

Adopted December 2012

## **Design Standards and Guidelines for Historic Properties**

### *Landmarks and National Register historic district properties*

If you are making changes to a historic landmark, the project *must* comply with these standards to receive a Certificate of Appropriateness. If you are making changes to a contributing property or constructing a new building within a National Register historic district, consider the standards below as advisory guidelines:

1. Use a property for its historic purpose or place it in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. Retain and preserve the historic character of a property shall be retained and preserved. Avoid the removal of historic materials or alteration of features and spaces that characterize a property.
3. Recognize each property as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### *Local historic district properties*

If you are making changes to a contributing property or constructing a new building in a local historic district, the project *must* comply with the design standards established for that district to receive a Certificate of Appropriateness. Visit the Historic Preservation Office website to view your district's design standards: <http://www.austintexas.gov/department/historic-preservation>.

## **What Type of Work Requires a Certificate of Appropriateness?**

Certificates of Appropriateness (COAs) are required for exterior changes or additions to historic landmarks, any property pending designation as a landmark, and contributing buildings in local historic districts; or if you are constructing a new building in a local historic district. Work requiring a COA includes:

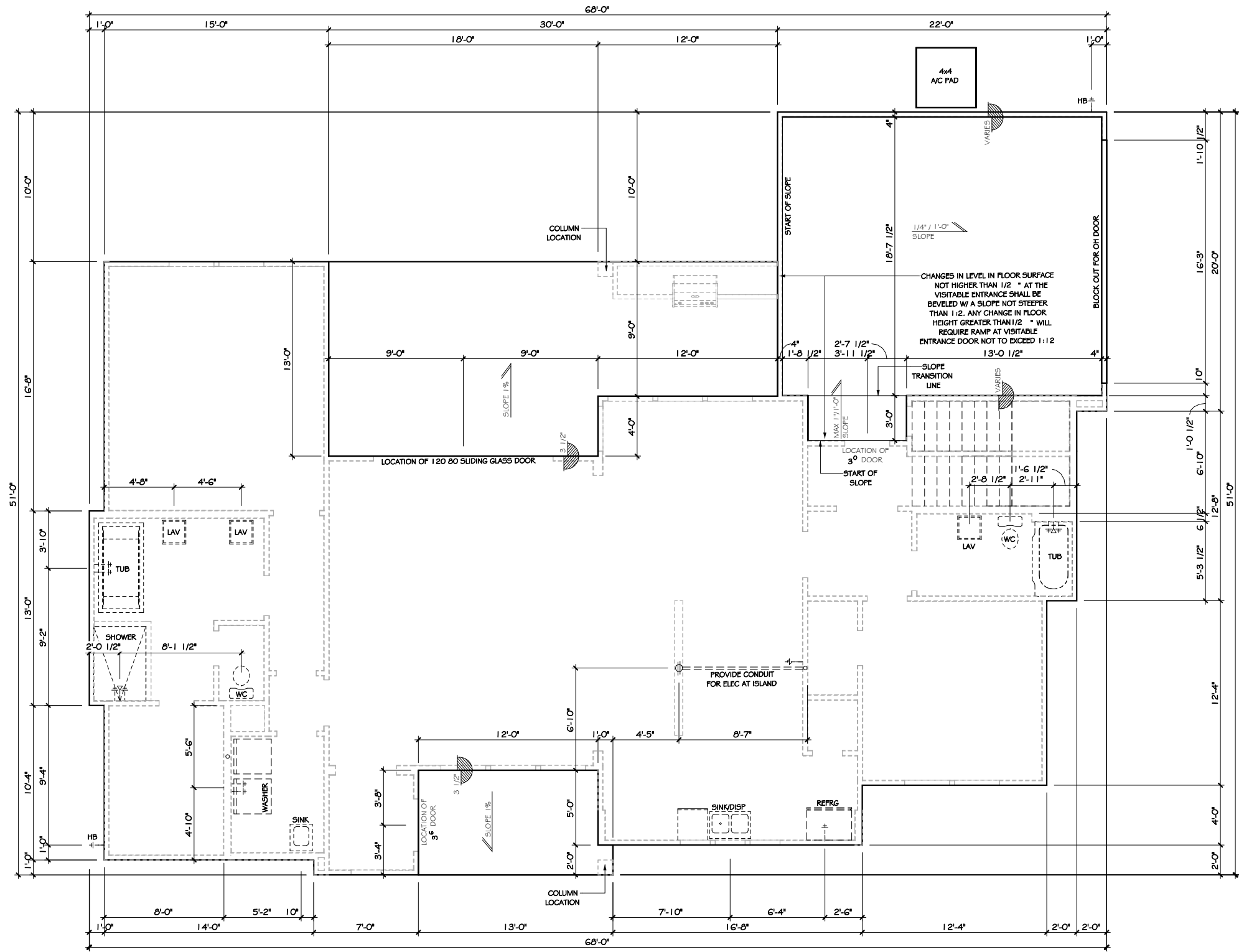
1. Additions
2. Construction of new buildings, including outbuildings
3. Window and door replacement
4. Exterior siding replacement
5. Replacement of roof materials with a different material
6. Site changes such as a pool, deck, fence, or back porch enclosure

Ordinary repair and maintenance projects do *not* require a Certificate of Appropriateness. For more information, see the historic review process charts on the [Historic Preservation Office website](#).

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Date 08-04-23  
Sheet A-001

- 1) STAIRWAY AREA(S) ARE INCLUDED AT 2ND FLOOR  
IN SQUARE FOOTAGE (72 SF)
- 2) 1" IS ADDED TO THE FRAME DIMENSION FOR  
EXTERIOR FINISH OF SIDING

**SDC-0005-RF-2024**



FOUNDATION PLAN  
SCALE 1/8" = 1'-0"  
Notes:  
FOUNDATION CONTRACTOR TO COMPARE FOUNDATION PLANS FROM STRUCTURAL  
ENGINEER TO THESE ARCHITECTURAL PLANS  
ANY DISCREPANCY TO BE REPORTED TO BUILDER.



8-16-23  
3001 FUNSTON ST.

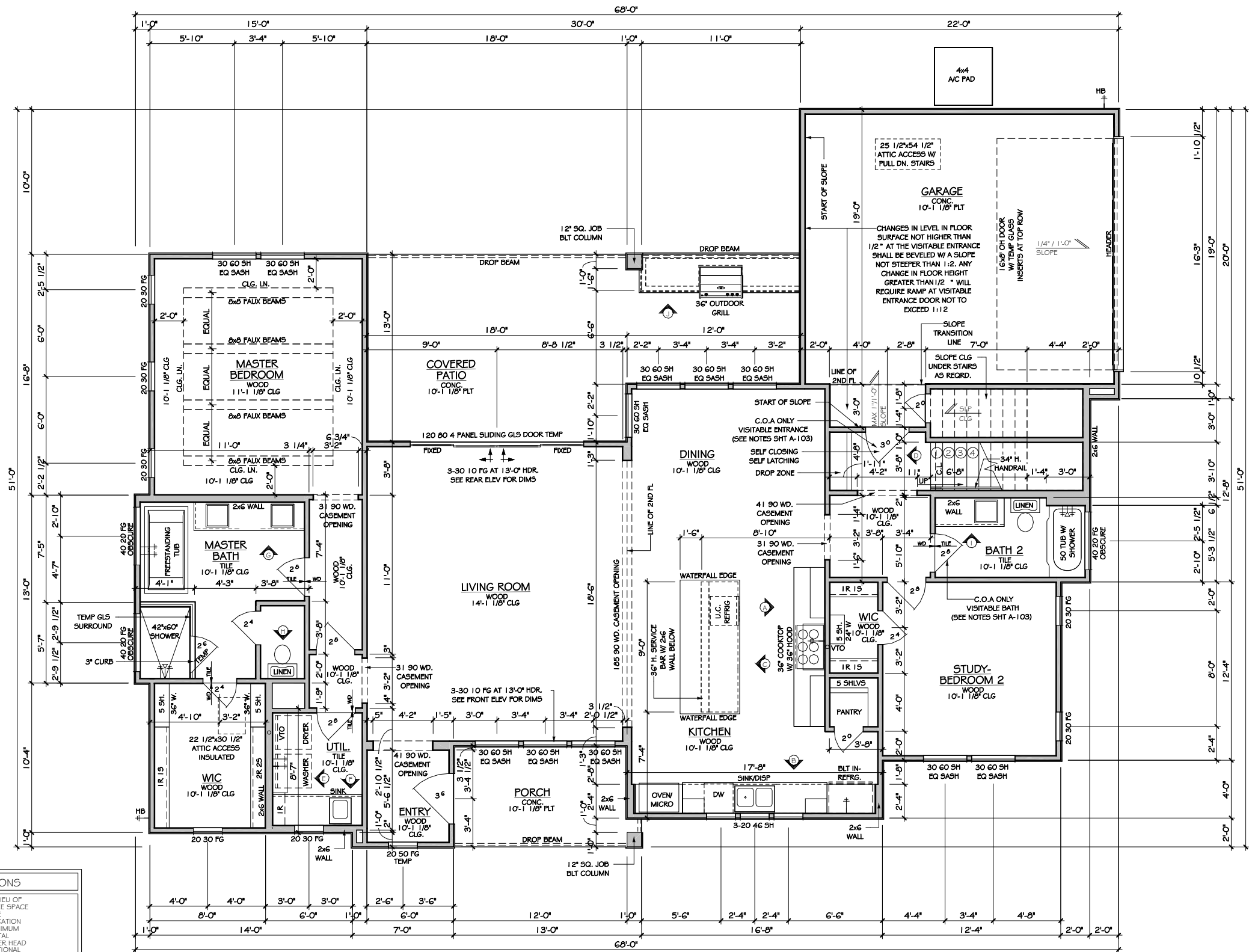
PLAN 2677 RS

RUSSELL SMITH  
VENTURE PARTNERS

Due to variations in construction methods and  
diversity in construction materials, all dimensions and  
elevations are approximate and may vary per plan.  
Builder accepts full responsibility for checking plans  
to assure conformity with local codes. Should any  
changes be made to these plans by Builder or his  
representatives, Builder assumes full  
liability for amended plans and specifications.

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A-101



**FIRST FLOOR PLAN**

SCALE 1/8" = 1'-0"

PLANS ARE COMPLIANT W/ 2021 IRC

1st FLOOR PLATE HGTS TO BE 10'-1 1/8" PLT W/ 8'-0" WINDOW  
HEADER HGTS UNLESS NOTED OTHERWISE

2nd FLOOR PLATE HGTS TO BE 9'-1 1/8" PLT W/ 8'-0" WINDOW  
HEADER HGTS UNLESS NOTED OTHERWISE

PROVIDE TEMPERED GLASS WHERE REQUIRED

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

TANKLESS WH IN UPPER INSULATED ATTIC

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PLYWOOD PAD IN ATTIC FOR HVAC UNIT(S) AND TANKLESS WH W/ REQUIRED ELECTRICAL, MECHANICAL, AND PLUMBING

DRYER VENT NOT TO EXCEED 35' MINUS ELBOWS PER IRC M1502.4.4

SEE FRAMING SHEETS FOR HEADER SIZES AND LOCATION

8'-0" DOORS THROUGHOUT FIRST AND SECOND FLOORS UNLESS NOTED OTHERWISE

**GENERAL PLAN ABBREVIATIONS**

ABV - ABOVE	ILO - IN LIEU OF
ADJ - ADJUSTABLE	KS - KNEE SPACE
AFF - ABOVE FINISH FLOOR	LN - LINE
BLK - BLOCK	LOC - LOCATION
BLW - BELOW	MIN - MINIMUM
CAB - CABINET	MTL - METAL
CLG - CEILING	OH - OVER HEAD
CER - CERAMIC	OPT - OPTIONAL
CO - CARBON MONOXIDE	PB - PUSH BUTTON
DET - DETECTOR	PED - PEDESTAL
COL - COLUMN	PLT - PLATE
CONC - CONCRETE	PROJ - PROJECTION
CPT - CARPET	RAD - RADIUS
CT - CERAMIC TILE	RCSD - RECESSED
CVD OR CVRD - COVERED	REFRG - REFRIGERATOR
D - DEEP	RND - ROUND
DB - DOOR BELL	SD - SMOKE DETECTOR
DBL - DOUBLE	SDG - SUDING
DIA - DIAMETER	SH - SINGLE HUNG
DL - DIVIDED LITE	SHLVLS OR S - SHELVES
DRS - DOORS	SIM - SIMILAR
DW - DISH WASHER	SIP - SLOPE
EA - EACH	SQR - SQUARE
EJ - EXPANSION JOINT	SK - SHEET ROCK
ELEV - ELEVATION	SRO - SHEET ROCK OPENING
EXT - EXTENSION	STPO - SWITCH TOP OUTLET
FD - FUR DOWN	SV - SHEET VINYL
FG - FIXED GLASS	T&G - TONGUE AND GROOVE
FLR - FLOOR	TYP - TYPICAL
FR - FIREPLACE	VENT - VENT TO OUTSIDE
GAR - GARAGE	W - WIDE
GFI - GROUND FAULT CIRCUIT INTERRUPTER	W/ - WITH
GLS - GLASS	WC - WATER CLOSET
H - HIGH	WO - WOOD
HB - HOSE BIB	WH - WATER HEATER
HDR - HEADER	WI - WROUGHT IRON
HS - HORIZONTAL SUIDER	WIC - WALK IN CLOSET
	WP - WATER PROOF

3001 Funston St.



8-16-23  
3001 FUNSTON ST.

