VICINITY MAP

N.T.S

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, ORDINANCES AND STANDARDS HAVING JURISDICTION. IF THERE ARE ANY QUESTIONS OR CONFLICTS CONCERNING COMPLIANCE WITH SUCH CODES, ORDINANCES, OR STANDARDS, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION. ALL NECESSARY PERMITS, LICENSES, CERTIFICATES, TESTS, ETC. SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR (OR OWNER IF HE DESIGNATES). REFER TO SPECIFICATION "GENERAL CONDITIONS" SECTION FOR CLARIFICATION ON FEE RESPONSIBILITIES.

2. CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE WORK IS BUILDABLE AS SHOWN AND MEETS ALL APPLICABLE CODES BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.

3. THE CONTRACTOR SHALL CERTIFY SIZE AND LOCATION OF ALL REQUIRED OPENINGS FOR STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING WORK AND EQUIPMENT WITH TRADES INVOLVED.

4. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING EXISTING CONDITIONS AT THE JOB SITE BEFORE SUBMITTING PROPOSALS. SUBMISSION OF PROPOSALS SHALL BE TAKEN AS EVIDENCE THAT SUCH INSPECTIONS HAVE BEEN MADE. CLAIMS FOR EXTRA COMPENSATION FOR WORK THAT COULD HAVE BEEN FORESEEN BY SUCH INSPECTION, WHETHER SHOWN ON CONTRACT DOCUMENTS OR NOT, SHALL NOT BE ACCEPTED OR PAID.

5. ALL MATERIALS FURNISHED UNDER THIS CONTRACT SHALL BE NEW UNLESS OTHERWISE NOTED. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF (1) YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION OR ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL REPAIR OR REPLACE, AT HIS OWN EXPENSE WHEN ORDERED TO DO SO, ALL WORK THAT MAY DEVELOP DEFECTS IN MATERIAL OR WORKMANSHIP WITHIN SAID PERIOD TIME.

6. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED RECOMMENDATIONS FOR SERVICE INTENDED. THE INSTALLATION OF ALL EQUIPMENT SHALL BE MADE BY EXPERIENCED CRAFTSMEN IN A NEAT, WORKMANLIKE MANNER. ALL MATERIALS, TOOLS, COSTS, AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHALL BE PROVIDED BY THE CONTRACTOR.

7. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS, AND GOOD CONSTRUCTION PRACTICES. CONTRACTOR SHALL TAKE PROPER PRECAUTIONS TO PROTECT ALL EXISTING OPERATIONS AND PROPERTY ADJACENT, WITH WHICH WORK COMES IN CONTACT, OR OVER OR UNDER WHICH HE MAY TRANSPORT, HOIST, OR MOVE MATERIALS, EQUIPMENT, DEBRIS, ETC., AND SHALL REPAIR SATISFACTORILY ALL DAMAGES CAUSED BY HIM DURING CONSTRUCTION.

8. THE CONTRACTOR SHALL VERIFY AND COORDINATE SIZES, LOCATIONS AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE FURNISHED BY THE OWNER, OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE ANY CONSTRUCTION IS BEGUN.

9. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT CONFIRMATIONS OF ORDERS, INCLUDING DELIVERY DATES, FOR ALL MATERIALS AND EQUIPMENT WHOSE TIMELY DELIVERY IS REQUIRED TO AVOID CHANGES IN THE CONSTRUCTION DOCUMENTS OR IN THE CONSTRUCTION SCHEDULE.

## DRAWING PERMIT LIST


A0 GENERAL NOTES / SITE
A0.0 GENERAL NOTES
A0.1 SITE PLAN
A0.2 CRZ AND STAGING AREA

CONSTRUCTION PLAN BLDG 01
CH A1.0 DEMO AND ROOF PLAN BLDG 01
CH A1.1 FLOOR PLAN BLDG 01
CH A1.2 FLOOR PLAN BLDG 01
CH A2.0 EXTERIOR ELEVATIONS BLDG 01
CH A2.1 EXTERIOR ELEVATIONS BLDG 01
CH A7.0 WINDOW SCHEDULES BLDG 01
CH A7.1 DOORS SCHEDULES BLDG 01

CONSTRUCTION PLAN BLDG 02
PH A1.0 DEMO AND ROOF PLAN BLDG 02
PH A1.1 FLOOR PLAN BLDG 02
PH A2.0 EXTERIOR ELEVATIONS BLDG 02
PH A2.1 EXTERIOR ELEVATIONS BLDG 02
PH A7.0 WINDOW SCHEDULES BLDG 02
PH A7.1 DOORS SCHEDULES BLDG 02


10. THE CONTRACTOR MUST SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OR ASSEMBLY, FOR PERFORMING THE WORK IN A SAFE MANNER, AND FOR ADHERING TO ALL APPLICABLE CODES AND STANDARDS.

11. LOCATION OF ALL CEILING MOUNTED ITEMS ON THE ARCHITECTURAL DRAWINGS HAVE PRECEDENCE OVER MEP DRAWINGS. ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS PRIOR TO CONSTRUCTION.

12. IT IS THE INTENT AND MEANING OF THE CONTRACT DOCUMENTS THAT THE CONTRACTOR SHALL PROVIDE A MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLATION THAT IS COMPLETE. ALL ITEMS AND APPURTENANCES NECESSARY, REASONABLY INCIDENTAL, OR CUSTOMARILY INCLUDED, EVEN THOUGH EACH ITEM IS NOT SPECIFICALLY CALLED OUT OR SHOWN IN THE CONSTRUCTION DOCUMENTS SHALL BE PROVIDED.

13. ALL MEP RELATED ITEMS SHOULD BE REVIEWED BY THE ENGINEER IF APPLICABLE AND MAY BE ADJUSTED PENDING NOTICE TO AND APPROVAL OF THE ARCHITECT.

14. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE. DO NOT SCALE DIMENSIONS. IF NO DIMENSION IS LISTED, CONTACT ARCHITECT FOR CLARIFICATION.

15. ALL WORK NOTED "N.J.C." OR "NOT IN THE CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT.

16. "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.

17. "TYPICAL" OR "TYP." AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.

18. "SIMILAR" OR "SIM." AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SIMILAR TO A CONDITION DETAILED FOR ANOTHER LOCATION.

19. THE CONTRACTOR SHALL PROVIDE UPDATED RECORD DOCUMENTS OF AS-BUILT CONDITIONS ON-SITE WHEN DIFFERENT FROM CONSTRUCTION DOCUMENTS AND SHALL PROVIDE SAID DOCUMENTATION TO ARCHITECT UPON COMPLETION OF CONSTRUCTION.

20. THIS COVER SHEET IS A MASTER INDEX. NOT ALL SYMBOLS/ITEMS WILL BE INCLUDED IN DRAWINGS.

21. DO NOT DISASSEMBLE THIS SET OR DISTRIBUTE PARTIAL SETS TO SUBCONTRACTORS. COVER SHEET CONTAINS DATA PERTINENT TO ALL SHEETS.

PROJECT DATA
PROJECT ADDRESS:
1711 NEWTON STREET
AUSTIN, TX 78704

ZONED: SF-3
LEGAL DESCRIPTION: LOT 7 BLK 28 SWSHER ADDN
LOT AREA (sq ft): 6,961.59

AREA TABULATIONS

**GROSS FLOOR AREAS**

| | EXISTING | NEW | APPLIED EXEMPTION | TOTAL |
|---|---|---|---|---|
| 1ST FLOOR | 2,380.48 | 245.50 | 0 SF | 2,625.98 SF |
| BASEMENT | 746.12 | 0 | 746.12 SF | 0 SF |
| SUBTOTAL* | | | | **2,625.98 SF** |

**F.A.R = (TOTAL GROSS FLOOR AREA / LOT AREA) x 100**
= (2,625.98 SF /6,961.59) x 100
= 37.7

COVERAGE CALCULATIONS

| | |
|---|---|
| **EXISTING LOT AREA** | 6,961.59 SF |

BUILDING COVERAGE

| | |
|---|---|
| ALLOWABLE BUILDING COVERAGE @ 40% | 2,784.6 SF |
| TOTAL BUILDING COVERAGE ON LOT | 2,745.98 SF |
| PERCENTAGE IMPERVIOUS COVERAGE | 39.40 % |

IMPERVIOUS COVERAGE

| | |
|---|---|
| ALLOWABLE IMPERVIOUS COVERAGE @ 45% | 3,132.70 SF |
| TOTAL IMPERVIOUS COVERAGE ON LOT | 3,069.98 SF |
| PERCENTAGE IMPERVIOUS COVERAGE | 44.10 % |

PARKING

| | |
|---|---|
| SPACES PROVIDED | 2 |

**SUBMITTAL INFORMATION**

GENERAL NOTE: THE FOLLOWING IS A LIST OF REQUIREMENTS THAT DIG: A EXPECTS FROM THE CONTRACTOR ON THIS JOB. REFERENCE BOOK OF SPECIFICATIONS FOR FURTHER DETAIL REGARDING GENERAL CONDITIONS. THIS IS WORKING DOCUMENT THAT IS MEANT TO BE DISCUSSED AND FINALIZED WITH THE CONTRACTOR PRIOR TO THE ASSIGNMENT OF THE CONSTRUCTION CONTRACT.

CONSTRUCTION SCHEDULE: A COMPREHENSIVE, FULLY DEVELOPED, HORIZONTAL BAR-CHART-TYPE, CONTRACTOR'S CRITICAL PATH CONSTRUCTION SCHEDULE.

1. SUBMIT THE SCHEDULE WITHIN 7 DAYS AFTER SIGNING THE CONTRACT.
2. PROVIDE A SEPARATE TIME BAR FOR EACH SIGNIFICANT CONSTRUCTION ACTIVITY AS INDICATED IN THE SCHEDULE OF VALUES. PROVIDE A CONTINUOUS VERTICAL LINE TO IDENTIFY THE FIRST WORKING DAY OF EACH WEEK.
3. WITHIN EACH TIME BAR, INDICATE ESTIMATED COMPLETION PERCENTAGE IN 10 PERCENT INCREMENTS. AS WORK PROGRESSES, PLACE A CONTRASTING MARK IN EACH BAR TO INDICATE ACTUAL COMPLETION PERCENTAGE.
4. PREPARE THE SCHEDULE ON A SHEET, OR SERIES OF SHEETS OF SUFFICIENT WIDTH TO SHOW DATA FOR THE ENTIRE CONSTRUCTION PERIOD.
5. COORDINATE THE CONTRACTOR'S CONSTRUCTION SCHEDULE WITH THE SCHEDULE OF VALUES, LIST OF SUBCONTRACTS, SUBMITTALS, PROGRESS REPORTS, PAYMENT REQUESTS, AND REPORTS.
6. INDICATE COMPLETION IN ADVANCE OF THE DATE ESTABLISHED FOR SUBSTANTIAL COMPLETION. INDICATE SUBSTANTIAL COMPLETION ON THE SCHEDULE TO ALLOW TIME FOR THE ARCHITECT'S ADMINISTRATIVE PROCEDURES NECESSARY FOR CERTIFICATION OF SUBSTANTIAL COMPLETION.

SCHEDULE OF VALUES: PROVIDE AT LEAST ONE LINE ITEM FOR EACH MAJOR COMPONENT OF CONSTRUCTION AS IDENTIFIED IN THE CONSTRUCTION SCHEDULE.

1.PROVIDE A SEPARATE LINE ITEM IN THE SCHEDULE OF VALUES FOR EACH PART OF THE WORK WHERE APPLICATIONS FOR PAYMENT MAY INCLUDE MATERIALS OR EQUIPMENT PURCHASED OR FABRICATED AND STORED, BUT NOT YET INSTALLED.
2. INCLUDE TOTAL COST AND PROPORTIONATE SHARE OF GENERAL OVERHEAD AND PROFIT FOR EACH ITEM.

TEMPORARY FACILITIES AND OTHER MAJOR COST ITEMS THAT ARE NOT DIRECT COST OF ACTUAL WORK-IN-PLACE MAY BE SHOWN EITHER AS SEPARATE LINE ITEMS IN THE SCHEDULE OF VALUES OR DISTRIBUTED AS GENERAL OVERHEAD EXPENSE, AT CONTRACTOR'S OPTION.

3. INCLUDE THE FOLLOWING PROJECT IDENTIFICATION ON THE SCHEDULE OF VALUES:

a. PROJECT NAME AND LOCATION.
b. NAME OF OWNER.
c. CONTRACTOR'S NAME AND ADDRESS.
d. DATE OF SUBMITTAL.

4. UPDATE AND RESUBMIT THE SCHEDULE OF VALUES BEFORE THE NEXT APPLICATIONS FOR PAYMENT WHEN CHANGE ORDERS OR CONSTRUCTION CHANGE DIRECTIVES RESULT IN A CHANGE IN THE CONTRACT SUM.
5. ARRANGE THE SCHEDULE OF VALUES IN TABULAR FORM WITH SEPARATE COLUMNS TO INDICATE THE FOLLOWING FOR EACH ITEM LISTED:

a. RELATED SPECIFICATION SECTION OR DIVISION, IF APPLICABLE.
b. DESCRIPTION OF THE WORK.
c. NAME OF SUBCONTRACTOR.
d. NAME OF MANUFACTURER OR FABRICATOR.
e. NAME OF SUPPLIER.
f. CHANGE ORDERS (NUMBERS) THAT AFFECT VALUE.
g. DOLLAR VALUE (ROUND AMOUNTS TO NEAREST WHOLE DOLLAR); TOTAL OF ALL ITEMS SHALL EQUAL THE CONTRACT SUM.
h. PERCENTAGE OF THE CONTRACT SUM TO NEAREST ONE-HUNDREDTH PERCENT; TOTAL OF ALL ITEMS SHALL EQUAL 100%.

6. SUBMIT THE SCHEDULE OF VALUES TO THE ARCHITECT AT EARLIEST POSSIBLE DATE BUT NO LATER THAN FOURTEEN DAYS BEFORE THE DATE SCHEDULED FOR SUBMITTAL OF INITIAL APPLICATIONS FOR PAYMENT.

LIST OF SUBCONTRACTS: PROVIDE A COMPLETE LIST OF ALL SUBCONTRACTS ASSOCIATED WITH THE JOB, INCLUDING THE WORK INVOLVED WITH SAID SUBCONTRACT, AND THE SUBCONTRACTORS: NAME, PRIMARY CONTACT, ADDRESS, TELEPHONE, AND FAX.

SUBMITTAL SCHEDULE AND SUBMITTALS/SHOP DRAWINGS/SAMPLES: ONCE THE CONSTRUCTION SCHEDULE IS APPROVED, THE CONTRACTOR SHALL PROVIDE A LIST OF ALL SUBMITTALS/SHOP DRAWINGS/SAMPLES THEY INTEND TO SUBMIT FOR THE JOB AND THEIR ASSOCIATED SUBMITTAL DATES. IN ADDITION, THE CONTRACTOR SHALL IDENTIFY ALL OWNER SUPPLIED SUBMITTALS (FF&E) THAT WILL BE REQUIRED AND THE DEADLINE FOR THESE SUBMITTALS.

1. COORDINATE THE SUBMITTAL DATES WITH THE CONSTRUCTION SCHEDULE AND ALLOW ENOUGH TIME FOR A (2) WEEK REVIEW PERIOD AND THE NEED FOR RESUBMITTING IF NOT INITIALLY ACCEPTED.
2. COLLECT INFORMATION INTO A SINGLE SUBMITTAL FOR EACH ELEMENT OF CONSTRUCTION AND TYPE OF PRODUCT OR EQUIPMENT INCLUDING BUT NOT LIMITED TO RODFING, WATERPROOFING, DOORS AND DOOR HARDWARE, WINDOW SYSTEMS, FINISHES (INTERIOR AND EXTERIOR), MILLWORK, TOILET PARTITIONS, WINDOW TREATMENTS, ALL MECHANICAL EQUIPMENT AND AIR DEVICES, ALL LIGHT FIXTURES AND CONTROL DEVICES, ALL PLUMBING FIXTURES. PROVIDE (5) COPIES OF EACH SUBMITTAL, OR (1) DIGITAL COPY, INCLUDING THE FOLLOWING INFORMATION WITH EACH SUBMITTAL (AS APPLICABLE):

a. DATE OF SUBMITTAL
b. MANUFACTURER'S WRITTEN RECOMMENDATIONS
c. MANUFACTURER'S PRODUCT SPECIFICATIONS.
d. MANUFACTURER'S INSTALLATION INSTRUCTION.
e. STANDARD COLOR/FINISH CHARTS.
f. MANUFACTURER'S CATALOG CUT SHEETS.
g. STANDARD OPERATING AND MAINTENANCE MANUALS.
h. COMPLIANCE WITH RECOGNIZED TRADE ASSOCIATION STANDARDS.
i. COMPLIANCE WITH RECOGNIZED TESTING AGENCY STANDARDS.
j. WARRANTY INFORMATION

3. PREPARE PROJECT-SPECIFIC SHOP-DRAWINGS SHOWING ALL RELEVANT INFORMATION, DRAWN ACCURATELY TO SCALE WITH FIELD-VERIFIED DIMENSIONS. SHOP-DRAWINGS SHALL BE PRODUCED FOR ALL COMPONENTS OF THE WORK REQUIRING ASSEMBLY INCLUDED, BUT NOT LIMITED TO METAL FABRICATIONS (STRUCTURAL STEEL, STAIRS, GUARDRAILS, HANDRAILS, GATES, AWNINGS, ETC.), WOOD FABRICATIONS (MILLWORK, WOOD PANELING, FIXED SEATING, SCREEN WALLS, ETC.), ELEVATORS OR PLATFORM LIFTS, ETC.

a. DO NOT BASE SHOP DRAWINGS ON REPRODUCTIONS OF THE CONTRACT DOCUMENTS.
b. VERIFY ALL DIMENSIONS IN FIELD.
c. SUBMIT 5 COPIES ON SHEETS BETWEEN 8-1/2" X 11" AND 24" X 36", EXCEPT FOR FULL-SIZE TEMPLATES, PATTERNS, OR OTHER SIMILAR DRAWINGS.

4. IN ADDITION TO THE SUBMITTALS AND SHOP DRAWINGS DESCRIBED ABOVE, THE CONTRACTOR SHALL PROVIDE SAMPLES/MOCK-UPS OF THE FOLLOWING:

a. WINDOW SYSTEM, INCLUDING GLAZING.
b. SUSPENDED CEILING SYSTEMS.
c. MILLWORK, SHOWING A TYPICAL CORNER AND CABINET FACE.
d. ALL FINISHES: GWB WITH TEXTURE, TILES (WITH GROUT CHOICES), WALL PANELING WITH ASSOCIATED FINISHES, COUNTERTOPS INCLUDING EDGE CONDITION, WALLPAPER, PAINT COLORS, FLOOR STAINS/SEALERS, CARPET, ETC.
e. MASONRY UNIT WALLS, SHOWING PATTERN.
f. FIXED SEATING
g. SCREEN WALLS, SHOWING ALL JOINTS AND METHOD OF ATTACHMENT.

5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW EACH SUBMITTAL BEFORE GIVING IT TO DIG: A. IF A SUBMITTAL IS NOT STAMPED OR OTHERWISE INDICATED AS REVIEWED BY THE CONTRACTOR, DIG: A WILL RETURN IT TO THE CONTRACTOR WITHOUT REVIEWING IT.
6. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR INSTALLED WORK THAT DOES NOT MEET CODE. IT IS NOT THE RESPONSIBILITY OF THE OWNER OR ANY OF THEIR CONSULTANTS, INCLUDING DIG: A TO VERIFY THAT INSTALLED WORK MEETS ALL APPLICABLE CODES.

PROGRESS REPORTS

ON A MONTHLY BASIS, THE CONTRACTOR SHALL PREPARE A PROGRESS REPORT FOR THE OWNER THAT SHALL CONTAIN THE INFORMATION DESCRIBED BELOW.

1. DATE OF PROGRESS REPORT.
2. ANY OUTSTANDING ITEMS FROM THE PREVIOUS PROGRESS REPORT.
3. THE STATUS OF ALL WORK, IN ACCORDANCE WITH THE SCHEDULE OF VALUES, ASSOCIATED WITH THE JOB, INCLUDING ITEMS TO COMMENCE PRIOR TO THE NEXT PROGRESS REPORT.
4. ALL ISSUES WITH THE WORK AS PLANNED.
5. ALL OUTSTANDING DECISIONS/ACTION ITEMS/SUBMITTALS FROM THE CONTRACTOR AND ITS SUBCONTRACTORS.
6. ALL OUTSTANDING DECISIONS/ACTION ITEMS FROM THE OWNER.
7. ALL OUTSTANDING DECISIONS/SUBMITTAL REVIEWS/ACTION ITEMS FROM DIG: A.
8. ANY CHANGES TO THE CONSTRUCTION SCHEDULE, INCLUDING IDEAS TO MAKE-UP TIME (IF NEEDED) AND MAINTAIN THE CONSTRUCTION SCHEDULE.

PAYMENT REQUESTS: EACH APPLICATION FOR PAYMENT SHALL BE CONSISTENT WITH PREVIOUS APPLICATIONS AND PAYMENTS AS CERTIFIED BY ARCHITECT AND PAID FOR BY OWNER. INITIAL APPLICATION FOR PAYMENT, APPLICATION FOR PAYMENT AT TIME OF SUBSTANTIAL COMPLETION, AND FINAL APPLICATION FOR PAYMENT INVOLVE ADDITIONAL REQUIREMENTS.

1. THE DATE FOR EACH PROGRESS PAYMENT IS THE 25TH DAY OF EACH MONTH. THE PERIOD COVERED BY EACH APPLICATION FOR PAYMENT STARTS ON THE DAY FOLLOWING THE END OF THE PRECEDING PERIOD AND ENDS ON THE 25TH DAY OF THE MONTH FOR EACH PROGRESS PAYMENT.
2. USE AIA DOCUMENT G702 AND AIA DOCUMENT G703 CONTINUATION SHEETS AS FORM FOR APPLICATIONS FOR PAYMENT.
3. COMPLETE EVERY ENTRY ON FORM. NOTARIZE AND EXECUTE BY A PERSON AUTHORIZED TO SIGN LEGAL DOCUMENTS ON BEHALF OF CONTRACTOR. THE ARCHITECT WILL RETURN INCOMPLETE APPLICATIONS WITHOUT ACTION.
4. ENTRIES SHALL MATCH DATA ON THE SCHEDULE OF VALUES AND CONTRACTOR'S CONSTRUCTION SCHEDULE. USE UPDATED SCHEDULES IF REVISIONS WERE MADE.
5. INCLUDE AMOUNTS OF CHANGE ORDERS AND CONSTRUCTION CHANGE DIRECTIVES ISSUED BEFORE LAST DAY OF CONSTRUCTION PERIOD COVERED BY APPLICATION.
6. SUBMIT 4 SIGNED AND NOTARIZED ORIGINAL COPIES OF EACH APPLICATION FOR PAYMENT TO OWNER (DIG: A) BY A METHOD ENSURING RECEIPT WITHIN 24 HOURS. ONE COPY SHALL INCLUDE WAIVERS OF LIEN AND SIMILAR ATTACHMENTS IF REQUIRED. INCLUDE ITEMIZED RECEIPTS FOR ANY MATERIAL STORED OFF-SITE FOR WHICH PAYMENT IS BEING REQUESTED. TRANSMIT EACH COPY WITH A TRANSMITTAL FORM LISTING ATTACHMENTS AND RECORDING APPROPRIATE INFO. ABOUT APPLICATION.
7. SUBMIT PARTIAL WAIVERS ON EACH ITEM FOR AMOUNT REQUESTED, BEFORE DEDUCTION FOR RETAINAGE, ON EACH ITEM.
8. WHEN AN APPLICATION SHOWS COMPLETION OF AN ITEM, SUBMIT FINAL OR FULL WAIVERS.
9.ADMINISTRATIVE ACTIONS AND SUBMITTALS THAT MUST PRECEDE OR COINCIDE WITH SUBMITTAL OF FIRST APPLICATION FOR PAYMENT INCLUDE THE FOLLOWING:

a. CONTRACTOR'S CONSTRUCTION SCHEDULE.
b. SCHEDULE OF VALUES.
c. LIST OF SUBCONTRACTS.
d. SUBMITTAL SCHEDULE (PRELIMINARY IF NOT FINAL).
e. LIST OF CONTRACTOR'S STAFF ASSIGNMENTS.
f. COPIES OF BUILDING PERMITS.
g. COPIES OF AUTHORIZATIONS AND LICENSES FROM AUTHORITIES HAVING JURISDICTION FOR PERFORMANCE OF THE WORK.
h. INITIAL PROGRESS REPORT.
i. REPORT OF PRE-CONSTRUCTION CONFERENCE.
j. CERTIFICATES OF INSURANCE AND INSURANCE POLICIES.
k. PERFORMANCE AND PAYMENT BONDS RECORDED IN TRAVIS COUNTY BY THE GENERAL CONTRACTOR.
l. DATA NEEDED TO ACQUIRE OWNER'S INSURANCE.

10. AFTER ISSUING THE CERTIFICATE OF SUBSTANTIAL COMPLETION, APPLY FOR PAYMENT SHOWING 100% COMPLETION OF THE PORTION OF THE WORK CLAIMED AS SUBSTANTIALLY COMPLETE.
11. SUBMIT FINAL APPLICATION FOR PAYMENT WITH SUBMIT FINAL APPLICATION FOR PAYMENT WITH RELEASES AND SUPPORTING DOCUMENTATION NOT PREVIOUSLY SUBMITTED AND ACCEPTED, INCLUDING, BUT NOT LIMITED, TO THE FOLLOWING:

a. EVIDENCE OF COMPLETION OF PROJECT CLOSEOUT REQUIREMENTS.
b. INSURANCE CERTIFICATES FOR PRODUCTS AND COMPLETED OPERATIONS WHERE REQUIRED AND PROOF THAT TAXES, FEES, AND SIMILAR OBLIGATIONS WERE PAID.
c. UPDATED FINAL STATEMENT, ACCOUNTING FOR FINAL CHANGES TO THE CONTRACT SUM.
d. AIA DOCUMENT G706, "CONTRACTOR'S AFFIDAVIT OF PAYMENT OF DEBTS AND CLAIMS."
e. AIA DOCUMENT G706A, "CONTRACTOR'S AFFIDAVIT OF RELEASE OF LIENS."
f. AIA DOCUMENT G707, "CONSENT OF SURETY TO FINAL PAYMENT."
g. EVIDENCE THAT CLAIMS HAVE BEEN SETTLED, IF APPLICABLE.
h. FINAL METER READINGS FOR UTILITIES, AND SIMILAR DATA AS OF DATE OF SUBSTANTIAL COMPLETION OR WHEN OWNER TOOK POSSESSION OF AND ASSUMED RESPONSIBILITY FOR CORRESPONDING ELEMENTS OF THE WORK.
i. FINAL WAIVERS FROM EVERY ENTITY INVOLVED WITH PERFORMANCE OF THE WORK COVERED BY THE APPLICATION WHO IS LAWFULLY ENTITLED TO A LIEN.
j. TESTING REPORTS, RECORD DRAWINGS, AND OWNER AND MAINTENANCE MANUALS.

TESTING REPORTS: IMMEDIATELY UPON RECEIPT, THE CONTRACTOR SHALL SUBMIT ALL TESTING REPORTS TO DIG: A. ALL TESTING SHALL BE DONE BY AN INDEPENDENT TESTING AGENCY.

RECORD DRAWINGS: CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS SHOWING 'AS-BUILT' CONDITIONS THAT VARY FROM THE CONSTRUCTION DOCUMENTS. UPON COMPLETION OF THE JOB, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH (1) COMPLETE SET OF SAID DRAWINGS.
OWNER AND MAINTENANCE MANUALS: THE CONTRACTOR SHALL COMPILE A BINDER FOR THE OWNER OF ALL EQUIPMENT, PRODUCTS/FINISHES, ETC. USED ON THE JOB.

1. THE BINDER SHALL CONTAIN:

a. TABLE OF CONTENTS, THE BINDER SHALL BE ORGANIZED INTO SECTIONS ASSOCIATED WITH THE SCHEDULE OF VALUES
b. LIST OF SUBCONTRACTS
c. ALL INFORMATION FOR THE PROPER MAINTENANCE AND OPERATION FOR THE ENTIRE PROJECT
d. ALL WARRANTIES, INCLUDING THE WARRANTY FROM THE CONTRACTOR.