PLAN 2677 RS

RUSSELL SMITH  
VENTURE PARTNERS

Due to variations in construction methods and divergences in construction materials, all dimensions and elevations are approximate and may vary per plan. Builder accepts full responsibility for checking plans to assure conformity with local codes. Should any changes be made to these plans by Builder or his representatives, Builder assumes full liability for amended plans and specifications.

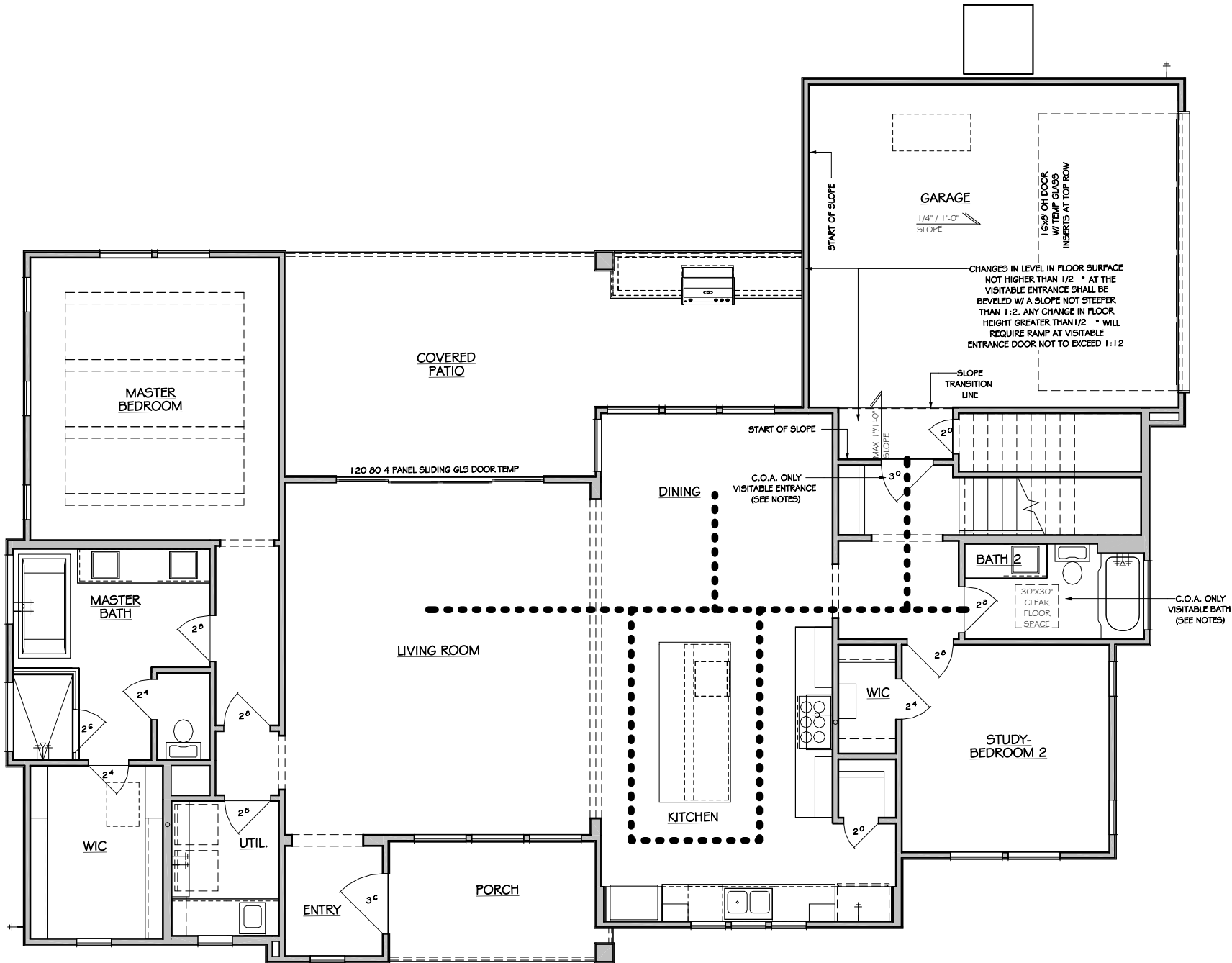
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A-102

CITY OF AUSTIN VISITABILITY
LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS WILL BE NO HIGHER THAN 48" TO TOP OF BOX FROM ROUGH FINISH FLOOR LEVEL.
OUTLETS AND RECEPTACLES WILL BE A MINIMUM OF 15" TO BOTTOM OF BOX FROM ROUGH FINISH FLOOR LEVEL, EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES.

CITY OF AUSTIN VISITABILITY
HANDRAIL DETAILS
HANDRAIL WILL BE PROVIDED ON AT LEAST ONE SIDE OF ALL RAMP EXCEEDING A SLOPE OF 1:12 (8.33%) (MAX SLOPE 1:8)
HANDRAILS SHALL BE INSTALLED BETWEEN 34"AND 38" HIGH OFF GROUND MEASURED FROM THE FINISHED SURFACE OF THE RAMP SLOPE
HANDRAILS SHALL MEET THE FOLLOWING CRITERIA
- HAVE AN OUTSIDE PERIMETER DIMENSION OF NO LESS THAN 4" AND NO GREATER THAN 6 1/4"
- HAVE A CROSSSECTIONAL DIMENSION OF NO MORE THAN 2 1/4"
- HAVE EDGE RADIUS OF NO LESS THAN 0.01"
HANDRAILS SHALL BE INSTALLED FOR THE FULL LENGTH OF RAMP AND SHALL BE RETURNED OR TERMINATED INTO NEWEL POSTS OR SAFETY TERMINALS TERMINALS, IF HANDRAILS ARE INSTALLED ADJACENT TO A WALL, THE SPACE BETWEEN HANDRAIL AND WALL SHALL BE NO LESS THEN 1 1/2"

CITY OF AUSTIN VISITABILITY	
EXTERIOR ROUTE:	
POINT OF ORIGIN	GARAGE
	ELEVATION: N/A
VISITABLE ENTRANCE	GARAGE ENTRY DOOR
	LANDING ELEVATION: N/A
VISITABLE ROUTE	FROM GARAGE TO GARAGE ENTRY DOOR
	LENGTH: 1'6"-8"
	SLOPE: MAX 2%
<b>VISITABLE "NO STEP" ENTRANCE:</b> GARAGE ENTRY DOOR	
<b>VISITABLE BATHROOM:</b> BATH 2	
A VISITABLE DWELLING "NO STEP" ENTRANCE WILL BE PROVIDED WITH MINIMUM 32" CLEAR FINISHED OPENING AND MAX 1/2" STEP BEVELED THRESHOLD.	
A VISITABLE ROUTE WITH MINIMUM CLEAR FINISHED OPENING OF 32" WILL BE PROVIDED FROM VISITABLE "NO STEP" ENTRANCE, CONTINUING THROUGH LIVING/FAMILY ROOM, DINING ROOM AND KITCHEN TO VISITABLE BATH. ALL POINTS ALONG ROUTE TO HAVE MAXIMUM OF 1/2" STEP AT THRESHOLDS AND/OR FLOORING TRANSITIONS.	
VISITABLE BATH TO HAVE MINIMUM 30" CLEAR FINISHED DOOR OPENING.	
VISITABLE BATH BLOCKING NOTES: LATERAL 2x6 OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS, CENTERLINE OF BLOCKING MUST BE 34" FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR PORTION OF THE WALL LOCATED DIRECTLY BEHIND THE LAVATORY.	



VISITABILITY ROUTE DIAGRAM

SCALE 1/8" = 1'-0"

32" CLEAR VISITABLE ROUTE

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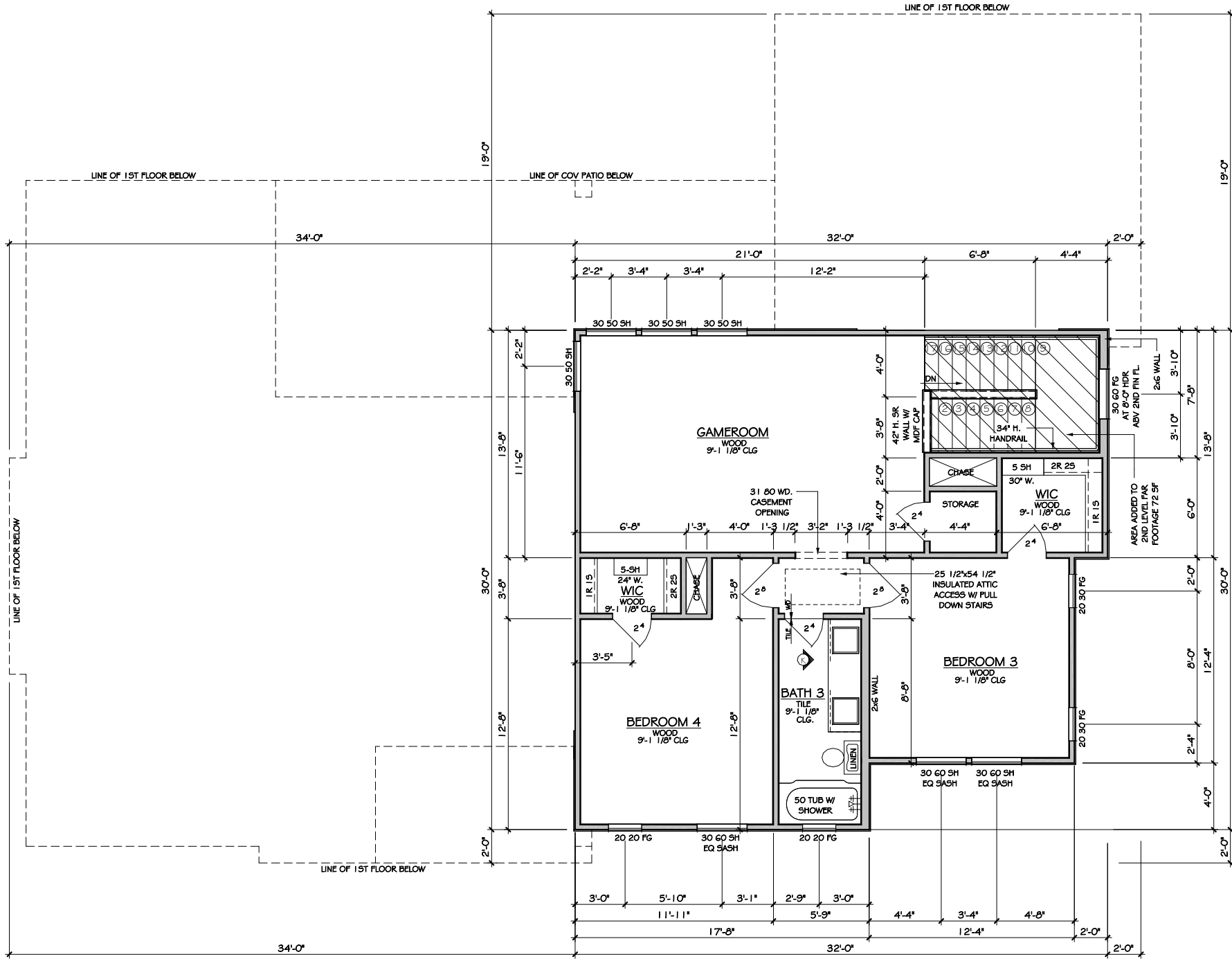
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GENERAL PLAN ABBREVIATIONS			
ABV -	ABOVE	ILO -	IN LIEU OF
ADJ -	ADJUSTABLE	KS -	KNEE SPACE
AFF -	ABOVE FINISH FLOOR	LN -	LINE
BLK -	BLOCK	LOC -	LOCATION
BLW -	BELOW	MIN -	MINIMUM
CAB -	CABINET	MTL -	METAL
CLG -	CEILING	OH -	OVER HEAD
CER -	CERAMIC	OPT -	OPTIONAL
CO -	CARBON MONOXIDE	PB -	PUSH BUTTON
COL -	COLUMN	PEF -	PEDESTAL
CONC -	CONCRETE	PLT -	PLATE
CPT -	CARPET	PROJ -	PROJECTION
CT -	CERAMIC TILE	RAD -	RADIUS
CVD OR CVRD -	COVERED	RCSO -	RECESSED
D -	DEEP	REFRG -	REFRIGERATOR
DB -	DOOR BELL	RND -	ROUND
DBL -	DOUBLE	SD -	SMOKE DETECTOR
DIA -	DIAMETER	SDG -	SLIDING
DL -	DIVIDED LITE	SH -	SINGLE HUNG
DRS -	DOORS	SHLVS OR S -	SHELVES
DW -	DISH WASHER	SIM -	SIMILAR
EA -	EACH	SIP -	SLOPE
EJ -	EXPANSION JOINT	SQR -	SQUARE
ELEV -	ELEVATION	SR -	SHEET ROCK
EXT -	EXTENSION	SRO -	SHEET ROCK OPENING
FD -	FURK DOWN	STPO -	SWITCH TOP OUTLET
FG -	FIXED GLASS	SV -	SHEET VINYL
FLR -	FLOOR	T&G -	TONGUE AND GROOVE
F/P -	FIREPLACE	TYP -	TYPICAL
GAR -	GARAGE	VTO -	VENT TO OUTSIDE
GFI -	GROUND FAULT CIRCUIT	W -	WIDE
INTERRUPTER	INTERRUPTER	W -	WITH
GLS -	GLASS	W/C -	WATER CLOSET
H -	HIGH	WD -	WOOD
HB -	HOSE BIB	WH -	WATER HEATER
HDR -	HEADER	WI -	WROUGHT IRON
HS -	HORIZONTAL SLIDER	W.I.C. -	WALK IN CLOSET
		WP -	WATER PROOF