2. WITHIN (14) DAYS OF RECEIVING THIS INFORMATION, THE OWNER MAY REQUEST A MEETING ON-SITE WITH THE CONTRACTOR TO REVIEW THE INFORMATION.

**PROJECT:**

# NEWTON
1711 NEWTON
AUSTIN, TX

**STAMP:**

**NOTE**: THE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF DIG:A AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF DIG:A. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

| NUMBER: | DATE: | ISSUED: |
|---|---|---|
| 1 | -NOV.2023 | -PERMIT SET |

**OWNER:**


**DIXIE DOG LLC**
**1711 NEWTON ST**
**AUSTIN, TEXAS 78704**


**ENGINEER:**


**FORT STRUCTURES, Inc.**
**SAM COVEY**
**2120 E 7th St, Ste 200**
**AUSTIN, TEXAS 78702**
**TBPE FIRM # 18034**


**DESIGNER:**


**DIG:A**
**Craig Hoverman**
**414 West Annie Street**
**AUSTIN, TEXAS 78704**
**(512) 586-8652**



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**ALL RIGHTS RESERVED**


JOB No: 1064 START DATE:
DRAWN BY: CH/AV/MS TOTAL SHEET SETS:

**DRAWING:** GENERAL NOTES

# A0.0

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# VICINITY MAP

N.T.S

COVERAGE CALCULATIONS

| | |
|---|---|
| **EXISTING LOT AREA** | 6,961.59 SF |
| BUILDING COVERAGE | |
| ALLOWABLE BUILDING COVERAGE @ 40% | 2,784.6 SF |
| TOTAL BUILDING COVERAGE ON LOT | 2,745.98 SF |
| PERCENTAGE IMPERVIOUS COVERAGE | 39.40 % |
| IMPERVIOUS COVERAGE | |
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| TOTAL IMPERVIOUS COVERAGE ON LOT | 3,069.98 SF |
| PERCENTAGE IMPERVIOUS COVERAGE | 44.10 % |
| PARKING | |
| SPACES PROVIDED | 2 |

AREA TABULATIONS

**GROSS FLOOR AREAS**

| | EXISTING | NEW | APPLIED EXEMPTION | TOTAL |
|---|---|---|---|---|
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= (2,625.98 SF /6,961.59) x 100
= 37.7

ADJACENT NATURAL GRADE — VERIFIY IN FIELD

**HOUSE BUILDING 01**

| | |
|---|---|
| A | 541' - 0 1/2" |
| B | 542' - 7 1/4" |
| C | 542' - 9" |
| D | 542' - 9" |
| E | 542' - 4 1/4" |
| F | 542' - 3 1/2" |
| G | 542' - 9" |
| H | 542' - 9" |
| I | 542' - 9" |
| J | 542' - 9" |
| K | 542' - 6 1/2" |
| L | 542' - 8" |
| M | 541' - 11" |
| N | 542' - 9" |
| Ñ | 542' - 9" |
| O | 542' - 9" |
| P | 542' - 9" |
| Q | 542' - 9" |

**HOUSE BUILDING 02**

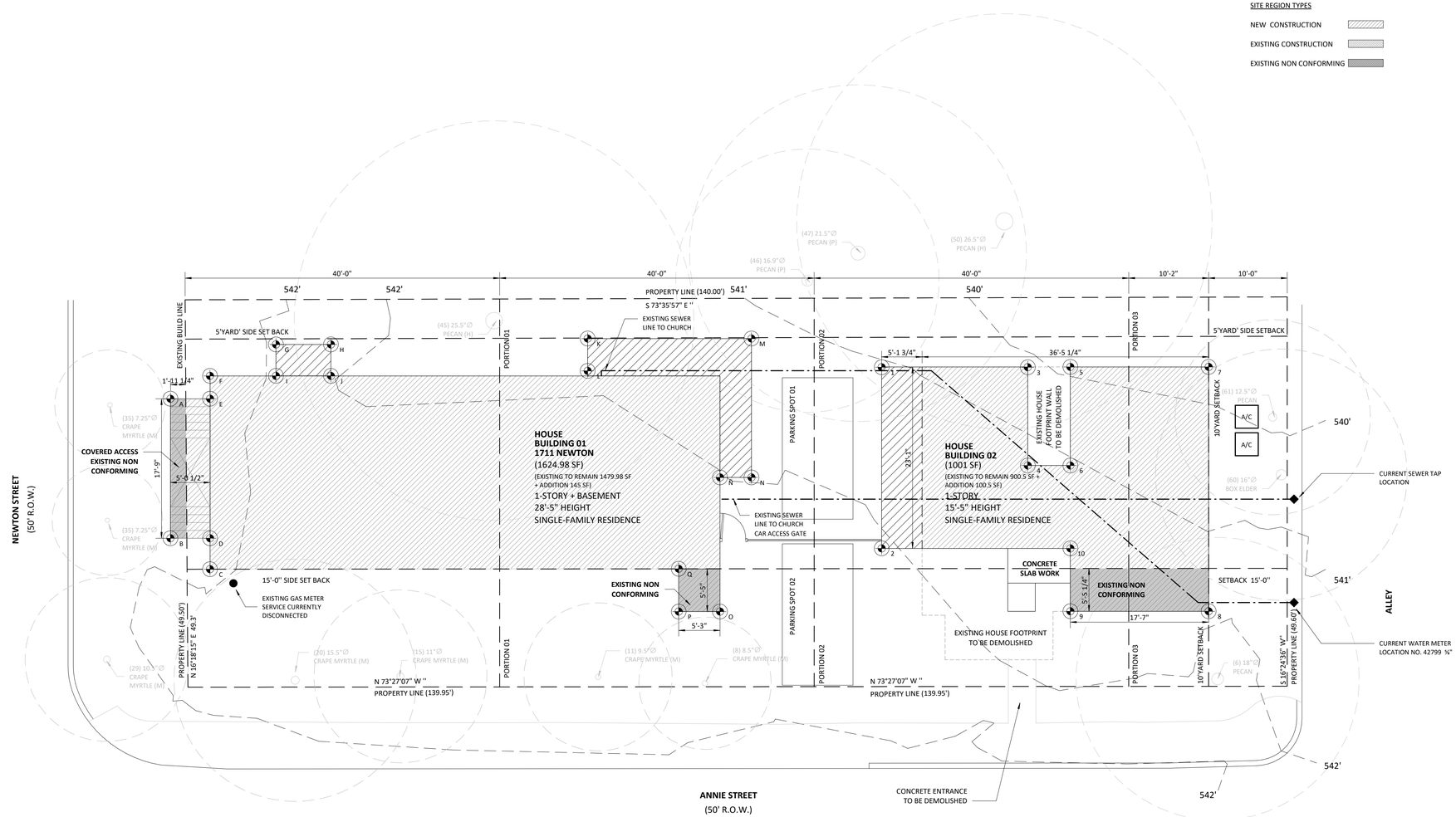
| | |
|---|---|
| 1 | 541' - 9 1/2" |
| 2 | 542' - 9" |
| 3 | 540' - 10 1/2" |
| 4 | 541' - 10 1/4" |
| 5 | 540' - 8 1/4" |
| 6 | 541' - 9" |
| 7 | 540' - 6 1/2" |
| 8 | 542' - 7" |
| 9 | 542' - 5 3/4" |
| 10 | 542' - 2 1/2" |

SITE REGION TYPES

NEW CONSTRUCTION

EXISTING CONSTRUCTION

EXISTING NON CONFORMING




# SITE PLAN 01

SCALE 1/8" = 1'-0"

**PROJECT:**

**NEWTON**
1711 NEWTON
AUSTIN, TX

**STAMP:**

REGISTERED ARCHITECT
CRAIG R. HOVERMAN
28109
STATE OF TEXAS

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| NUMBER: | DATE: | ISSUED: |
|---|---|---|
| 1 | -NOV.2023 | -PERMIT SET |

**OWNER:**

**DIXIE DOG LLC**
**1711 NEWTON ST**
**AUSTIN, TEXAS 78704**

**ENGINEER:**

**FORT STRUCTURES, Inc.**
**SAM COVEY**
**2120 E 7th St, Ste 200**
**AUSTIN, TEXAS 78702**
**TBPE FIRM # 18034**

**DESIGNER:**

**DIG:A**
**Craig Hoverman**
**414 West Annie Street**
**AUSTIN, TEXAS 78704**
**(512) 586-8652**

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JOB No: 1064 START DATE:
DRAWN BY: CH/AV/MS TOTAL SHEET SETS:

**DRAWING:** SITE PLAN

# A0.1

1064_1711_Pastor House RVT23_detached.rvt

PERCENTAGE OF CRZ COVERAGE

| | |
|---|---|
| **(45) 25.5"Ø PECAN (H)** | |
| CRZ | 2029.5 SF |
| COVERAGE | 738.07 SF |
| PERCENTAGE COVERAGE | 36.36 % |
| **(47) 21.5"Ø PECAN (P)** | |
| CRZ | 1440.9 SF |
| COVERAGE | 72.30 SF |
| PERCENTAGE COVERAGE | 5.01 % |
| **(50) 26.5"Ø PECAN (H)** | |
| CRZ | 2192.4 SF |
| COVERAGE | 200.29 SF |
| PERCENTAGE COVERAGE | 9.13 % |
| **(6) 18"Ø PECAN** | |
| CRZ | 1017.9 SF |
| COVERAGE | 97.38 SF |
| PERCENTAGE COVERAGE | 9.56 % |

ROOT ZONE PROTECTION FENCE

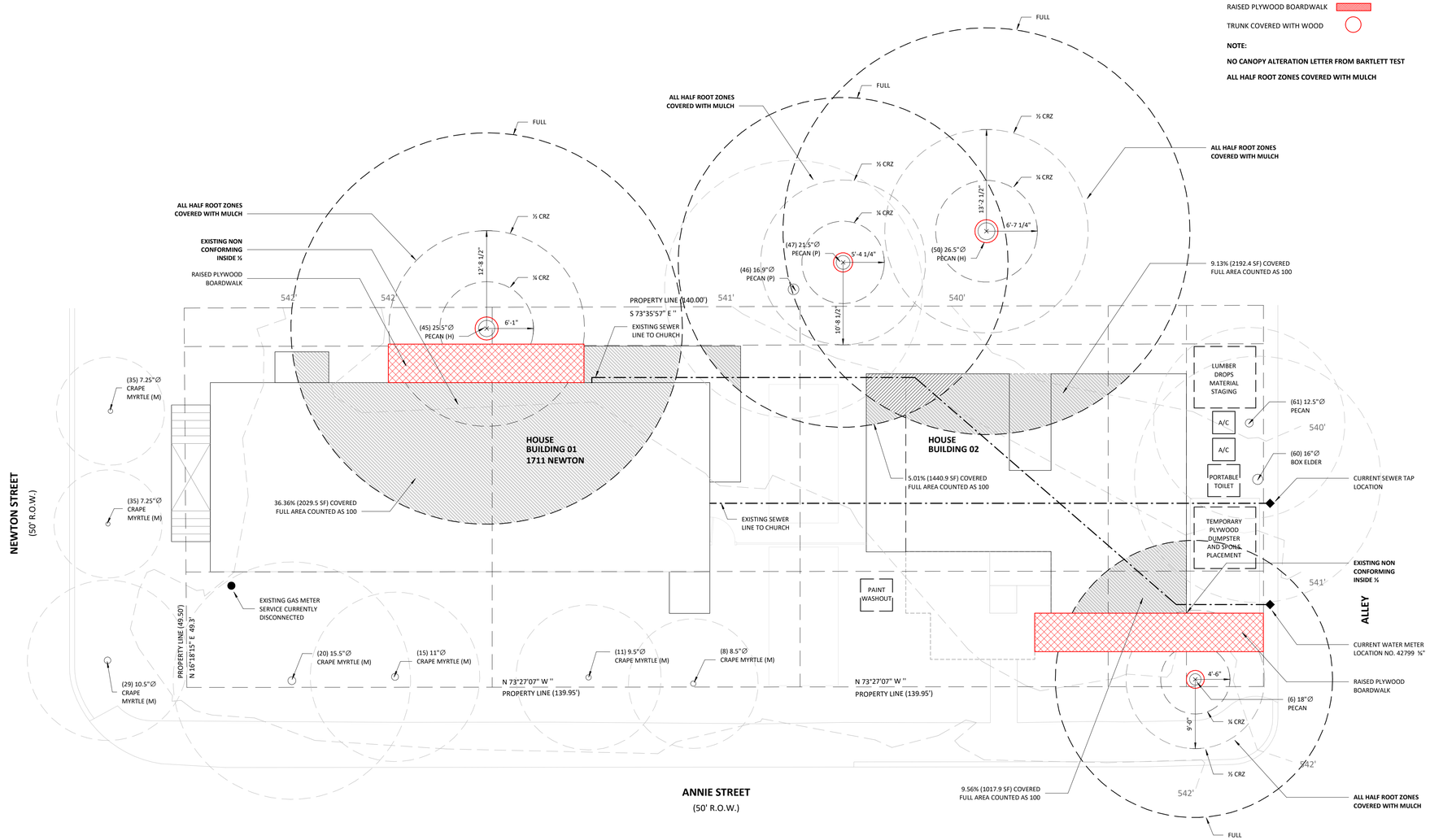
RAISED PLYWOOD BOARDWALK

TRUNK COVERED WITH WOOD

**NOTE:**

**NO CANOPY ALTERATION LETTER FROM BARTLETT TEST**

**ALL HALF ROOT ZONES COVERED WITH MULCH**




CRZ & STAGING AREA **01**

SCALE 1/8" = 1'-0"

**PROJECT:**

# NEWTON
1711 NEWTON
AUSTIN, TX

**STAMP:**

REGISTERED ARCHITECT
CRAIG R. HOVERMAN
28109
STATE OF TEXAS

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| NUMBER: | DATE: | ISSUED: |
|---|---|---|
| 1 | -NOV.2023 | -PERMIT SET |