**SECOND FLOOR PLAN**  
SCALE 1/8" = 1'-0"  
PLANS ARE COMPLIANT W/ 2021 IRC  
1st FLOOR PLATE HGTS TO BE 10'-1 1/8" PLT W/ 8'-0" WINDOW  
HEADER HGTS UNLESS NOTED OTHERWISE  
2nd FLOOR PLATE HGTS TO BE 9'-1 1/8" PLT W/ 8'-0" WINDOW  
HEADER HGTS UNLESS NOTED OTHERWISE  
PROVIDE TEMPERED GLASS WHERE REQUIRED  
PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE  
TANKLESS WH IN UPPER INSULATED ATTIC  
ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE  
PROVIDE PLYWOOD PAD IN ATTIC FOR HVAC UNIT(S) AND TANKLESS WH W/ REQUIRED ELECTRICAL, MECHANICAL, AND PLUMBING  
DRYER VENT NOT TO EXCEED 35' MINUS ELBOWS PER IRC M1502.4.4  
SEE FRAMING SHEETS FOR HEADER SIZES AND LOCATION  
8'-0" DOORS THROUGHOUT FIRST AND SECOND FLOORS UNLESS NOTED OTHERWISE

8-16-23  
3001 FUNSTON ST.



PLAN 2677 RS

**RUSSELL SMITH**  
**VENTURE PARTNERS**

Due to variations in construction methods and diversities in construction materials, all dimensions and elevations are approximate and may vary per plan. Builder accepts full responsibility for checking plans to assure conformity with local codes. Should any changes be made to these plans by Builder or his representatives, Builder assumes full liability for amended plans and specifications.

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08-04-23  
Sheet  
A-104

SOLAR READY CITY OF AUSTIN

R701.1 RESIDENTIAL SOLAR READY: NEW RESIDENTIAL BUILDINGS MUST HAVE A SOLAR-READY ZONE. A SOLAR-READY ZONE IS A SECTION OR SECTIONS OF THE ROOF OR BUILDING STRUCTURE DESIGNATED AND RESERVED FOR FUTURE INSTALLATION OF A SOLAR PHOTOVOLTAIC OR SOLAR THERMAL SYSTEM. THE SOLAR-READY ZONE MUST NOT INCLUDE AREAS SHADED BY PARTS OF THE BUILDING OR OTHER OBSTRUCTIONS.

R701.2 CONSTRUCTION DOCUMENT REQUIREMENTS FOR SOLAR-READY ZONE: CONSTRUCTION DOCUMENTS MUST INDICATE THE SOLAR-READY ZONE ON A ROOF PLAN.

R701.3 OBSTRUCTIONS: SOLAR-READY ZONES MUST BE FREE FROM AND NOT SHADED BY OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO VENTS, CHIMNEYS, PARAPETS AND ROOF-MOUNTED EQUIPMENT.

R701.5 ONE-FAMILY AND TWO-FAMILY DWELLINGS: NEW DETACHED ONE-FAMILY OR TWO-FAMILY DWELLINGS MUST HAVE A TOTAL SOLAR-READY ZONE AREA OF NOT LESS THAN 240 SQUARE FEET (22.3 M<sup>2</sup>) PER DWELLING, EXCLUSIVE OF REQUIRED ACCESS OR SETBACK AREAS. THE SOLAR-READY ZONE MUST BE ORIENTED BETWEEN 90 AND 300 DEGREES OF TRUE NORTH. THE SOLAR-READY ZONE MUST COMPRISE AREAS NOT LESS THAN SIX FEET (1.83 M) ON ONE SIDE AND AT LEAST ONE AREA OF NOT LESS THAN 100 SQUARE FEET (9.29 M<sup>2</sup>) EXCLUSIVE OF ANY REQUIRED ACCESS OR SET BACK AREAS.

EXCEPTIONS:

1. A BUILDING WITH LESS THAN 800 SQUARE FEET (74.32 M<sup>2</sup>) OF ROOF AREA PER DWELLING UNIT.
2. A BUILDING WITH A SOLAR-READY ZONE THAT IS SHADED BY TREES OR ADJACENT STRUCTURES FOR MORE THAN 50 PERCENT OF ANNUAL DAYLIGHT HOURS.
3. A BUILDING SITE ON WHICH THE APPLICANT HAS DEMONSTRATED, THROUGH DOCUMENTATION, COMPLIANCE.
4. NEW RESIDENTIAL BUILDINGS WITH A PERMANENTLY INSTALLED ON-SITE RENEWABLE ENERGY SYSTEM WITH AN OUTPUT OF NOT LESS THAN ONE WATT PER SQUARE FOOT (.092 M<sup>2</sup>) OF CONDITIONED FLOOR AREA, OR AN ON-SITE RENEWABLE ENERGY SYSTEM WITH A TOTAL OUTPUT OF AT LEAST TWO KILOWATTS

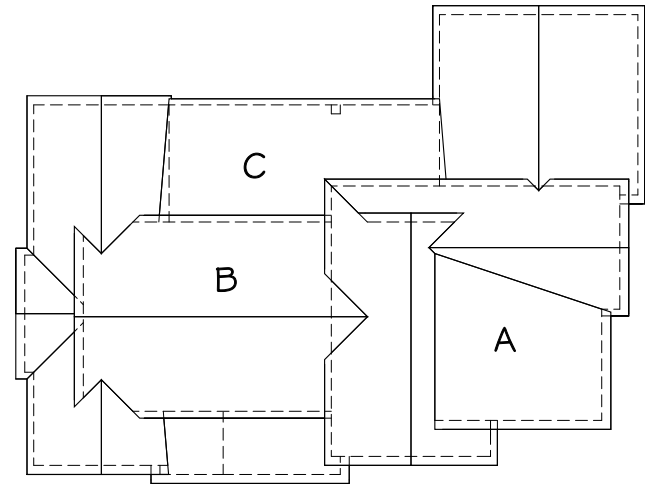
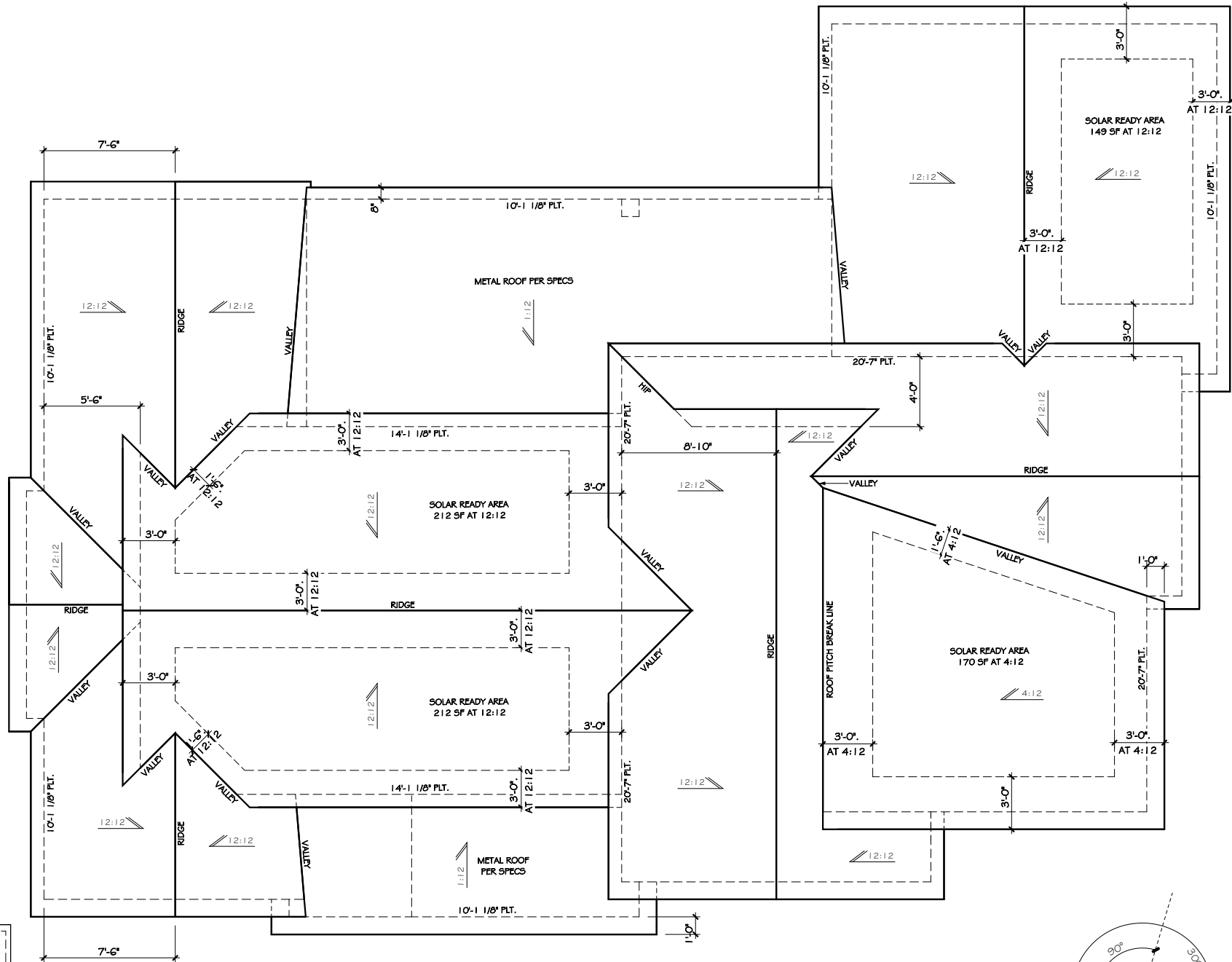
R304.2 ROOF ACCESS POINTS: ROOF ACCESS POINTS SHALL BE LOCATED IN AREAS THAT DO NOT REQUIRE THE PLACEMENT OF GROUND LADDERS OVER OPENINGS SUCH AS WINDOWS OR DOORS, AND LOCATED AT STRONG POINTS OF BUILDING CONSTRUCTION IN LOCATIONS WHERE THE ACCESS POINT DOES NOT CONFLICT WITH OVERHEAD OBSTRUCTIONS SUCH AS TREE LIMBS, WIRES, OR SIGNS.

R304.7.2.2 HIP ROOF LAYOUTS: CLEAR ACCESS PATH- WAY NOT LESS THAN 3' IN WIDTH FROM THE EAVE TO THE RIDGE ON EACH ROOF SLOPE WHERE PANELS AND MODULES ARE LOCATED.

R304.7.2.3 SINGLE RIDGE ROOF LAYOUTS: 2 CLEAR ACCESS PATH-WAYS NOT LESS THAN 3' IN WIDTH FROM THE EAVE TO THE RIDGE ON EACH ROOF SLOPE WHERE PANELS AND MODULES ARE LOCATED.

R304.7.2.4 ROOFS WITH HIP AND VALLEYS: PANELS AND MODULES SHALL NOT BE LOCATED LESS THAN 18" FROM A HIP OR VALLEY WHERE THEY ARE TO BE PLACED ON BOTH SIDES OF A HIP OR VALLEY.

R304.7.2.5 ALLOWANCE FOR SMOKE VENTILATION OPERATIONS: PANELS AND MODULES INSTALLED ON DWELLINGS SHALL NOT BE LOCATED LESS THAN 3' BELOW THE RIDGE.