**OWNER:**

**DIXIE DOG LLC**
**1711 NEWTON ST**
**AUSTIN, TEXAS 78704**

**ENGINEER:**

**FORT STRUCTURES, Inc.**
**SAM COVEY**
**2120 E 7th St, Ste 200**
**AUSTIN, TEXAS 78702**
**TBPE FIRM # 18034**

**DESIGNER:**

**DIG:A**
**Craig Hoverman**
**414 West Annie Street**
**AUSTIN, TEXAS 78704**
**(512) 586-8652**

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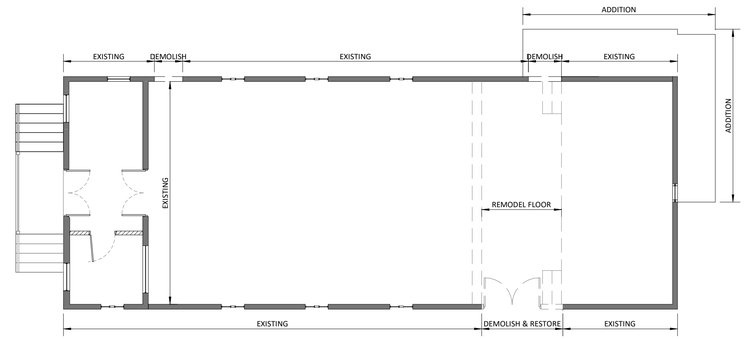
| | | | |
|---|---|---|---|
| JOB No: | 1064 | START DATE: | |
| DRAWN BY: | CH/AV/MS | TOTAL SHEET SETS: | |

**DRAWING:** CRZ AND STAGING AREA

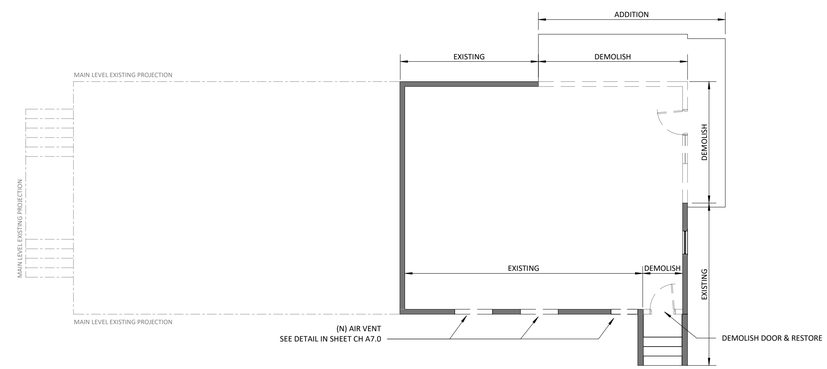
# A0.2

1064_1711_Dexter House RVT23_detached.rvt



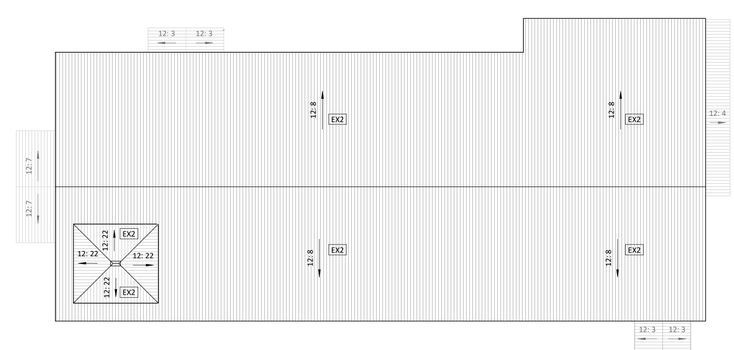

## MAIN FLOOR DEMO PLAN 01

SCALE 1/8" = 1'-0"




## BASEMENT DEMO PLAN 02

SCALE 1/8" = 1'-0"




## ROOF PLAN 03

SCALE 1/8" = 1'-0"

DEMOLITION NOTES

PROTECT AREAS ADJACENT TO DEMOLITION ZONES.

SEAL OFF AREAS OF DEMOLITION FROM MAIN STRUCTURE.

CAREFULLY STORE ALL MATERIALS NOTED FOR RE-USE.

REMOVE ALL DEBRIS FROM SITE.

PROTECT AREAS EXPOSED BY DEMOLITION FROM WEATHER IMPACT.

REMOVE ALL PLUMBING FIXTURES

REMOVE ALL DUCTING

REMOVE ALL DOORS - INTERIOR AND EXTERIOR

REMOVE ALL WINDOWS

REMOVE ALL FLOORING THROUGHOUT - WOOD & TILE

LOCATE ALL UTILITIES INCLUDING BUT NOT LIMITED TO GAS, ELECTRIC, PLUMBING, HVAC AND SECURITY SYSTEM - IDENTIFY UTILITIES COORDINATION PRIOR TO CONSTRUCTION

REMOVE ROOFING MATERIAL AND ROOF JOISTS. BRACE AS NEEDED

REMOVE WALL WHERE NOTED TO ACCOMMODATE NEW WINDOWS AND DOORS AS SHOWN

DEMOLITION PARTITION TYPES

EXISTING WALL

NEW WALL

DEMOLITION WALL

FINISH SCHEDULE ROOF

| TYPE | DESCRIPTION |
|---|---|
| EX2 | STANDING SEAM METAL |

**PROJECT:**

# NEWTON
1711 NEWTON
AUSTIN, TX

**STAMP:**

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| NUMBER: | DATE: | ISSUED: |
|---|---|---|
| 1 | -NOV.2023 | -PERMIT SET |

**OWNER:**

**DIXIE DOG LLC**
**1711 NEWTON ST**
**AUSTIN, TEXAS 78704**

**ENGINEER:**

**FORT STRUCTURES**
**SAM COVEY**
**2120 E 7th St, Ste 200**
**AUSTIN, TEXAS 78702**
**TBPE FIRM # 18034**

**DESIGNER:**

**DIG:A**
**Craig Hoverman**
**414 West Annie Street**
**AUSTIN, TEXAS 78704**
**(512) 586-8652**

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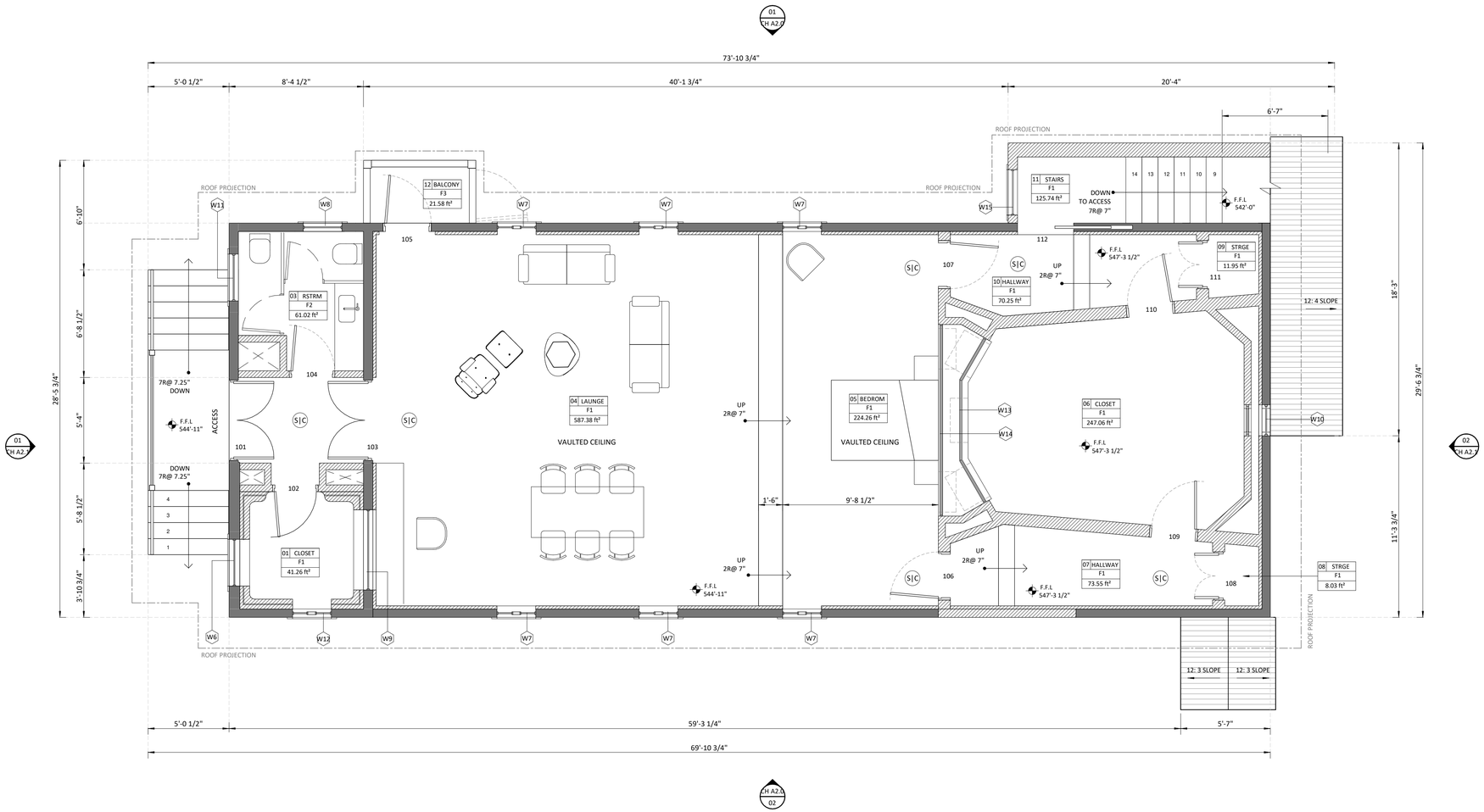
| | | | |
|---|---|---|---|
| JOB No: | 1076 | START DATE: | |
| DRAWN BY: | CH/AV/MS | TOTAL SHEET SETS: | |

**DRAWING:** DEMO AND ROOF PLAN BLDG 01

# CH A1.0

G:\Shortcut-targets-by-id\0B1WDZKe-L1i1shCbvdVBEdZWEDIG-TK\1064_1711_Newton\03_3D\01_Models\Church\01-Revit\1064_1711_Church RVT23.rvt




# MAIN FLOOR PLAN 01

SCALE 1/4" = 1'-0"

ARCHITECTURAL SYMBOLS

ALL DIMENSIONS RELEVANT TO FRAMING ARE TO FACE OF STUD UNLESS NOTED OTHERWISE

DOORS INDICATED THUS: REFER DOOR SCHEDULE — XXX

DOOR SWINGS AS INDICATED ON PLAN

WINDOWS INDICATED THUS: REFER FOR WINDOW SCHEDULE — XX

ROOM FINISH INDICATED THUS: SCHEDULE THIS PAGE — XXX

SMOKE AND CARBON DETECTORS — S|C

ALL FLOOR MATERIAL DIFFERENTIALS TO BE 1/2" MAX

FINISH SCHEDULE NOTES

OWNER AND ARCHITECT TO REVIEW COLOR & MATERIAL SAMPLES PRIOR TO FINAL INSTALL

DETAIL NUMBER / SHEET NUMBER — 00 / A.00

SECTION NUMBER / SHEET NUMBER — 00 / A.00

LEVEL NUMBER — XXXX FIN.FL 00' 00"

SHEET NUMBER / ELEVATION NUMBER — A.00 / 00

ROOM NUMBER / FINISH FLOOR / FOOT SQUARE — # ROOM / F / ft2

FINISH SCHEDULE WALLS

| TYPE | DESCRIPTION |
|---|---|
| EX1 | WOODEN SIDING (EXISTING) AND MATCH EXISTING |
| EX3 | EXTERIOR CONCRETE EXPOSED |
| W1 | PAINT WHITE |
| W3 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |
| W4 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |
| W5 | PAINT WHITE DRYWALL |
| W6 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |

FINISH SCHEDULE CEILING

| TYPE | DESCRIPTION |
|---|---|
| C1.1 | DRYWALL DROPPED 1/2" THICKNESS |
| C2.1 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |

FINISH SCHEDULE FLOOR

| TYPE | DESCRIPTION |
|---|---|
| F1 | WOODEN FLOOR 3/4" THINKNESS |
| F2 | TILE 6X6" |
| F3 | CONCRETE SLAB |
| F4 | CONCRETE EXPOSED |

FINISH SCHEDULE ROOF

| TYPE | DESCRIPTION |
|---|---|
| EX2 | STANDING SEAM METAL |

PROJECT:

**NEWTON**
1711 NEWTON
AUSTIN, TX

STAMP:

REGISTERED ARCHITECT
CRAIG R. HOVERMAN
28109
STATE OF TEXAS

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|---|---|---|
| 1 | -NOV.2023 | -PERMIT SET |

OWNER:

**DIXIE DOG LLC**
**1711 NEWTON ST**
**AUSTIN, TEXAS 78704**

ENGINEER:

**FORT STRUCTURES**
**SAM COVEY**
**2120 E 7th St, Ste 200**
**AUSTIN, TEXAS 78702**
**TBPE FIRM # 18034**

DESIGNER:

**DIG:A**
**Craig Hoverman**
**414 West Annie Street**
**AUSTIN, TEXAS 78704**
**(512) 586-8652**

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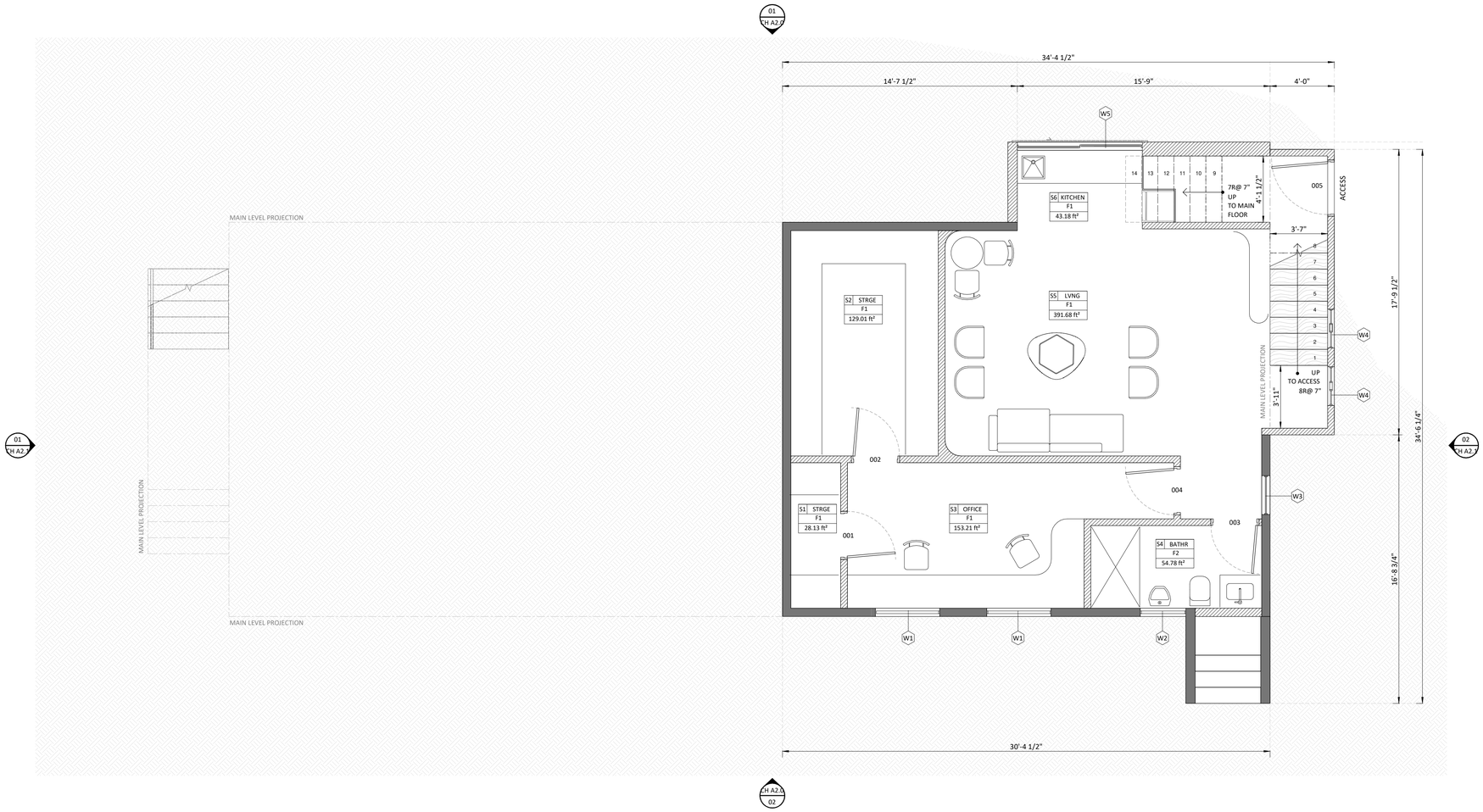
JOB No: 1076 START DATE:
DRAWN BY: CH/AV/MS TOTAL SHEET SETS:

DRAWING: FLOOR PLAN BLDG 01

**CH A1.1**

G:_shortcut targets-by-id\1081VX02ka-L11ath1ZevVFB-Z2WEGIG-TX\1064_1711_Newton\03_3D\01_Models\Church\01-Revit\1064_1711_Church.RVT23.rvt




# BASEMENT FLOOR PLAN 01

SCALE 1/4" = 1'-0"

ARCHITECTURAL SYMBOLS

ALL DIMENSIONS RELEVANT TO FRAMING ARE TO FACE OF STUD UNLESS NOTED OTHERWISE

DOORS INDICATED THUS: XXX
REFER DOOR SCHEDULE

DOOR SWINGS AS INDICATED ON PLAN

WINDOWS INDICATED THUS: XX
REFER FOR WINDOW SCHEDULE

ROOM FINISH INDICATED THUS: XXX
SCHEDULE THIS PAGE

SMOKE AND CARBON DETECTORS S|C

ALL FLOOR MATERIAL DIFFERENTIALS TO BE 1/2" MAX

FINISH SCHEDULE NOTES

OWNER AND ARCHITECT TO REVIEW COLOR & MATERIAL SAMPLES PRIOR TO FINAL INSTALL

DETAIL NUMBER 00
SHEET NUMBER A.00

SECTION NUMBER 00
SHEET NUMBER A.00

LEVEL NUMBER XXXX.FIN.FL
00' 00"

SHEET NUMBER A.00
ELEVATION NUMBER 00

ROOM NUMBER #
FINISH FLOOR F
FOOT SQUARE ft2

FINISH SCHEDULE WALLS

| TYPE | DESCRIPTION |
|---|---|
| EX1 | WOODEN SIDING (EXISTING) AND MATCH EXISTING |
| EX3 | EXTERIOR CONCRETE EXPOSED |
| W1 | PAINT WHITE |
| W3 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |
| W4 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |
| W5 | PAINT WHITE DRYWALL |
| W6 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |

FINISH SCHEDULE CEILING

| TYPE | DESCRIPTION |
|---|---|
| C1.1 | DRYWALL DROPPED 1/2" THICKNESS |
| C2.1 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |

FINISH SCHEDULE FLOOR

| TYPE | DESCRIPTION |
|---|---|
| F1 | WOODEN FLOOR 3/4" THINKNESS |
| F2 | TILE 6X6" |
| F3 | CONCRETE SLAB |
| F4 | CONCRETE EXPOSED |

FINISH SCHEDULE ROOF

| TYPE | DESCRIPTION |
|---|---|
| EX2 | STANDING SEAM METAL |

**PROJECT:**

**NEWTON**
1711 NEWTON
AUSTIN, TX

**STAMP:**

REGISTERED ARCHITECT
CRAIG R. HOVERMAN
28109
STATE OF TEXAS

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|---|---|---|
| 1 | -NOV.2023 | -PERMIT SET |

**OWNER:**

**DIXIE DOG LLC**
**1711 NEWTON ST**
**AUSTIN, TEXAS 78704**

**ENGINEER:**

**FORT STRUCTURES**
**SAM COVEY**
**2120 E 7th St, Ste 200**
**AUSTIN, TEXAS 78702**
**TBPE FIRM # 18034**

**DESIGNER:**

**DIG:A**
**Craig Hoverman**
**414 West Annie Street**
**AUSTIN, TEXAS 78704**
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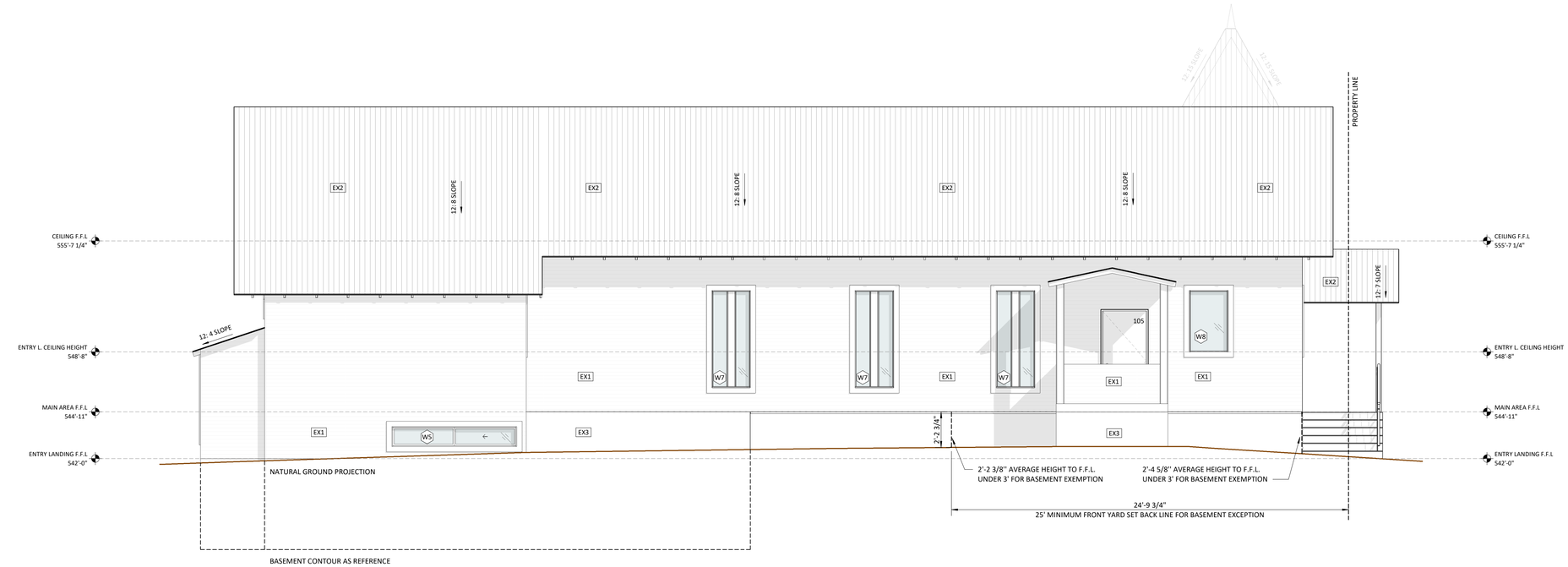
JOB No: 1076 START DATE:
DRAWN BY: CH/AV/MS TOTAL SHEET SETS:

**DRAWING:** FLOOR PLAN BLDG 01

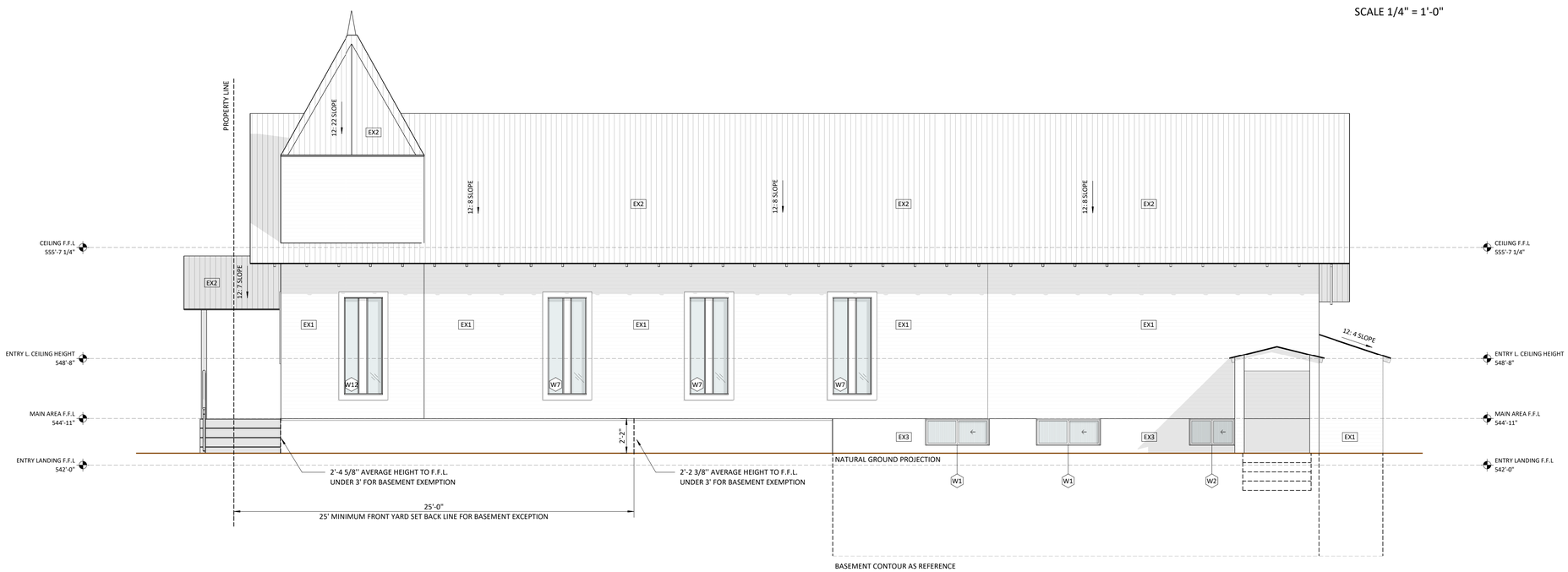
# CH A1.2

G:_Shortcut-targets-by-id\0B1WDZKx-L1i1ahCbedVNEdZWEDNG-TXk\1064_1711_Newton\03_3D\01_Models\Church\01-Revit\1064_1711_Church-HVT23.rvt




# NORTH ELEVATION 01

SCALE 1/4" = 1'-0"




# SOUTH ELEVATION 02

SCALE 1/4" = 1'-0"

ARCHITECTURAL SYMBOLS

ALL DIMENSIONS RELEVANT TO FRAMING ARE TO FACE OF STUD UNLESS NOTED OTHERWISE

DOORS INDICATED THUS: REFER DOOR SCHEDULE — XXX

DOOR SWINGS AS INDICATED ON PLAN

WINDOWS INDICATED THUS: REFER FOR WINDOW SCHEDULE — XX

ROOM FINISH INDICATED THUS: SCHEDULE THIS PAGE — XXX

SMOKE AND CARBON DETECTORS — S|C

ALL FLOOR MATERIAL DIFFERENTIALS TO BE 1/2" MAX

FINISH SCHEDULE NOTES

OWNER AND ARCHITECT TO REVIEW COLOR & MATERIAL SAMPLES PRIOR TO FINAL INSTALL

DETAIL NUMBER / SHEET NUMBER — 00 / A.00

SECTION NUMBER / SHEET NUMBER — 00 / A.00

LEVEL NUMBER — XXXX FIN.FL 00' 00"

SHEET NUMBER / ELEVATION NUMBER — A.00 / 00

ROOM NUMBER / FINISH FLOOR / FOOT SQUARE

| # | ROOM |
|---|---|
| | F |
| | ft2 |

FINISH SCHEDULE WALLS

| TYPE | DESCRIPTION |
|---|---|
| EX1 | WOODEN SIDING (EXISTING) AND MATCH EXISTING |
| EX3 | EXTERIOR CONCRETE EXPOSED |
| W1 | PAINT WHITE |
| W3 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |
| W4 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |
| W5 | PAINT WHITE DRYWALL |
| W6 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |

FINISH SCHEDULE CEILING

| TYPE | DESCRIPTION |
|---|---|
| C1.1 | DRYWALL DROPPED 1/2" THICKNESS |
| C2.1 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |

FINISH SCHEDULE FLOOR

| TYPE | DESCRIPTION |
|---|---|
| F1 | WOODEN FLOOR 3/4" THINKNESS |
| F2 | TILE 6X6" |
| F3 | CONCRETE SLAB |
| F4 | CONCRETE EXPOSED |