ROOF VENTING PLAN

SCALE 3/64" = 1'-0"

VENT CALCULATIONS		
	ENCLOS. ATTIC AREA SF	MIN NPVA SF
A	878	5.85
B	578	3.85
C	1305	8.7

$$NPVA = \frac{ENCLOS. ATTIC}{150}$$

ROOF PLAN

SCALE 1/8" = 1'-0"

NOTES:

ALL 12:12 ROOF PITCHES TO HAVE 1'-0" OVERHANGS UNLESS NOTED OTHERWISE

ALL 4:12 ROOF PITCHES TO HAVE 1'-0" OVERHANGS UNLESS NOTED OTHERWISE

ALL 12:12 ROOF PITCHES TO HAVE 9" OVERHANGS UNLESS NOTED OTHERWISE

ALL GABLE ENDS TO HAVE 1'-0" OVERHANGS UNLESS NOTED OTHERWISE

BUILDER TO VERIFY CURRENT LOCAL CODES AND REQUIREMENTS OF 1 HOUR FIRE RATED OVERHANGS

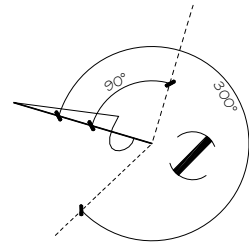
ALL ROOF PITCHES 4:12 AND UNDER PROVIDE DOUBLE UNDERLAYMENT AS REQUIRED

VENT AS REQUIRED

CITY OF AUSTIN ELECTRICAL NOTES

R701.4 ELECTRICAL SERVICE RESERVED SPACE. MAIN ELECTRICAL SERVICE PANEL MUST HAVE A RESERVED SPACE TO ALLOW INSTALLATION OF A DUAL POLE CIRCUIT BREAKER FOR FUTURE SOLAR INSTALLATION AND MUST BE LABELED "FOR SOLAR ELECTRIC." THE RESERVED SPACE MUST BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEED LOCATION OR MAIN CIRCUIT LOCATION.

NO ROOF VENT IN SOLAR READY AREAS



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3001 Funston St.



PLAN 2677 RS

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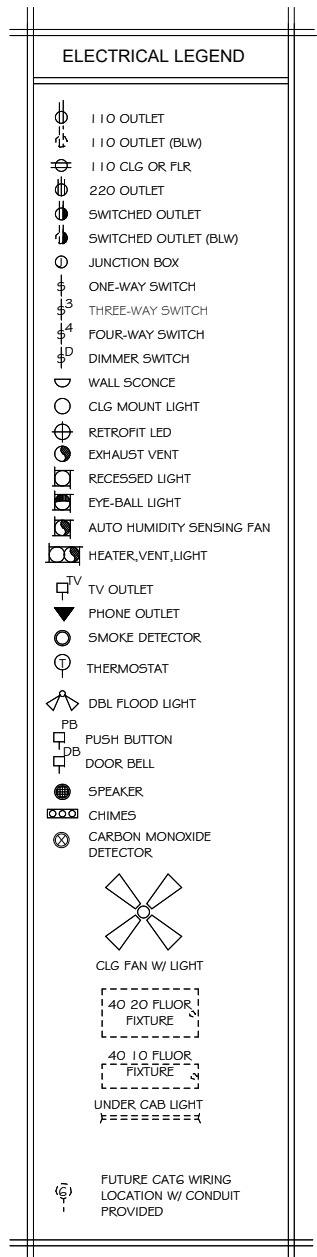
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**AE-106**

SECOND FLOOR ELECTRICAL PLAN

SCALE 1/8" = 1'-0"

PLANS ARE COMPLIANT W/ 2020 NEC

PROVIDE PLYWOOD PAD IN ATTIC FOR HVAC UNIT(S) AND W/H(S) W/ REQUIRED ELECTRICAL, MECHANICAL, AND PLUMBING AS REQUIRED (PLUMB CODE SECT 24-246)

PROVIDE 110V GFI OUTLET AND LIGHT NEAR HVAC UNIT FOR SERVICE. IF LOCATION REQUIRES, PROVIDE TWO LIGHTS, ONE AT UNIT AND ONE AT ACCESS OPENING ON ONE SWITCH

SMOKE ALARMS TO BE INSTALLED W/ BATTERY BACKUP IN ACCORDANCE W/ NFPA 72. ALL SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OTHERS

DRYER VENT NOT TO EXCEED 35' MINUS ELBOWS PER IRC M1502.4.4

CARBON MONOXIDE ALARMS TO BE INSTALLED W/ BATTERY BACKUP AND SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OTHERS

ELECTRICIAN TO PROVIDE TYPE 1 OR TYPE 2 WHOLE HOUSE SURGE PROTECTION PER SECTION 230.67

RECESSED LIGHTING FIXTURES TO BE INSTALLED AS REQUIRED BY IECC 502.1.3 (AIRTIGHT CANS OR SEALED GYPSUM BOX WHEN PIERCING BUILDING ENVELOPE.)

ELECTRICIAN TO PROVIDE WP GFI PLUG WITH IN 25'-0" FROM A/C CONDENSER UNIT

ALL OUTLETS THAT ARE NOT GFCI SHALL BE ARC-FAULT PROTECTED

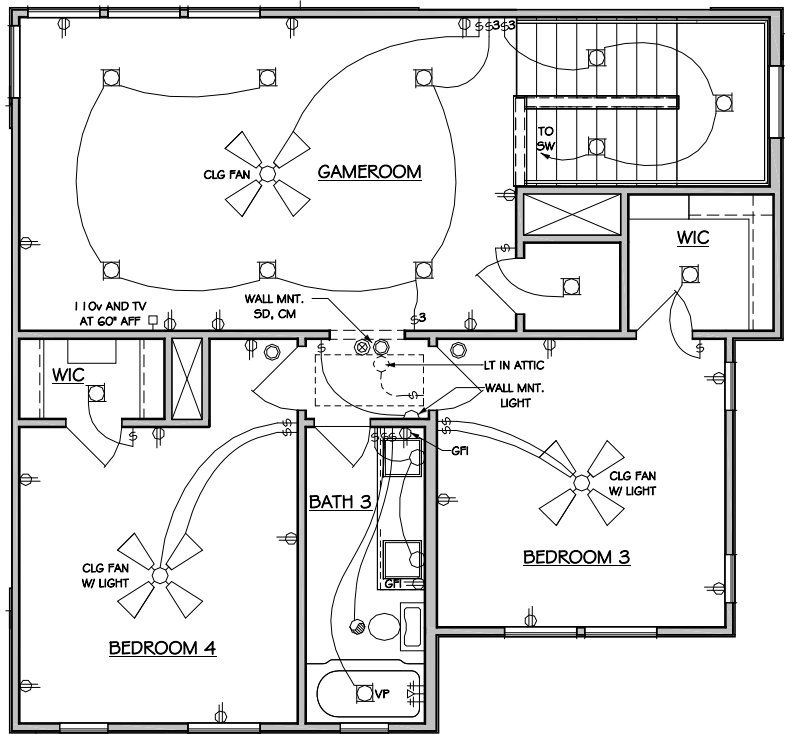
ALL OUTLETS IN KITCHEN AND UTILITY TO BE GFCI AND AFCI PROTECTED

ALL OUTLETS TO BE TAMPER RESISTANT WITH THE EXCEPTIONS OF THE OUTLETS THAT ARE MORE THAN 5'-6" AFF AS REQUIRED BY E4002.14

GARAGE OUTLETS SHALL NOT BE LOCATED MORE THAN 5'-6" AFF

DETACHED AND ATTACHED GARAGES SHALL HAVE NOT LESS THAN ONE 120V, 20 AMP BRANCH CIRCUIT TO SUPPLY RECEPTACLE OUTLETS POWER

ELECTRICIAN TO PROVIDE SERVICE EQUIPMENT DISCONNECTING MEANS PER SECTION 230.70 AND EMERGENCY DISCONNECTS PER SECTION 230.85



ELECTRICAL LEGEND

- 110 OUTLET
- 110 OUTLET (BLW)
- 110 CLG OR FLR
- 220 OUTLET
- SWITCHED OUTLET
- SWITCHED OUTLET (BLW)
- JUNCTION BOX
- ONE-WAY SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- WALL SCONCE
- CLG MOUNT LIGHT
- RETROFIT LED
- EXHAUST VENT
- RECESSED LIGHT
- EYE-BALL LIGHT
- AUTO HUMIDITY SENSING FAN
- HEATER, VENT, LIGHT
- TV OUTLET
- PHONE OUTLET
- SMOKE DETECTOR
- THERMOSTAT
- DBL FLOOD LIGHT
- PUSH BUTTON
- DOOR BELL
- SPEAKER
- CHIMES
- CARBON MONOXIDE DETECTOR
- CLG FAN W/ LIGHT
- 40 20 FLUOR. FIXTURE
- 40 10 FLUOR. FIXTURE
- UNDER CAB LIGHT
- FUTURE CATG WIRING LOCATION W/ CONDUIT PROVIDED

3001 Funston St.



8-16-23  
3001 FUNSTON ST.

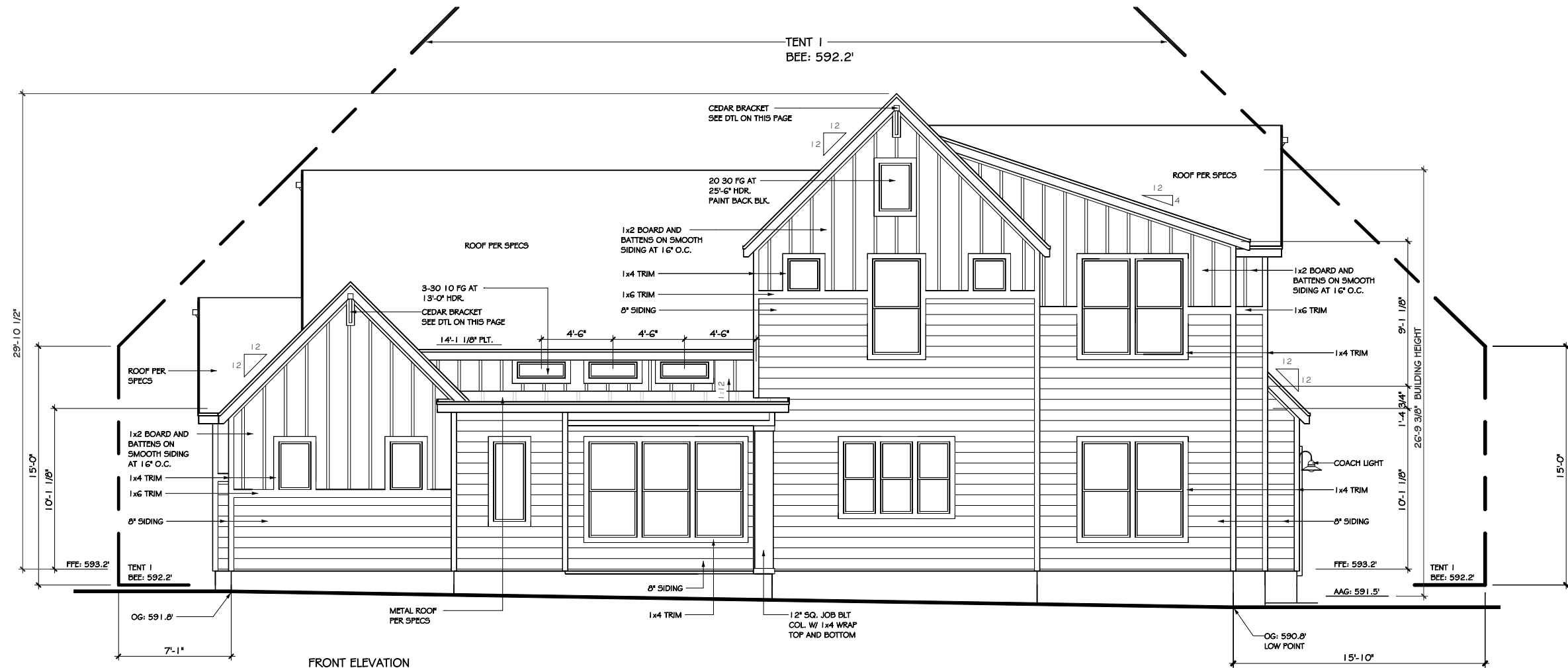
PLAN 2677 RS

RUSSELL SMITH  
VENTURE PARTNERS

Due to variations in construction methods and elevations in construction materials, all dimensions and elevations are approximate and may vary per plan. Builder accepts full responsibility for checking plans to assure conformity with local codes. Should any changes be made to these plans by Builder or his representatives, Builder assumes full liability for amended plans and specifications.