FINISH SCHEDULE ROOF

| TYPE | DESCRIPTION |
|---|---|
| EX2 | STANDING SEAM METAL |

**PROJECT:**

**NEWTON**
1711 NEWTON
AUSTIN, TX

**STAMP:**

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| NUMBER: | DATE: | ISSUED: |
|---|---|---|
| 1 | -NOV.2023 | -PERMIT SET |

**OWNER:**

**DIXIE DOG LLC**
**1711 NEWTON ST**
**AUSTIN, TEXAS 78704**

**ENGINEER:**

**FORT STRUCTURES**
**SAM COVEY**
**2120 E 7th St, Ste 200**
**AUSTIN, TEXAS 78702**
**TBPE FIRM # 18034**

**DESIGNER:**

**DIG:A**
**Craig Hoverman**
**414 West Annie Street**
**AUSTIN, TEXAS 78704**
**(512) 586-8652**

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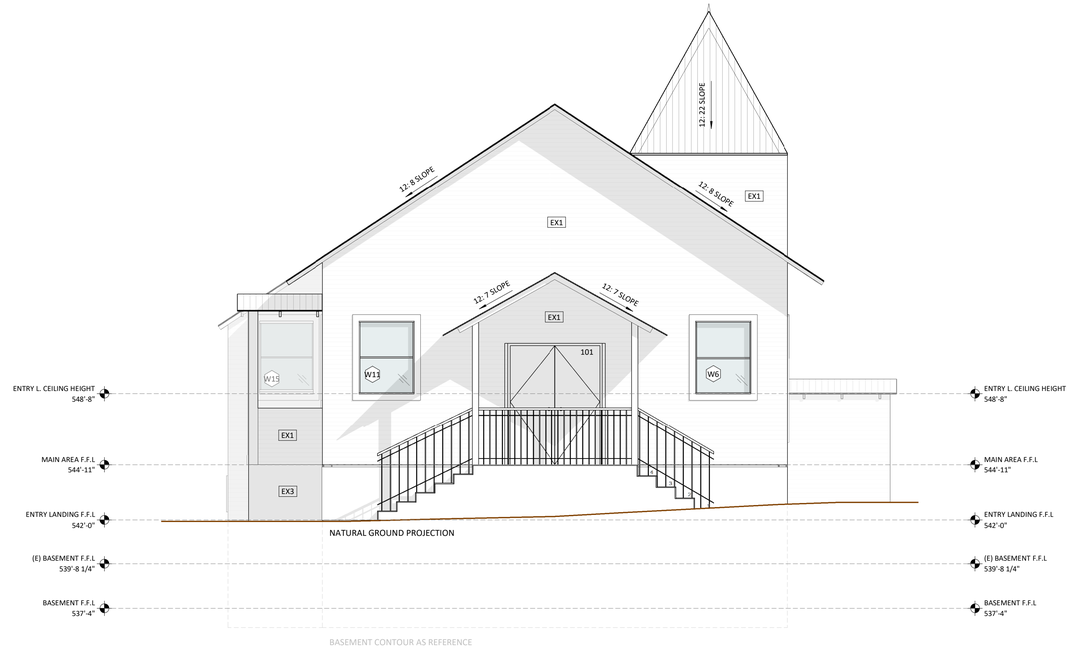
| JOB No: | 1076 | START DATE: |
|---|---|---|
| DRAWN BY: | CH/AV/MS | TOTAL SHEET SETS: |

**DRAWING:** EXTERIOR ELEVATIONS BLDG 01

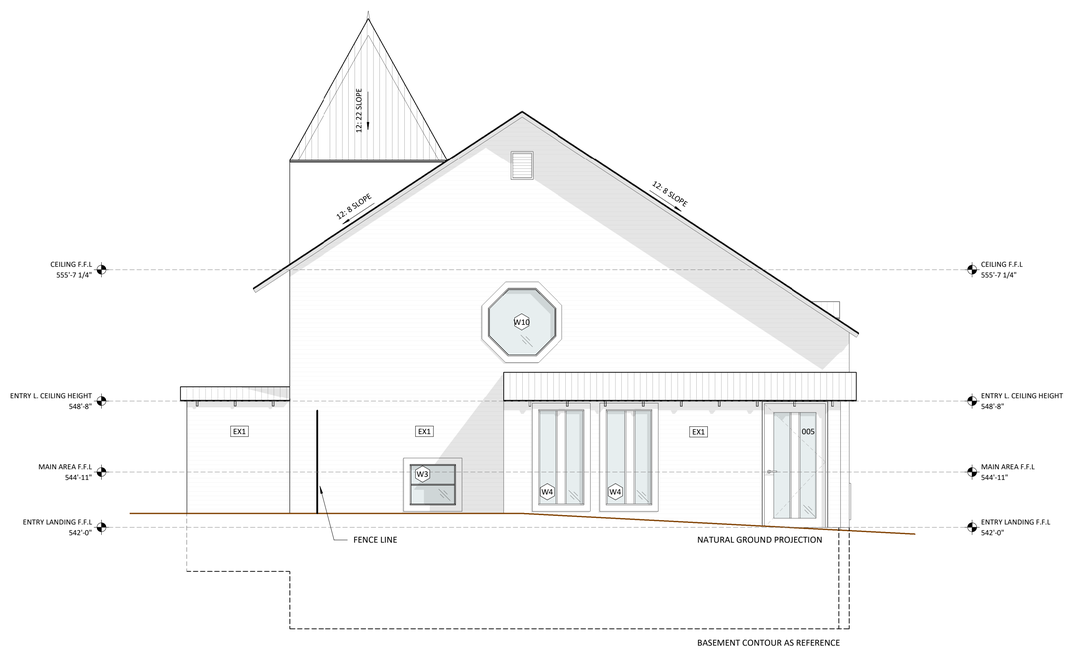
# CH A2.0

G:_shortcut-targets-by-id\0B1WXZKo-L1IaDCbnVFEZWVB\DIG TX\1064_171_Newton\03_3D\01_Models\Church\01-Revit\1064_171_Church RVT23.rvt




# WEST ELEVATION **01**

SCALE 1/4" = 1'-0"




# EAST ELEVATION **02**

SCALE 1/4" = 1'-0"

ARCHITECTURAL SYMBOLS

ALL DIMENSIONS RELEVANT TO FRAMING ARE TO FACE OF STUD UNLESS NOTED OTHERWISE

DOORS INDICATED THUS: XXX
REFER DOOR SCHEDULE

DOOR SWINGS AS INDICATED ON PLAN

WINDOWS INDICATED THUS: XX
REFER FOR WINDOW SCHEDULE

ROOM FINISH INDICATED THUS: XXX
SCHEDULE THIS PAGE

SMOKE AND CARBON DETECTORS S|C

ALL FLOOR MATERIAL DIFFERENTIALS TO BE 1/2" MAX

FINISH SCHEDULE NOTES

OWNER AND ARCHITECT TO REVIEW COLOR & MATERIAL SAMPLES PRIOR TO FINAL INSTALL

DETAIL NUMBER 00
SHEET NUMBER A.00

SECTION NUMBER 00
SHEET NUMBER A.00

LEVEL NUMBER XXXX FIN.FL 00' 00"

SHEET NUMBER A.00
ELEVATION NUMBER 00

ROOM NUMBER # ROOM
FINISH FLOOR F
FOOT SQUARE ft2

FINISH SCHEDULE WALLS

| TYPE | DESCRIPTION |
|---|---|
| EX1 | WOODEN SIDING (EXISTING) AND MATCH EXISTING |
| EX3 | EXTERIOR CONCRETE EXPOSED |
| W1 | PAINT WHITE |
| W3 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |
| W4 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |
| W5 | PAINT WHITE DRYWALL |
| W6 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |

FINISH SCHEDULE CEILING

| TYPE | DESCRIPTION |
|---|---|
| C1.1 | DRYWALL DROPPED 1/2" THICKNESS |
| C2.1 | WOONDEN DOUGLAS FIR 3/4" THICKNESS |

FINISH SCHEDULE FLOOR

| TYPE | DESCRIPTION |
|---|---|
| F1 | WOODEN FLOOR 3/4" THINKNESS |
| F2 | TILE 6X6" |
| F3 | CONCRETE SLAB |
| F4 | CONCRETE EXPOSED |

FINISH SCHEDULE ROOF

| TYPE | DESCRIPTION |
|---|---|
| EX2 | STANDING SEAM METAL |

**PROJECT:**

**NEWTON**
1711 NEWTON
AUSTIN, TX

**STAMP:**

REGISTERED ARCHITECT
CRAIG R. HOVERMAN
28109
STATE OF TEXAS

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| 1 | -NOV.2023 | -PERMIT SET |

**OWNER:**

**DIXIE DOG LLC**
**1711 NEWTON ST**
**AUSTIN, TEXAS 78704**

**ENGINEER:**

**FORT STRUCTURES**
**SAM COVEY**
**2120 E 7th St, Ste 200**
**AUSTIN, TEXAS 78702**
**TBPE FIRM # 18034**

**DESIGNER:**

**DIG:A**
**Craig Hoverman**
**414 West Annie Street**
**AUSTIN, TEXAS 78704**
**(512) 586-8652**

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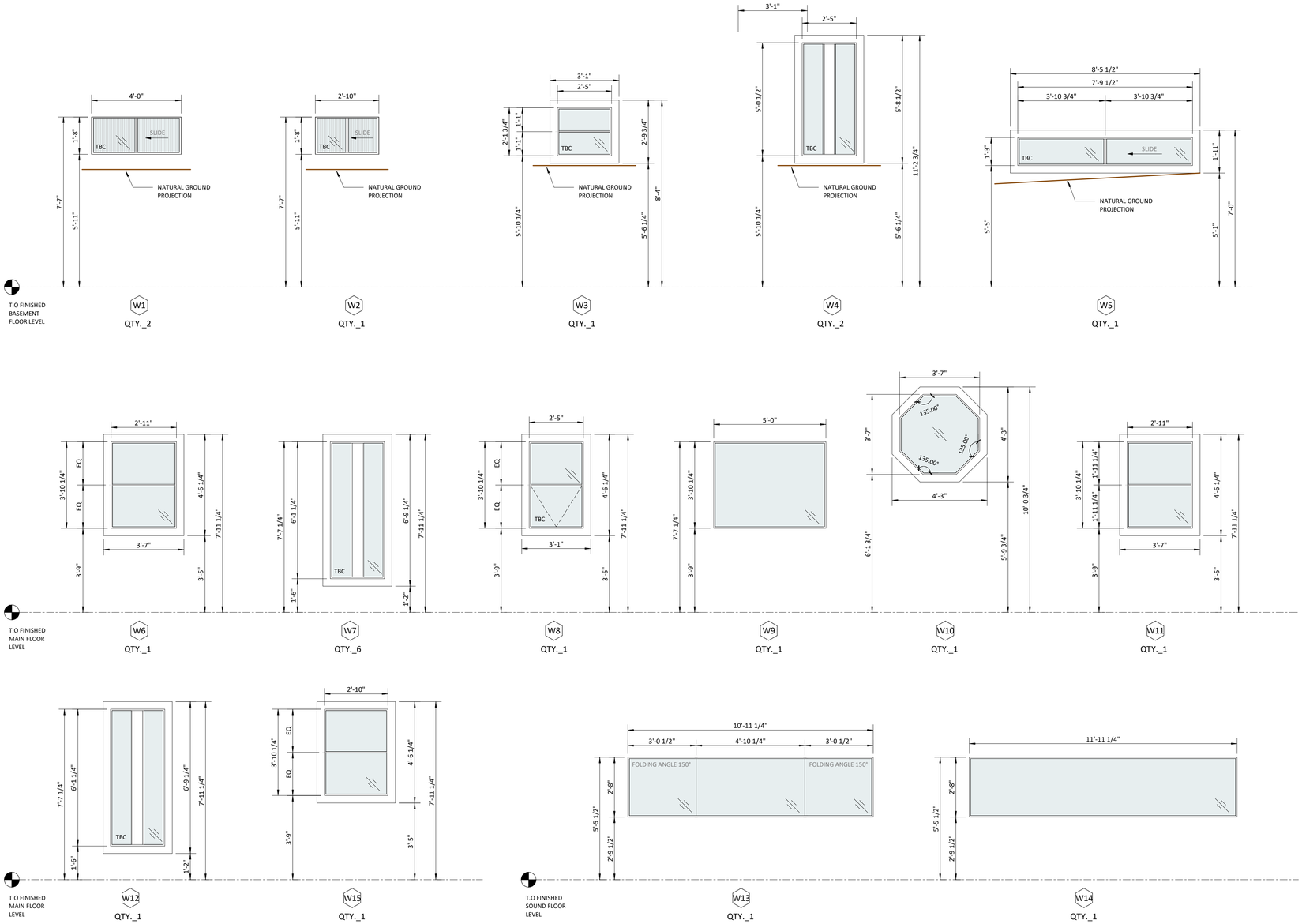
| JOB No: | 1076 | START DATE: |
|---|---|---|
| DRAWN BY: | CH/AV/MS | TOTAL SHEET SETS: |

**DRAWING:** EXTERIOR ELEVATIONS BLDG 01

# CH A2.1

G:\Shortcut-targets-by-id\0B1WDZKx-L1i1sfhCDedVNEdXWEDIG-TX\1064_1711_Newton\03_DD\01_Models\Church\01-Revit\1064_1711_Church-HVT23.rvt




NOTES WINDOW SCHEDULE

FIELD VERIFY ALL WINDOW DIMENSIONS

ALL ALUMINUM FRAMES TO BE ACCORDING TO SCHEDULE SPEC. DOOR SWINGS AS INDICATED ON PLAN

ALL OPERABLE WINDOWS TO HAVE SCREENS

ALL INSULATED GLASS TO BE LOW-E

FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

A. FIXED AND OPERABLE PANELS OF SWINGING SLIDING AND BIFOLD DOOR ASSEMBLIES

B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS

- EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
- BOTTOM EDGE LESS THAT 18" ABOVE FLOOR
- TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
- ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.

D. GLAZING IN RAILS

E. GLAZING IN ENCLOSURES FOR OR FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE TO BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

F. GLAZING IN FENCES AND WALLS ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" MEASURED HORIZONTALLY MEASURED IN A STRAIGHT LINE OF THE WATERS EDGE.