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AE-107



FRONT ELEVATION

SCALE 1/8" = 1'-0"

1ST FLOOR PLATE HGTS TO BE  
10'-1 1/8" PLT W/ 8'-0" WINDOW  
HEADER HGTS UNLESS NOTED OTHERWISE

2ND FLOOR PLATE HGTS TO BE  
9'-1 1/8" PLT W/ 8'-0" WINDOW  
HEADER HGTS UNLESS NOTED OTHERWISE

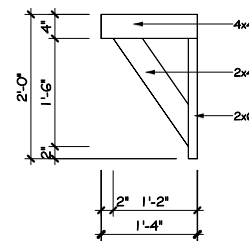
PROVIDE TEMPERED GLASS WHERE  
REQUIRED

BUILDER TO VERIFY CURRENT LOCAL  
CODES AND REQUIREMENTS OF 1 HOUR  
FIRE RATED OVERHANGS

PROVIDE STEEL LINTELS ABOVE ALL  
OPENINGS W/ MASONRY, AS REQD

SEE FRAMING SHEETS FOR HEADER SIZES  
AND LOCATION

RESCHECK OR IECC COMPLIANCE  
PROVIDED BY OTHERS



CEDAR BRACKET DETAIL

SCALE 3/8" = 1'-0"

ABBREVIATIONS	
FPE:	FINISHED FLOOR ELEVATION
BEE:	BUILDING ENVELOPE ELEVATION
AAG:	AVERAGE ADJACENT GRADE
OGE:	ORIGINAL GRADE ELEVATION
FGE:	FINISHED GRADE ELEVATION



8-16-23  
3001 FUNSTON ST.

PLAN 2677 RS

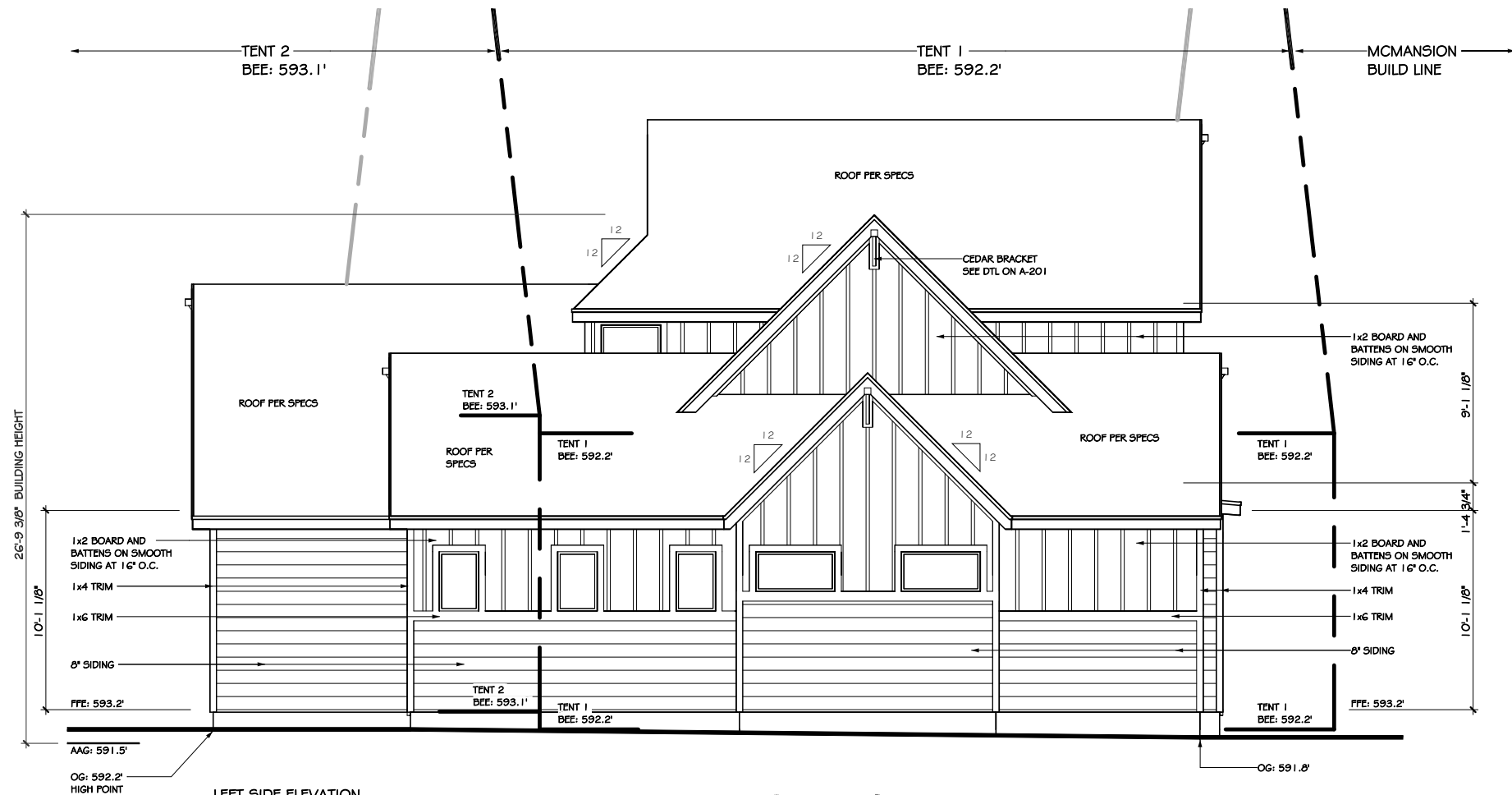
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#### LEFT SIDE ELEVATION

SCALE 1/8" = 1'-0"

1ST FLOOR PLATE HGTS TO BE  
10'-1 1/8" FLT W/ 8'-0" WINDOW  
HEADER HGTS UNLESS NOTED OTHERWISE

2ND FLOOR PLATE HGTS TO BE  
9'-1 1/8" FLT W/ 8'-0" WINDOW  
HEADER HGTS UNLESS NOTED OTHERWISE

PROVIDE TEMPERED GLASS WHERE  
REQUIRED

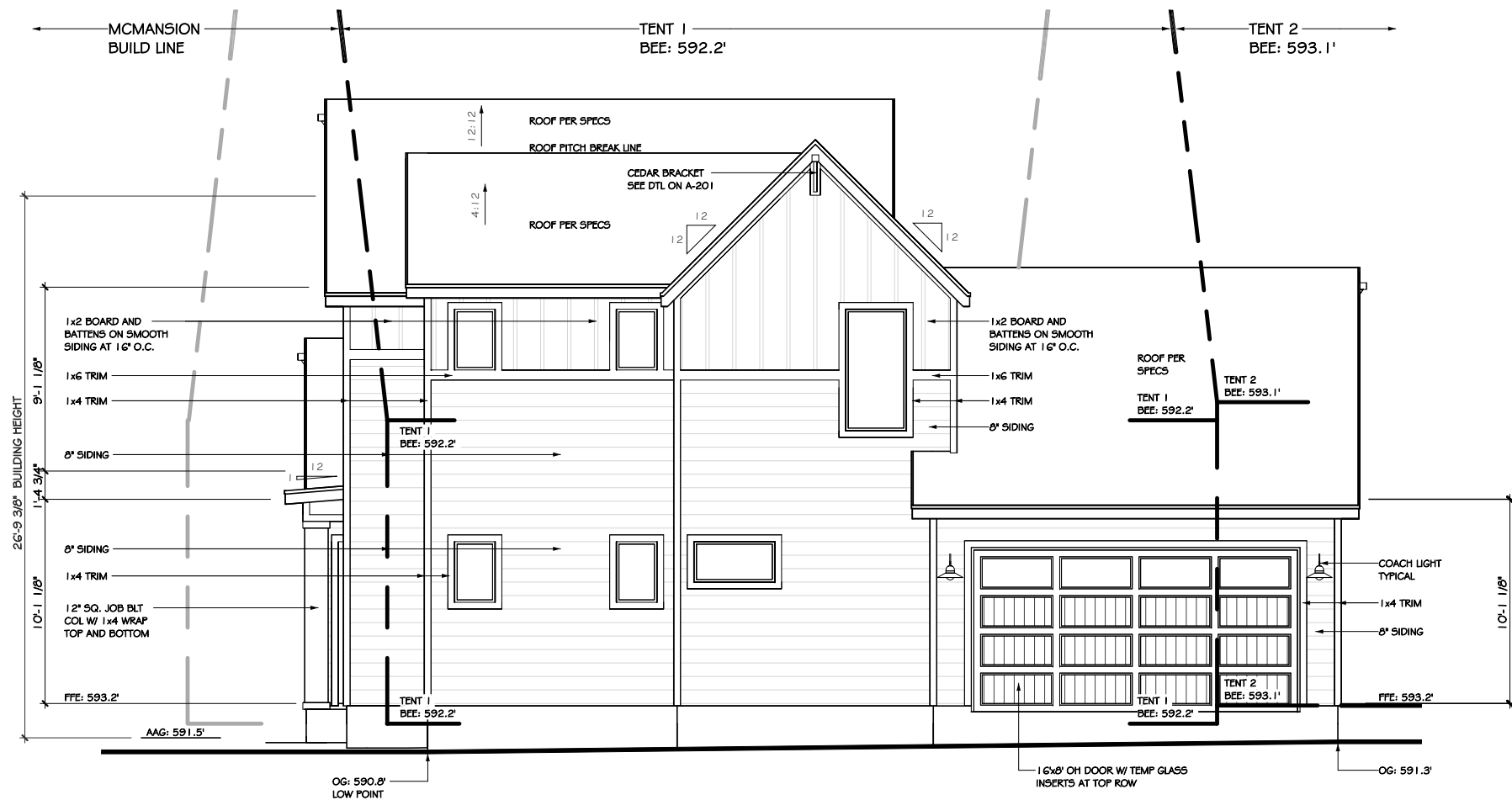
BUILDER TO VERIFY CURRENT LOCAL  
CODES AND REQUIREMENTS OF 1 HOUR  
FIRE RATED OVERHANGS

PROVIDE STEEL LINTELS ABOVE ALL  
OPENINGS W/ MASONRY, AS REQD

SEE FRAMING SHEETS FOR HEADER SIZES  
AND LOCATION

RESCHECK OR IECC COMPLIANCE  
PROVIDED BY OTHERS

ABBREVIATIONS	
FFE:	FINISHED FLOOR ELEVATION
BEE:	BUILDING ENVELOPE ELEVATION
AAG:	AVERAGE ADJACENT GRADE
OGE:	ORIGINAL GRADE ELEVATION
FGE:	FINISHED GRADE ELEVATION



#### RIGHT SIDE ELEVATION

SCALE 1/8" = 1'-0"

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3001 FUNSTON ST.

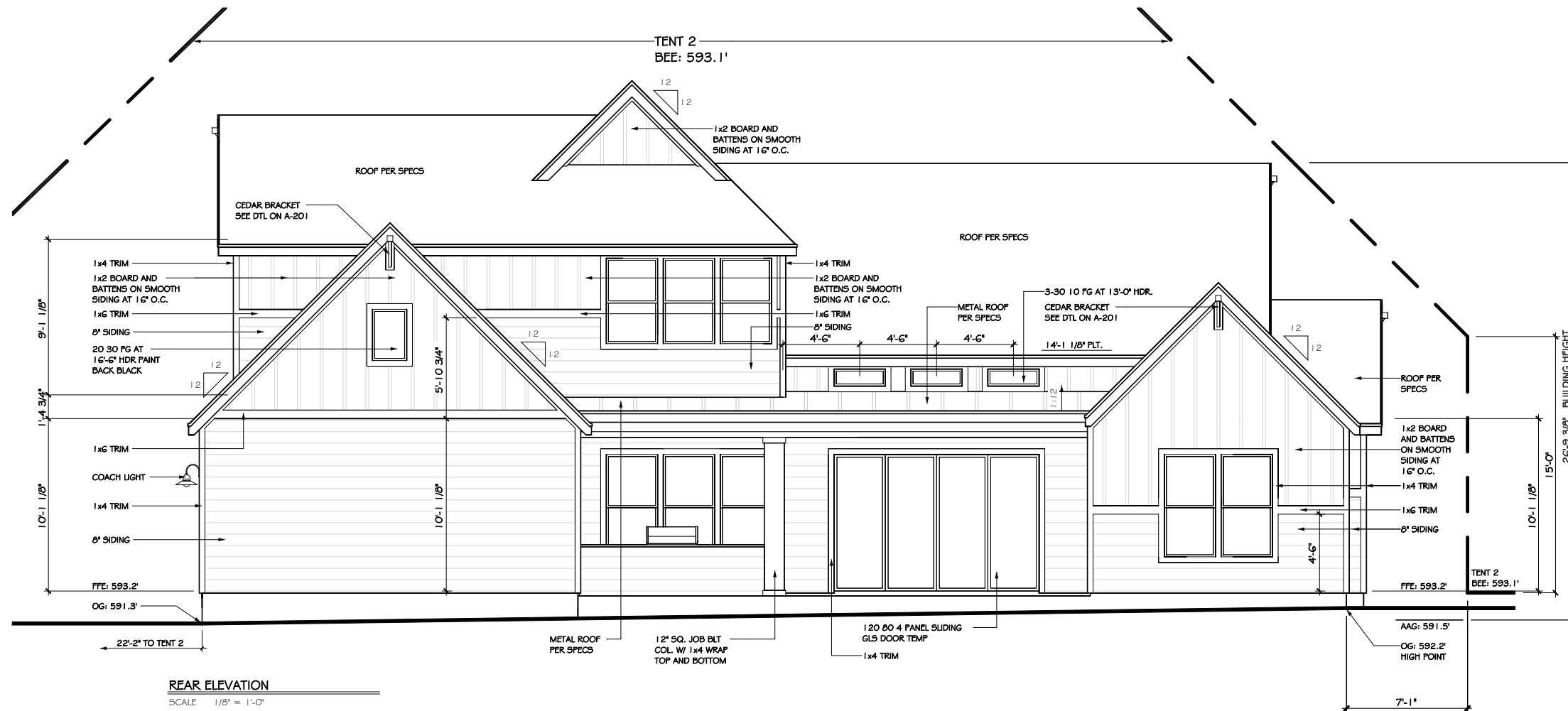
PLAN 2677 RS

RUSSELL SMITH  
VENTURE PARTNERS

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REAR ELEVATION

SCALE 1/8" = 1'-0"  
1ST FLOOR PLATE HGTS TO BE  
10'-1 1/8" PLT W/ 8'-0" WINDOW  
HEADER HGTS UNLESS NOTED OTHERWISE

2ND FLOOR PLATE HGTS TO BE  
9'-1 1/8" PLT W/ 8'-0" WINDOW  
HEADER HGTS UNLESS NOTED OTHERWISE

PROVIDE TEMPERED GLASS WHERE  
REQUIRED

BUILDER TO VERIFY CURRENT LOCAL  
CODES AND REQUIREMENTS OF 1 HOUR  
FIRE RATED OVERHANGS

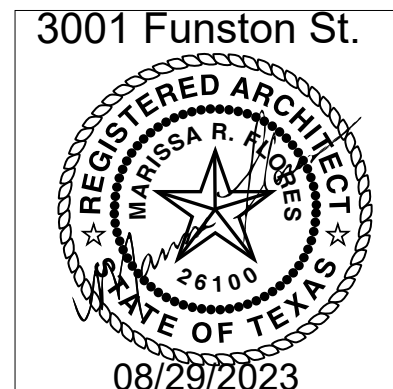
PROVIDE STEEL UNTELS ABOVE ALL  
OPENINGS W/ MASONRY, AS REQD

SEE FRAMING SHEETS FOR HEADER SIZES  
AND LOCATION

RESCHECK OR IECC COMPLIANCE  
PROVIDED BY OTHERS

ABBREVIATIONS

FFE:	FINISHED FLOOR ELEVATION
BEE:	BUILDING ENVELOPE ELEVATION
AAG:	AVERAGE ADJACENT GRADE
OGE:	ORIGINAL GRADE ELEVATION
FGE:	FINISHED GRADE ELEVATION



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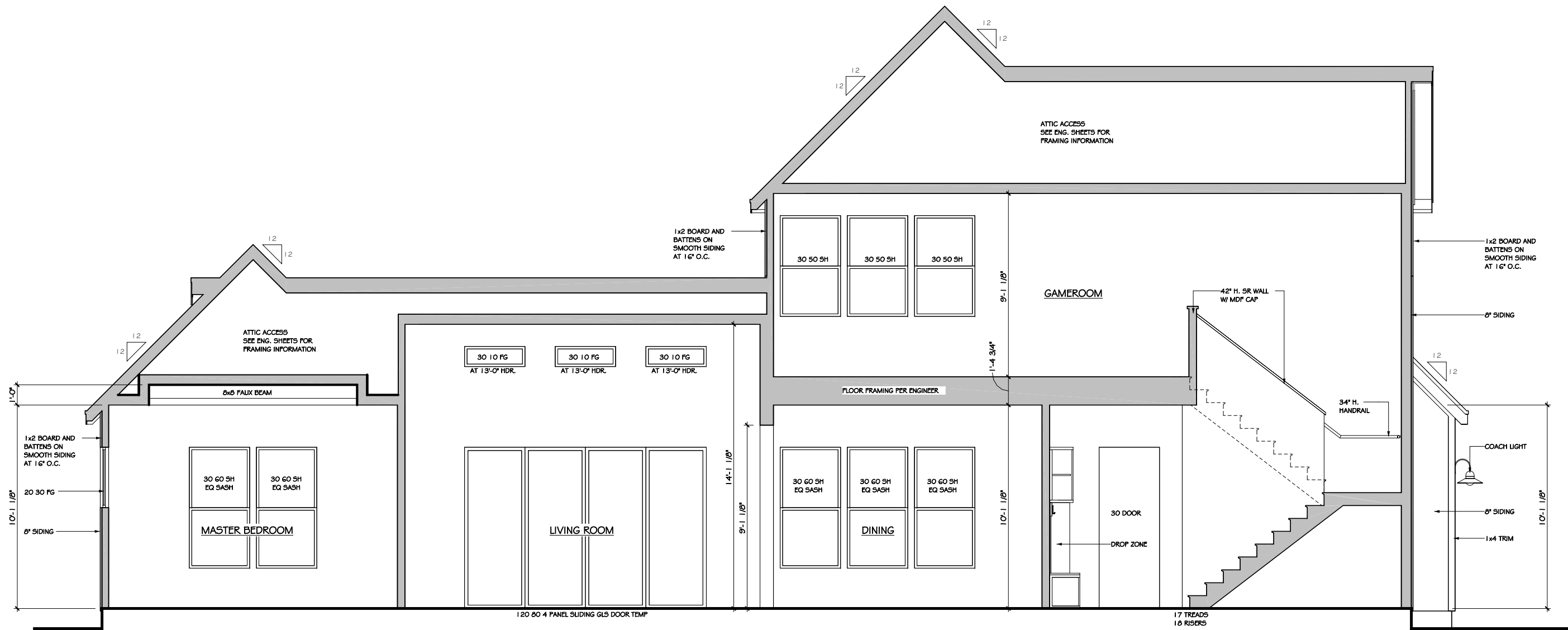
PLAN 2677 RS

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VENTURE PARTNERS

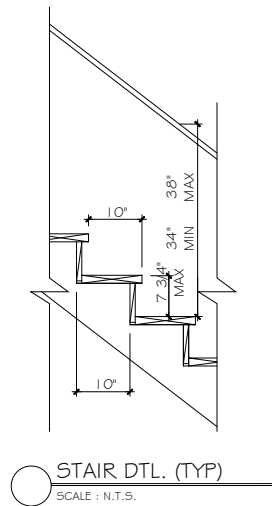
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CROSS SECTION  
SCALE 3/16" = 1'-0"



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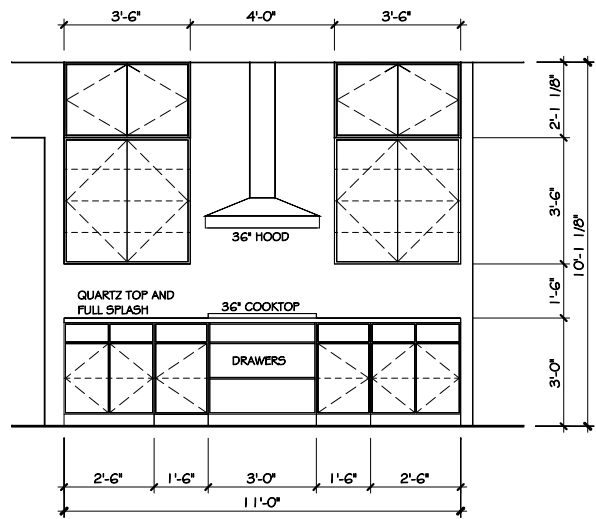
PLAN 2677 RS

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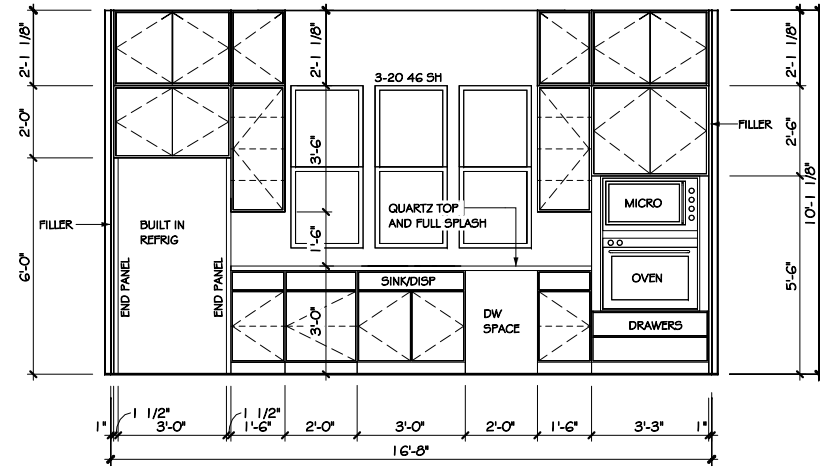
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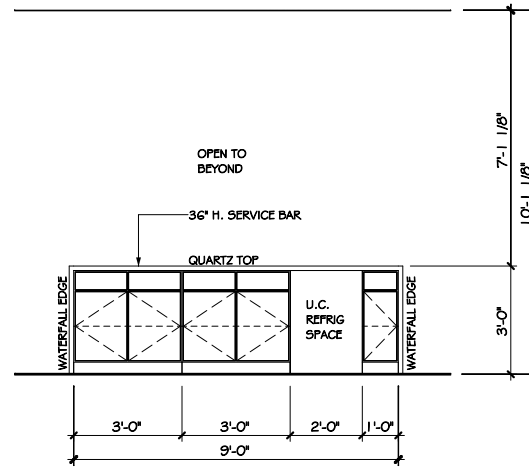
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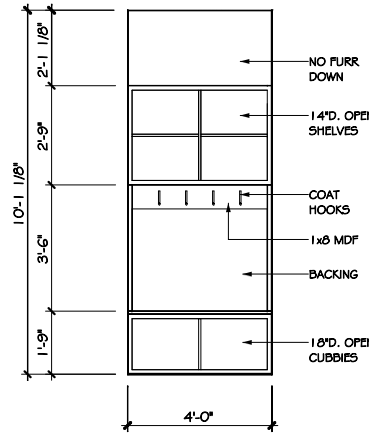
A KITCHEN



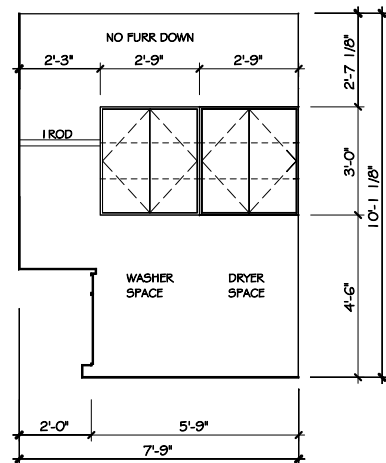
B



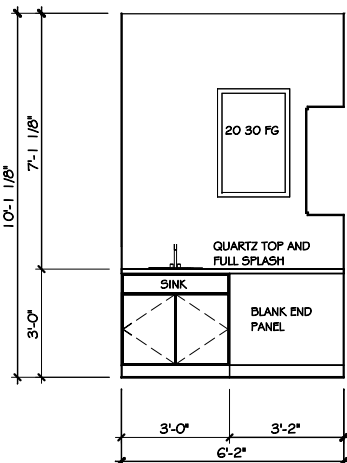
C ISLAND



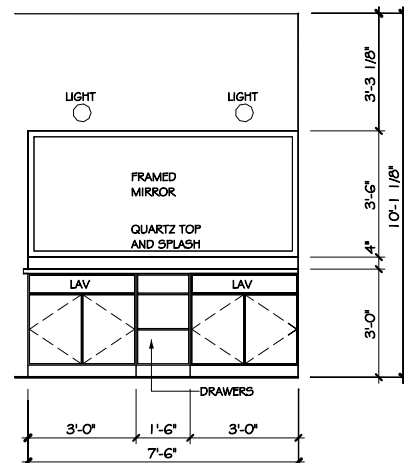
D DROP ZONE



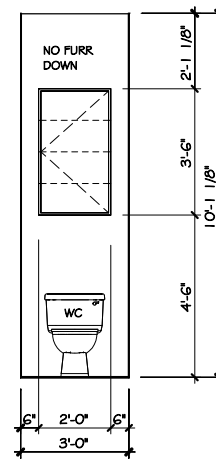
E UTILITY



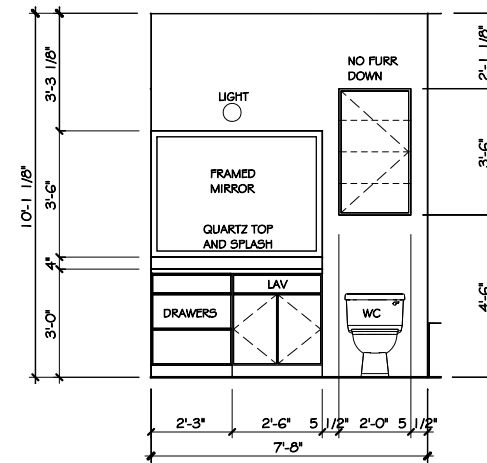
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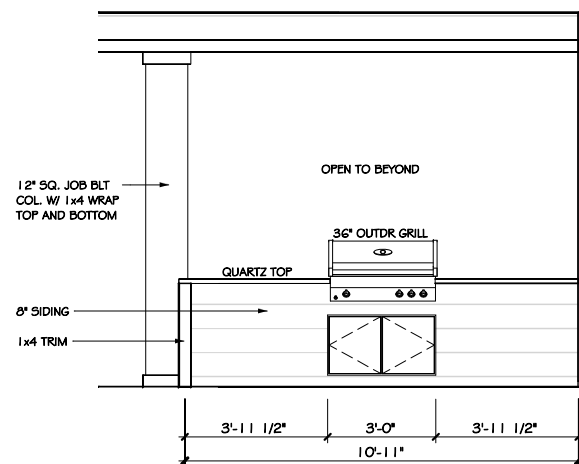
G MASTER BATH



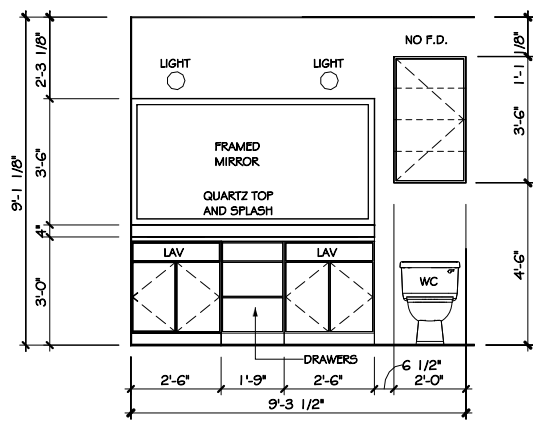
H LINEN



I BATH 2



J OUTDOOR KITCHEN



K BATH 3

CABINET ELEVATIONS  
SCALE: 3/16" = 1'-0"

8-16-23  
3001 FUNSTON ST.