G. GLAZING ADJACENT TO STAIRWAYS LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE

H. GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

**WINDOW SCHEDULE**

| TYPE | AMOUNT | WIDTH | HEIGHT | TYPE WINDOW | GLAZING | FRAME | COLOR | MFGR | U-FACTOR | SHGC | HEAD DETAIL | JAMB DETAIL | SILL DETAIL | NOTES |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| W1 | 2 | 4'-0" | 1'-8" | SLIDING | DUAL GLAZED | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | (1) PANEL OPERABLE (1) PANEL FIXED W/ METAL BARS. TEMPERED PER CODE. REEDED GLAZED |
| W2 | 1 | 2'-10" | 1'-8" | SLIDING | DUAL GLAZED | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | (1) PANEL OPERABLE (1) PANEL FIXED W/ METAL BARS. TEMPERED PER CODE. REEDED GLAZED |
| W3 | 1 | 2'-5" | 2'-1 3/4" | EXISTING | EXISTING | EXISTING | EXISTING | EXISTING | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | EXISTING WINDOW TO BE REFURBISH. TEMPERED PER CODE. |
| W4 | 2 | 2'-5" | 5'-0 1/2" | FIXED | DUAL GLAZED | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | (2) PANEL FIXED. TEMPERED PER CODE. |
| W5 | 1 | 7'-9 1/2" | 1'-3" | SLIDING | DUAL GLAZED | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | (1) PANEL OPERABLE. TEMPERED PER CODE. |
| W6 | 1 | 2'-11" | 3'-10 1/4" | EXISTING | ACCUSTIC DOUBLE GLASS | EXISTING | EXISTING | EXISTING | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | EXISTING WINDOW TO BE REFURBISH. ACCUSTIC SPEC |
| W7 | 6 | 2'-5" | 6'-1 1/4" | EXISTING | EXISTING | EXISTING | EXISTING | EXISTING | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | EXISTING WINDOW TO BE REFURBISH. TEMPERED PER CODE. |
| W8 | 1 | 2'-5" | 3'-10 1/4" | CASEMENT | DUAL GLAZED | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | (1) PANEL OPERABLE (1) PANEL FIXED. TEMPERED PER CODE. |
| W9 | 1 | 5'-0" | 3'-10 1/4" | FIXED | ACCUSTIC DOUBLE GLASS | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | (1) PANEL FIXED. ACCUSTIC SPEC |
| W10 | 1 | 3'-7" | 3'-7" | FIXED | ACCUSTIC DOUBLE GLASS | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | (1) PANEL FIXED. ACCUSTIC SPEC |
| W11 | 1 | 2'-11" | 3'-10 1/4" | EXISTING | EXISTING | EXISTING | EXISTING | EXISTING | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | EXISTING WINDOW TO BE REFURBISH. TEMPERED PER CODE. |
| W12 | 1 | 2'-5" | 6'-1 1/4" | EXISTING | ACCUSTIC DOUBLE GLASS | EXISTING | EXISTING | EXISTING | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | EXISTING WINDOW TO BE REFURBISH. ACCUSTIC SPEC |
| W13 | 1 | 10'-11 1/4" | 2'-8" | FIXED | ACCUSTIC DOUBLE GLASS | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | (1) PANEL FIXED |
| W14 | 1 | 11'-11 1/4" | 2'-8" | FIXED | ACCUSTIC DOUBLE GLASS | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | (1) PANEL FIXED |
| W15 | 1 | 2'-10" | 3'-10 1/4" | FIXED | DUAL GLAZED | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | XX/XX | XX/XX | XX/XX | XX/XX | XX/XX | (1) PANEL FIXED |

**PROJECT:**

# NEWTON
1711 NEWTON
AUSTIN, TX

**STAMP:**

REGISTERED ARCHITECT
CRAIG R. HOVERMAN
28109
STATE OF TEXAS

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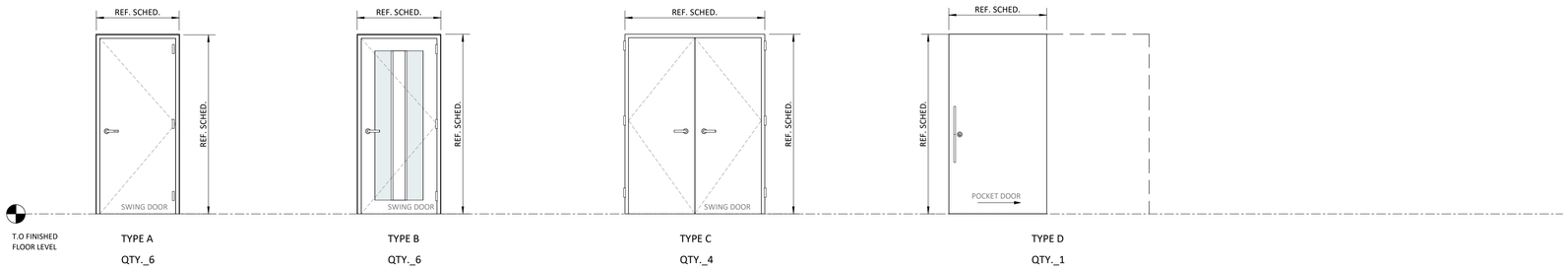
JOB No: 1076 START DATE:
DRAWN BY: CH/AV/MS TOTAL SHEET SETS:

DRAWING: WINDOW SCHEDULES BLDG 01

# CH A7.0

G:_shortcut-targets-by-id\0B1WXDKe-L11aEhCbedFWEzWRjOIG-TX\1064_171_Newton\03_SD\01_Revit\1064_171_Church RVT23.rvt




**DOOR SCHEDULE**

| NUMBER | TYPE DOOR | WIDTH | HEIGHT | THICKNESS | DOOR MATERIAL | FRAME MATERIAL | HARDWARE SET | HINGES | DOOR STOP | HEAD DETAIL | DOOR HANDED | SILL DETAIL | NOTES |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 001 | A | 3'-0" | 6'-8" | 0'-1 3/4" | SINGLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | RIGHT HANDED | N/A | SINGLE HINGED DOOR |
| 002 | A | 3'-0" | 6'-8" | 0'-1 3/4" | SINGLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | LEFT HANDED | N/A | SINGLE HINGED DOOR |
| 003 | A | 3'-0" | 6'-5" | 0'-1 3/4" | SINGLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | LEFT HANDED | N/A | SINGLE HINGED DOOR |
| 004 | A | 3'-0" | 6'-8" | 0'-1 3/4" | SINGLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | RIGHT HANDED | N/A | SINGLE HINGED DOOR |
| 005 | B | 3'-6" | 6'-8" | 0'-0 1/2" | SINGLE HINGED DOOR GLASS | WOOD/GLASS | BY OWNER | N/A | N/A | N/A | RIGHT HANDED | N/A | SINGLE HINGED GLASS TEMPERED PER CODE & WOOD DOOR |
| 101 | C | 5'-0" | 6'-5" | 0'-1 3/4" | DOUBLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | DOUBLE HANDED | N/A | DOUBLE HINGED DOOR |
| 102 | R | 2'-10" | 6'-5" | 0'-1 3/4" | SINGLE HINGED DOOR GLASS | WOOD/GLASS | BY OWNER | N/A | N/A | N/A | RIGHT HANDED | N/A | SINGLE HINGED GLASS & WOOD DOOR |
| 103 | C | 5'-0" | 6'-5" | 0'-1 3/4" | DOUBLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | DOUBLE HANDED | N/A | DOUBLE HINGED DOOR |
| 104 | Q | 2'-10" | 6'-5" | 0'-1 3/4" | SINGLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | LEFT HANDED | N/A | SINGLE HINGED DOOR |
| 105 | A | 3'-0" | 6'-5" | 0'-1 3/4" | SINGLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | RIGHT HANDED | N/A | SINGLE HINGED DOOR |
| 106 | O | 3'-0" | 6'-8" | 0'-1 3/4" | SINGLE HINGED DOOR GLASS | WOOD/GLASS | BY OWNER | N/A | N/A | N/A | RIGHT HANDED | N/A | SINGLE HINGED GLASS & WOOD DOOR |
| 107 | O | 3'-0" | 6'-8" | 0'-1 3/4" | SINGLE HINGED DOOR GLASS | WOOD/GLASS | BY OWNER | N/A | N/A | N/A | LEFT HANDED | N/A | SINGLE HINGED GLASS & WOOD DOOR |
| 108 | C | 3'-0" | 6'-8" | 0'-1 3/4" | DOUBLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | DOUBLE HANDED | N/A | DOUBLE HINGED DOOR |
| 109 | B | 3'-0" | 6'-8" | 0'-0 1/2" | SINGLE HINGED DOOR GLASS | WOOD/GLASS | BY OWNER | N/A | N/A | N/A | RIGHT HANDED | N/A | SINGLE HINGED GLASS & WOOD DOOR |
| 110 | B | 3'-0" | 6'-8" | 0'-0 1/2" | SINGLE HINGED DOOR GLASS | WOOD/GLASS | BY OWNER | N/A | N/A | N/A | RIGHT HANDED | N/A | SINGLE HINGED GLASS & WOOD DOOR |
| 111 | C | 3'-0" | 6'-8" | 0'-1 3/4" | DOUBLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | DOUBLE HANDED | N/A | DOUBLE HINGED DOOR |
| 112 | D | 3'-6" | 6'-5" | 0'-1 3/4" | POCKET DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | SLIDER | N/A | CONCEALED SLIDING DOOR |

NOTES DOOR SCHEDULE

NOTES: REFER TO FLOOR PLANS FOR DIRECTION OF DOOR SWING- TYPICAL

ALL ACCESSIBLE DOORS TO BE 32" MIN WIDTH

DOORS BETWEEN GARAGE AND DWELLING UNIT SHALL BE SELF CLOSING AND SELF LATCHING, SOLID WOOD OR SOLID HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8" THICK OR HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES.

FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

A. FIXED AND OPERABLE PANELS OF SWINGING SLIDING AN BIFOLD DOOR ASSEMBLIES FIXED AND OPERABLE PANELS OF SWINGING SLIDING AN BIFOLD DOOR ASSEMBLIES

B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE. THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

1.1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.

1.2. BOTTOM EDGE LESS THAT 18" ABOVE FLOOR. BOTTOM EDGE LESS THAT 18" ABOVE FLOOR.

1.3. TOP EDGE GREATER THAN 36" ABOVE THE FLOOR. TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.

1.4. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.

D. GLAZING IN RAILS GLAZING IN RAILS

E. GLAZING IN ENCLOSURES FOR OR FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE TO BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. GLAZING IN ENCLOSURES FOR OR FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE TO BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

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G. GLAZING ADJACENT TO STAIRWAYS LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE. GLAZING ADJACENT TO STAIRWAYS LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE.

H. GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

**PROJECT:**

# NEWTON
1711 NEWTON
AUSTIN, TX

**STAMP:**

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**SAM COVEY**
**2120 E 7th St, Ste 200**
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**TBPE FIRM # 18034**

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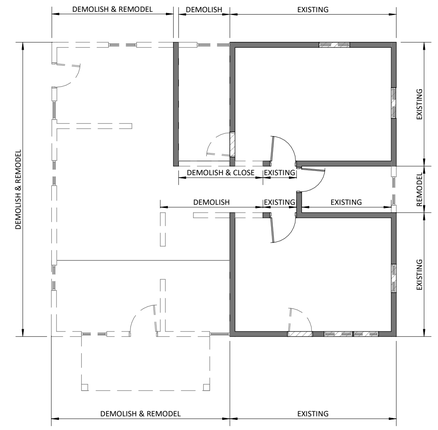
JOB No: 1076 START DATE:
DRAWN BY: CH/AV/MS TOTAL SHEET SETS:

**DRAWING:** DOORS SCHEDULES BLDG 01

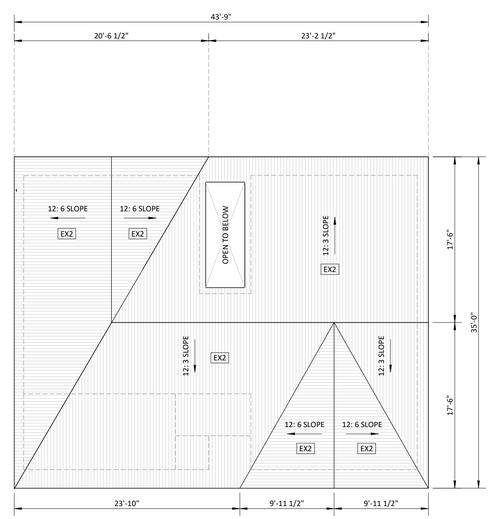
# CH A7.1

G:_shortcut-targets-by-id\0B1WXD2e-L1Ia5fCbcdVRjZzVRS\DIG-TX\1064_1711_Newton\03_3D\01_Models\Church\01-Revit\1064_1711_Church RVT23.rvt




# DEMO PLAN 02

SCALE 1/8" = 1'-0"




# ROOF PLAN 01

SCALE 1/8" = 1'-0"

DEMOLITION NOTES

PROTECT AREAS ADJACENT TO DEMOLITION ZONES.

SEAL OFF AREAS OF DEMOLITION FROM MAIN STRUCTURE.

CAREFULLY STORE ALL MATERIALS NOTED FOR RE-USE.

REMOVE ALL DEBRIS FROM SITE.

PROTECT AREAS EXPOSED BY DEMOLITION FROM WEATHER IMPACT.