3001 Funston St.



PLAN 2677 RS

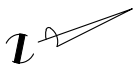
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VENTURE PARTNERS

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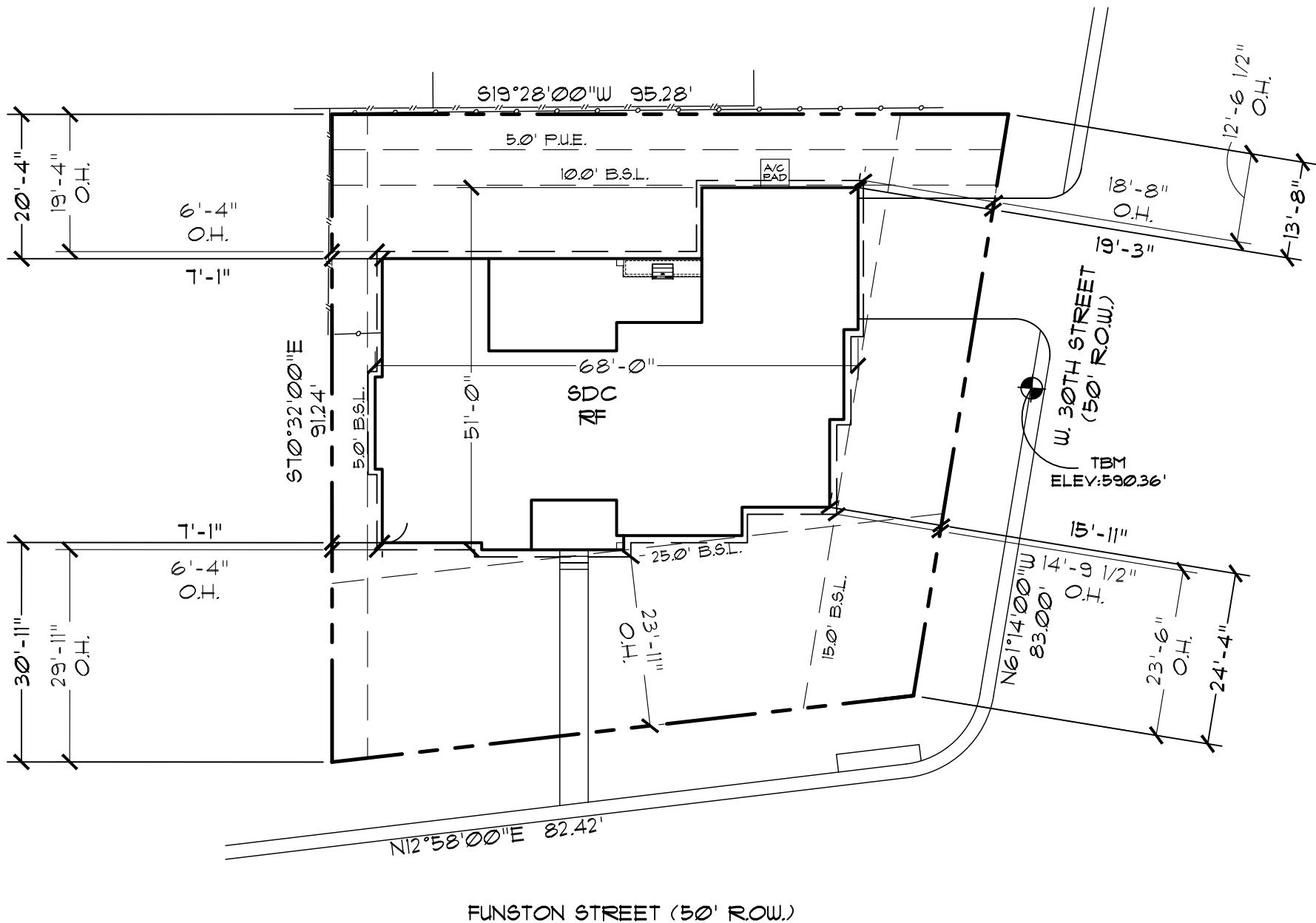
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A-401

SURVEYORS TO VERIFY ALL LOT DATA.



SCALE: 1" = 20'



BUILDING DIMESNIONS  
SHEET 1 OF 5  
3001 FUNSTON STREET

BUILDERS REPRESENTATIVE TO  
VERIFY ALL LOT DATA, LOCATION  
OF MANHOLES, STORM SEWERS,  
EASEMENTS, AND OTHER  
INFRASTRUCTURE LOCATED ON LOT.  
KIPP FLORES ARCHITECTS MAKES  
NO REPRESENTATION AS TO THE  
EXISTENCE OF MANHOLES, STORM  
SEWERS, EASEMENTS, AND OTHER  
INFRASTRUCTURE LOCATED ON LOT.

LOT AREA: 7636.77 SQ. FT.

SIDEWALKS PER CITY OR SUBD. REQ.



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09/11/23

ADDRESS

3001 FUNSTON STREET

LOT

40

BLK

G

CITY, STATE

AUSTIN, TX

SUBDIVISION

BRYKERWOODS SUBDIVISION

BUILDER

SDC

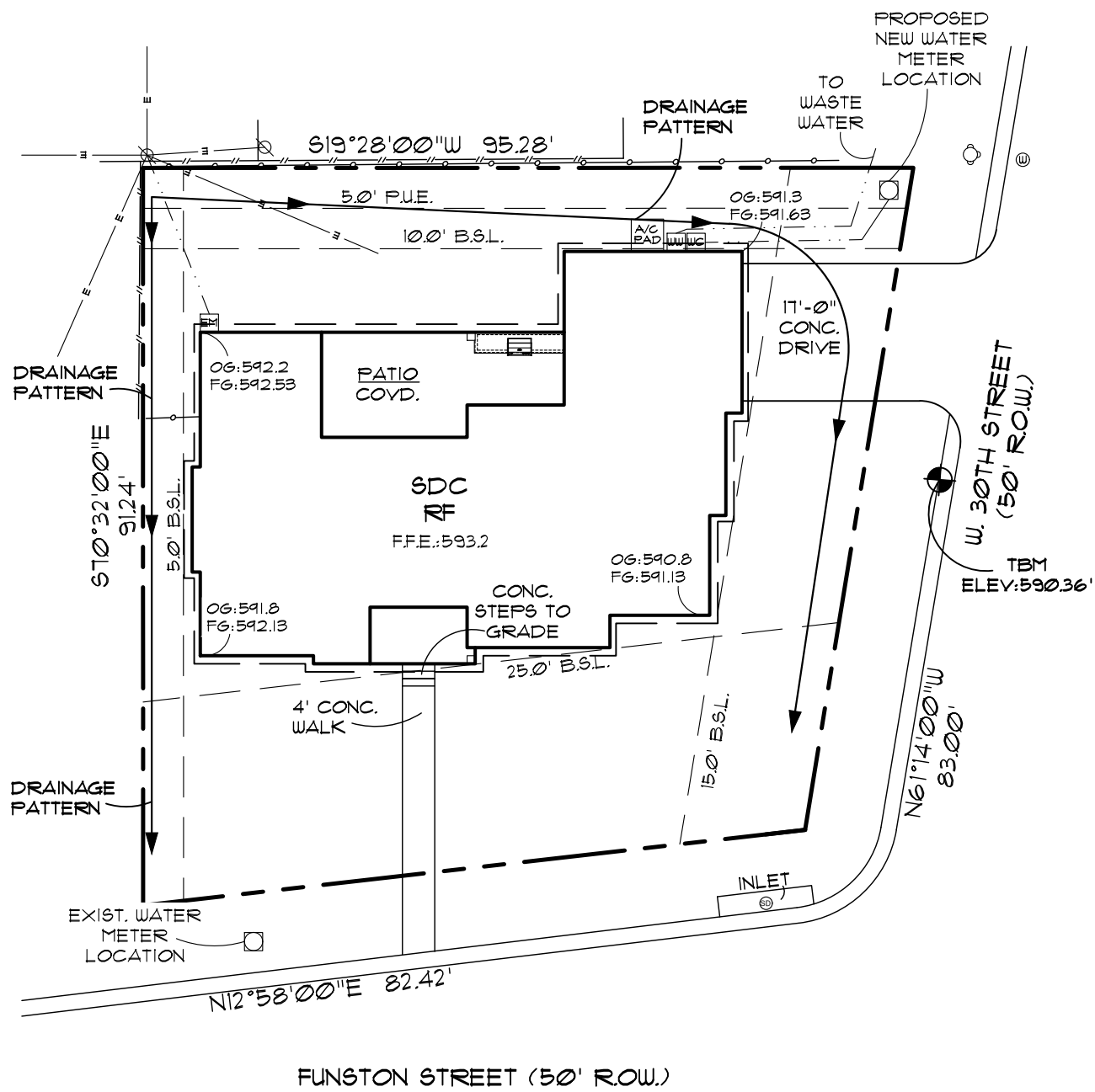
DATE

8/21/2023



SURVEYORS TO VERIFY ALL LOT DATA.

SCALE: 1" = 20'



SITE PLAN  
SHEET 2 OF 5  
3001 FUNSTON STREET

LOT AREA: 7636.77 SQ. FT.

SIDEWALKS PER CITY OR SUBD. REQ.

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**AUSTIN, TX**

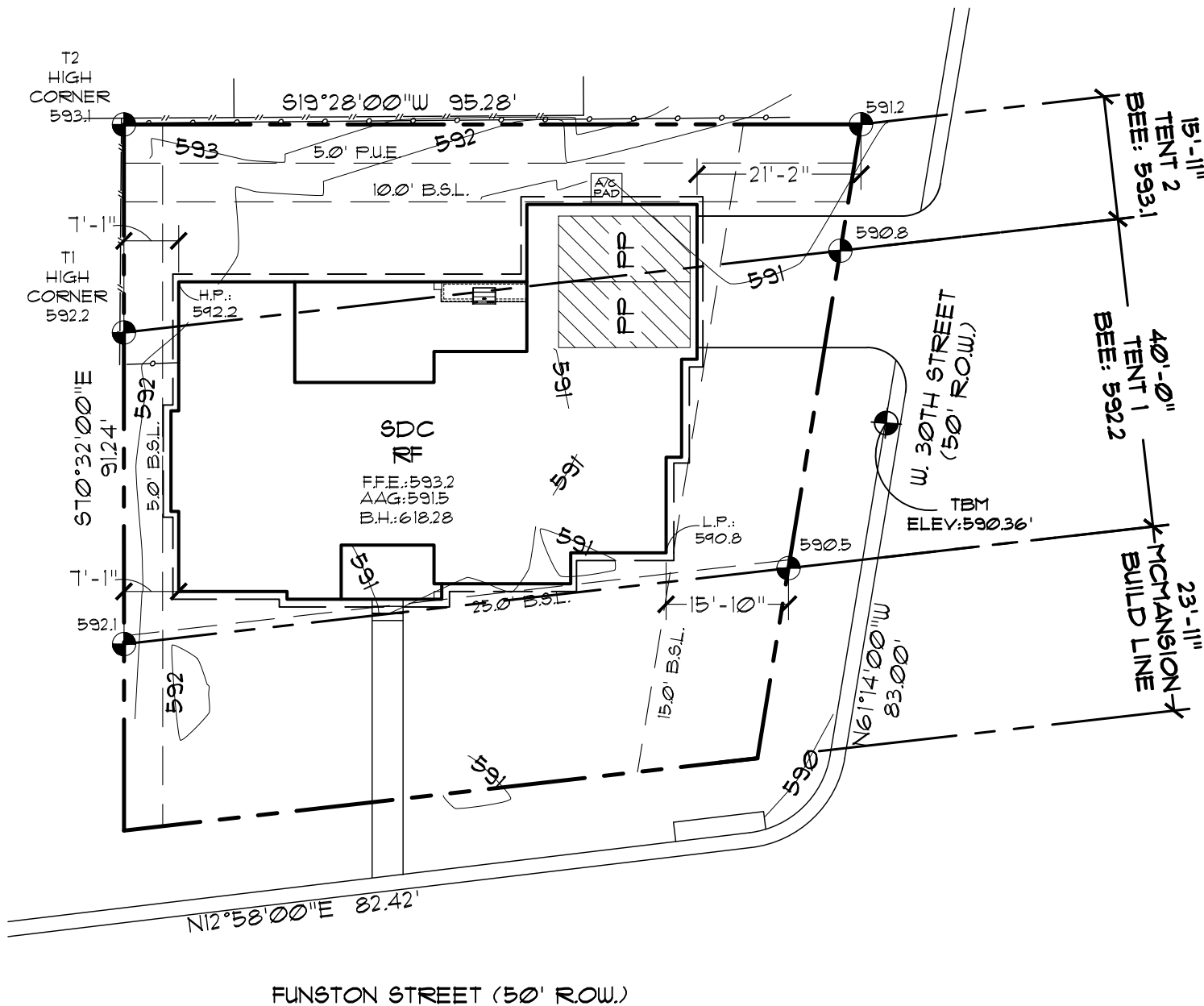
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**BRYKERWOODS SUBDIVISION**

BUILDER  
**SDC**

DATE  
**8/21/2023**

SURVEYORS TO VERIFY ALL LOT DATA.

SCALE: 1" = 20'



BUILDING ENVELOPE  
SHEET 3 OF 5  
3001 FUNSTON STREET

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SEWERS, EASEMENTS, AND OTHER  
INFRASTRUCTURE LOCATED ON LOT.

LOT AREA: 1636.11 SQ. FT.

SIDEWALKS PER CITY OR SUBD. REQ.



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BLK  
G

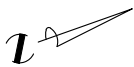
CITY, STATE  
AUSTIN, TX

SUBDIVISION  
BRYKERWOODS SUBDIVISION

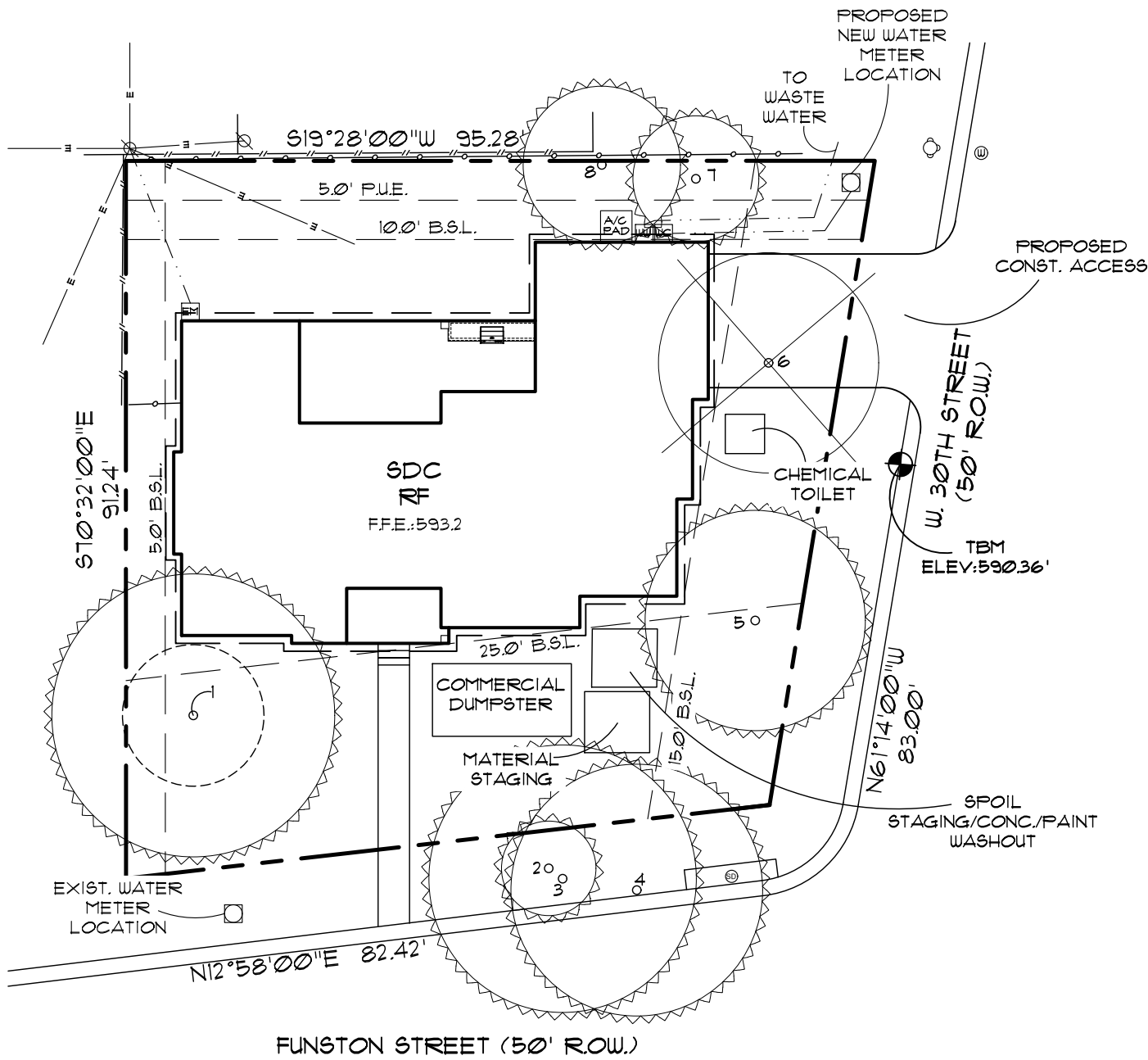
BUILDER  
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DATE  
8/21/2023

SURVEYORS TO VERIFY ALL LOT DATA.



SCALE: 1" = 20'

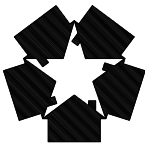


TREE EXHIBIT  
SHEET 4 OF 5  
3001 FUNSTON STREET

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KIPP FLORES ARCHITECTS MAKES  
NO REPRESENTATION AS TO THE  
EXISTENCE OF MANHOLES, STORM  
SEWERS, EASEMENTS, AND OTHER  
INFRASTRUCTURE LOCATED ON LOT.

LOT AREA: 7636.77 SQ. FT.

SIDEWALKS PER CITY OR SUBD. REQ.



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LOT

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BLK

G

CITY, STATE

AUSTIN, TX

SUBDIVISION

BRYKERWOODS SUBDIVISION

BUILDER

SDC

DATE

8/21/2023

SURVEYORS TO VERIFY ALL LOT DATA.



SCALE: 1" = 20'

ABBREVIATION TABLE	
FFE	FINISHED FLOOR ELEVATION
RE	RIDGE ELEVATION
OG	ORIGINAL GRADE
FG	FINISHED GRADE
BSL	BUILDING SETBACK LINE
HP	HIGH POINT
LP	LOW POINT
CONC	CONCRETE
COVD	COVERED
OH	OVERHANG
PUTL	PROPOSED UTILITY TRENCH LINES
CRZ	CRITICAL ROOT ZONE

Impervious Chart:	Sqft.
1ST FLOOR:	1869
GARAGE:	485
PORCH:	86
COVERED PATIO:	342
CONC. STEPS:	11
DRIVE:	304
SIDEWALK:	104
A/C PADS:	16
TOTAL:	3217
IMPER. COVER:	42.12%

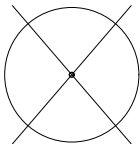
LEGEND

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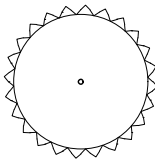
WOOD FENCE
- o-----o-----o-----

CHAINLINK FENCE
- E-----

ELECTRIC LINE
- UTILITY TRENCH LINE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- UTILITY POLE
- PROP. WASTEWATER CONNECTION TO HOUSE
- PROP. WATER CONNECTION TO HOUSE
- PROP. ELEC. CONNECTION TO HOUSE
- : STORM SEWER MH

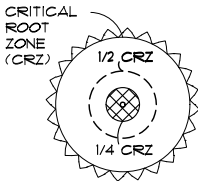


: TREES TO BE REMOVED



: EXISTING TREES  
W/ TREE PROTECTION

TREE DIAGRAM



TREE TABLE		
TAG #:	SIZE	SPECIES
1	18"	OAK
2	6"	HACKBERRY
3	17"	HACKBERRY
4	16"	HACKBERRY
5	14"	OAK
6	14"	OAK
7	8"	HACKBERRY
8	10"	HACKBERRY

TREE PROTECTION NOTES:

-TREE PROTECTION FENCING IS REQUIRED FOR TREES WITHIN THE LIMITS OF CONSTRUCTION. FENCING SHOULD PROTECT THE ENTIRE CRITICAL ROOT ZONE (CRZ) AREA. FENCING IS REQUIRED TO BE CHAIN-LINK MESH AT A MINIMUM HEIGHT OF FIVE FEET. A 8-INCH LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRITICAL ROOT ZONE.

-ALL FENCES LOCATED WITHIN THE HALF CRZ ARE TO BE ABOVE GROUND ONLY.

-FOUNDATION FORM FRAMING IS NOT PERMITTED WITHIN THE HALF CRZ OF ANY SITE PROTECTED TREE.

-DRIVEWAY TURNOUTS COMPLY WITH COA 5' REQUIREMENTS.

-BUILDER TO VERIFY ALL UTILITY LOCATIONS. UTILITY TRENCH LINES NOT TO ENCROACH HALF CRZ OF ANY TREE.

-FOUNDATION EXCAVATION WILL NOT EXTEND BEYOND FOOTPRINT OF HOUSE UNLESS OTHERWISE NOTED BY ENGINEER.

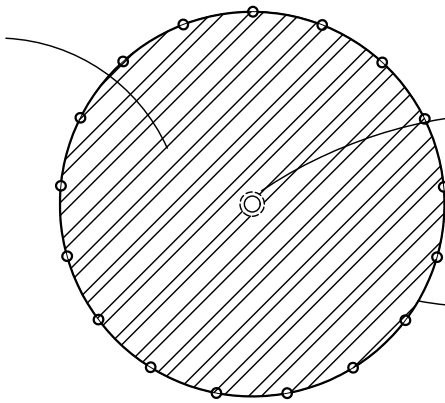
-ANY DEMOLITION IN THE 1/4 AND 1/2 CRZ OF PROTECTED TREES MUST BE DONE WITH HAND TOOLS.

-IF USING A CONCRETE LINE PUMP TO POUR THE NEW FOUNDATION, PLEASE WRAP CONNECTIONS OF CONCRETE LINE PUMP WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND NEAR ROOTS OF TREES.

-IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 3/4" PLYWOOD OVER 2X4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.

PROTECTED TREES DETAIL  
(SEE TREE PROTECTION NOTES FOR MORE  
DEFINED INSTRUCTIONS)

8" DEEP MULCH  
LAYER WITHIN THE  
ENTIRE AVAILABLE  
ROOT ZONE AREA.



6' TALL  
2X4  
PLANKS  
STRAPPED  
TO TRUNKS  
AND ROOT  
FLARES

5' TALL CHAIN  
LINK MESH  
TREE  
PROTECTION  
FENCING

DETAIL NOTES  
SHEET 5 OF 5

300I FUNSTON STREET

BUILDERS REPRESENTATIVE TO  
VERIFY ALL LOT DATA, LOCATION  
OF MANHOLES, STORM SEWERS,  
EASEMENTS, AND OTHER  
INFRASTRUCTURE LOCATED ON LOT.  
KIPP FLORES ARCHITECTS MAKES  
NO REPRESENTATION AS TO THE  
EXISTENCE OF MANHOLES, STORM  
SEWERS, EASEMENTS, AND OTHER  
INFRASTRUCTURE LOCATED ON LOT.

LOT AREA: 7636.77 SQ. FT.

SIDEWALKS PER CITY OR SUBD. REQ.



**KIPP FLORES**  
ARCHITECTS  
(512) 335-5477 fax (512) 335-5852  
11776 Jollyville Rd. Suite 100  
Austin, Texas 78759



09/11/23

ADDRESS

300I FUNSTON STREET

LOT

40

BLK

G

CITY, STATE

AUSTIN, TX

SUBDIVISION

BRYKERWOODS SUBDIVISION

BUILDER

SDC

DATE

8/21/2023