REMOVE ALL PLUMBING FIXTURES

REMOVE ALL DUCTING

REMOVE ALL DOORS - INTERIOR AND EXTERIOR

REMOVE ALL WINDOWS

REMOVE ALL FLOORING THROUGHOUT - WOOD & TILE

LOCATE ALL UTILITIES INCLUDING BUT NOT LIMITED TO GAS, ELECTRIC, PLUMBING, HVAC AND SECURITY SYSTEM - IDENTIFY UTILITIES COORDINATION PRIOR TO CONSTRUCTION

REMOVE ROOFING MATERIAL AND ROOF JOISTS. BRACE AS NEEDED

REMOVE WALL WHERE NOTED TO ACCOMMODATE NEW WINDOWS AND DOORS AS SHOWN

DEMOLITION PARTITION TYPES

EXISTING WALL

NEW WALL

DEMOLITION WALL

FINISH SCHEDULE ROOF

| TYPE | DESCRIPTION |
|---|---|
| EX2 | STANDING SEAM METAL |

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JOB No: 1064 START DATE:
DRAWN BY: CH/AV/MS TOTAL SHEET SETS:

**DRAWING:** DEMO AND ROOF PLAN BLDG 02

**PH A1.0**

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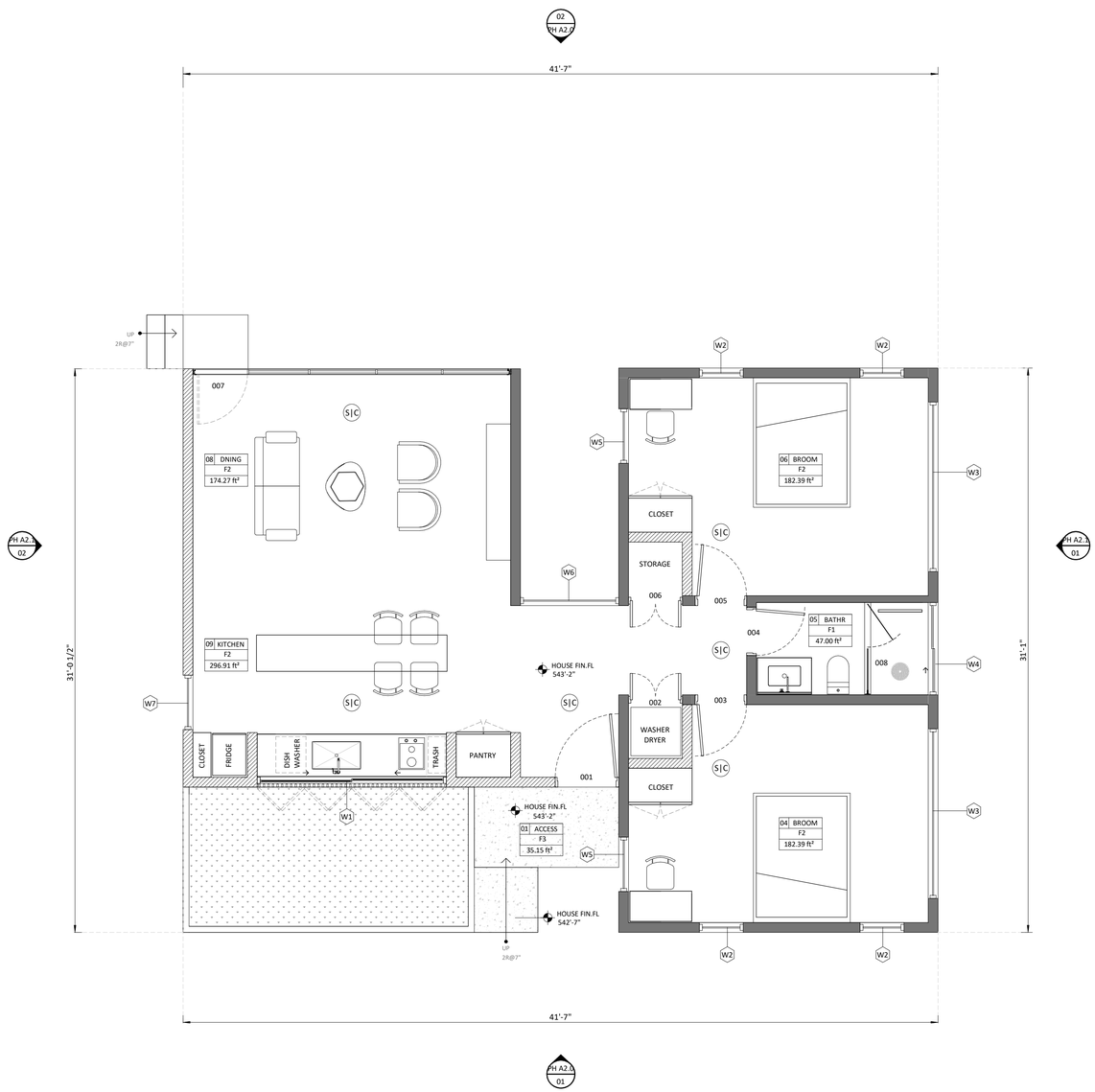


# FLOOR PLAN 01

SCALE 1/4" = 1'-0"

ARCHITECTURAL SYMBOLS

ALL DIMENSIONS RELEVANT TO FRAMING ARE TO FACE OF STUD UNLESS NOTED OTHERWISE

DOORS INDICATED THUS: XXX
REFER DOOR SCHEDULE

DOOR SWINGS AS INDICATED ON PLAN

WINDOWS INDICATED THUS: XX
REFER FOR WINDOW SCHEDULE

ROOM FINISH INDICATED THUS: XXX
SCHEDULE THIS PAGE

SMOKE AND CARBON DETECTORS S|C

ALL FLOOR MATERIAL DIFFERENTIALS TO BE 1/2" MAX

FINISH SCHEDULE NOTES

OWNER AND ARCHITECT TO REVIEW COLOR & MATERIAL SAMPLES PRIOR TO FINAL INSTALL

DETAIL NUMBER 00
SHEET NUMBER A.00

SECTION NUMBER 00
SHEET NUMBER A.00

LEVEL NUMBER XXXX FIN.FL
00' 00"

SHEET NUMBER A.00
ELEVATION NUMBER 00

ROOM NUMBER #
FINISH FLOOR F
FOOT SQUARE ft2

WALL SCHEDULE TYPES

| TYPE | DESCRIPTION |
|---|---|
| 001 | WOOD STUD 2x6" AND TRACK |
| 002 | WOOD STUD 2x4" AND TRACK |
| 003 | CONCRETE WALL THICKNESS 4" |
| 004 | CONCRETE WALL THICKNESS 1 3/4" |
| 005 | WIRE METAL MESH |
| 006 | VERTICAL WOOD LOUVERS 2x1" @ 3" |

FINISH SCHEDULE WALLS

| TYPE | DESCRIPTION |
|---|---|
| EX1 | WOODEN SIDING (EXISTING) AND MATCH EXISTING |
| EX3 | EXTERIOR CONCRETE EXPOSED |
| W1 | DRYWALL WHITE |
| W2 | TILE |
| W3 | WOOD 3/4" THICKNESS |
| W4 | WOOD 3/4" THICKNESS |
| W5 | TILE |

FINISH SCHEDULE CEILING

| TYPE | DESCRIPTION |
|---|---|
| C1 | DRYWALL DROPPED 1/2" THICKNESS |
| C2 | WOODEN DOUGLAS FIR 3/4" THICKNESS |
| C3 | WOODEN DOUGLAS FIR 3/4" THICKNESS |
| C4 | LONGLEAVE W/ EXPOSED STRUCTURE 3/4" THICKNESS |

FINISH SCHEDULE FLOOR

| TYPE | DESCRIPTION |
|---|---|
| F1 | TILE |
| F2 | WOODEN FLOOR THICKNESS 3/4" |
| F3 | DECK |
| F4 | CONCRETE SLAB EXPOSED |

FINISH SCHEDULE ROOF

| TYPE | DESCRIPTION |
|---|---|
| EX2 | STANDING SEAM METAL |

**PROJECT:**

**NEWTON**
1711 NEWTON
AUSTIN, TX

**STAMP:**

REGISTERED ARCHITECT
CRAIG R. HOVERMAN
28109
STATE OF TEXAS

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|---|---|---|
| 1 | -NOV.2023 | -PERMIT SET |

**OWNER:**

**DIXIE DOG LLC**
**1711 NEWTON ST**
**AUSTIN, TEXAS 78704**

**ENGINEER:**

**FORT STRUCTURES, Inc.**
**SAM COVEY**
**2120 E 7th St, Ste 200**
**AUSTIN, TEXAS 78702**
**TBPE FIRM # 18034**

**DESIGNER:**

**DIG:A**
**Craig Hoverman**
**414 West Annie Street**
**AUSTIN, TEXAS 78704**
**(512) 586-8652**

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**DRAWING:** FLOOR PLAN BLDG 02

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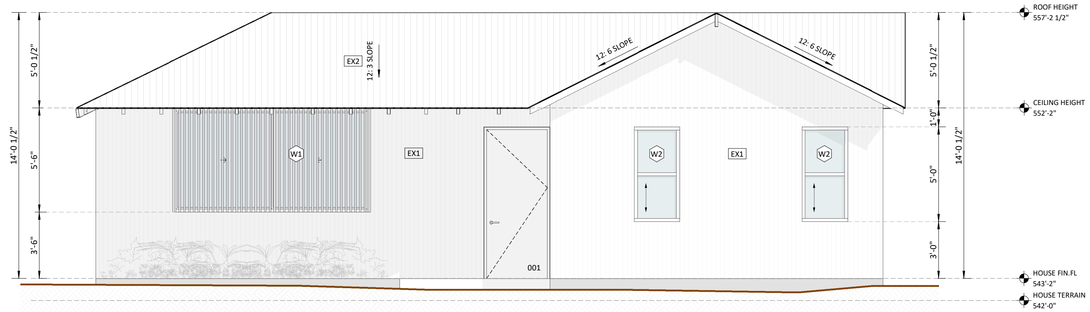
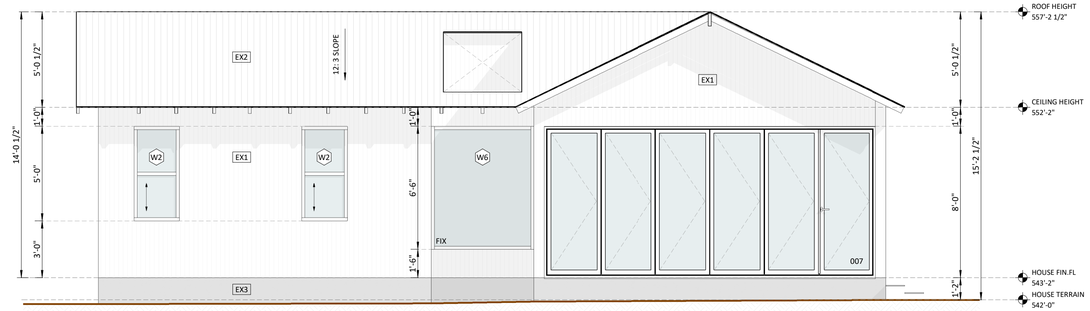



# FRONT ELEVATION **01**

SCALE 1/4" = 1'-0"




# BACK ELEVATION **02**

SCALE 1/4" = 1'-0"

ARCHITECTURAL SYMBOLS

ALL DIMENSIONS RELEVANT TO FRAMING ARE TO FACE OF STUD UNLESS NOTED OTHERWISE

DOORS INDICATED THUS: XXX
REFER DOOR SCHEDULE

DOOR SWINGS AS INDICATED ON PLAN

WINDOWS INDICATED THUS: XX
REFER FOR WINDOW SCHEDULE

ROOM FINISH INDICATED THUS: XXX
SCHEDULE THIS PAGE

SMOKE AND CARBON DETECTORS S C

ALL FLOOR MATERIAL DIFFERENTIALS TO BE 1/2" MAX

FINISH SCHEDULE NOTES

OWNER AND ARCHITECT TO REVIEW COLOR & MATERIAL SAMPLES PRIOR TO FINAL INSTALL

DETAIL NUMBER 00
SHEET NUMBER A.00

SECTION NUMBER 00
SHEET NUMBER A.00

LEVEL NUMBER XXXX FIN.FL 00' 00"

SHEET NUMBER A.00
ELEVATION NUMBER 00

ROOM NUMBER #
FINISH FLOOR F
FOOT SQUARE ft2

WALL SCHEDULE TYPES

| TYPE | DESCRIPTION |
|---|---|
| 001 | WOOD STUD 2x6" AND TRACK |
| 002 | WOOD STUD 2x4" AND TRACK |
| 003 | CONCRETE WALL THICKNESS 4" |
| 004 | CONCRETE WALL THICKNESS 1 3/4" |
| 005 | WIRE METAL MESH |
| 006 | VERTICAL WOOD LOUVERS 2x1" @ 3" |

FINISH SCHEDULE WALLS

| TYPE | DESCRIPTION |
|---|---|
| EX1 | WOODEN SIDING (EXISTING) AND MATCH EXISTING |
| EX3 | EXTERIOR CONCRETE EXPOSED |
| W1 | DRYWALL WHITE |
| W2 | TILE |
| W3 | WOOD 3/4" THICKNESS |
| W4 | WOOD 3/4" THICKNESS |
| W5 | TILE |

FINISH SCHEDULE CEILING

| TYPE | DESCRIPTION |
|---|---|
| C1 | DRYWALL DROPPED 1/2" THICKNESS |
| C2 | WOODEN DOUGLAS FIR 3/4" THICKNESS |
| C3 | WOODEN DOUGLAS FIR 3/4" THICKNESS |
| C4 | LONGLEAVE W/ EXPOSED STRUCTURE 3/4" THICKNESS |

FINISH SCHEDULE FLOOR

| TYPE | DESCRIPTION |
|---|---|
| F1 | TILE |
| F2 | WOODEN FLOOR THICKNESS 3/4" |
| F3 | DECK |
| F4 | CONCRETE SLAB EXPOSED |

FINISH SCHEDULE ROOF

| TYPE | DESCRIPTION |
|---|---|
| EX2 | STANDING SEAM METAL |

**PROJECT:**

**NEWTON**
1711 NEWTON
AUSTIN, TX

**STAMP:**

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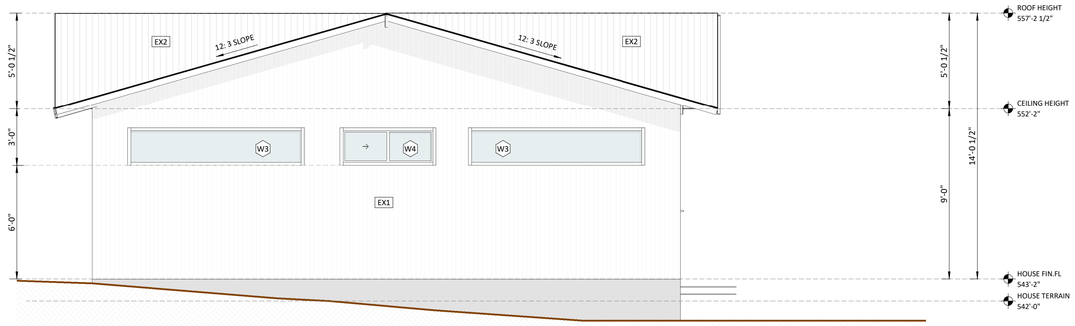
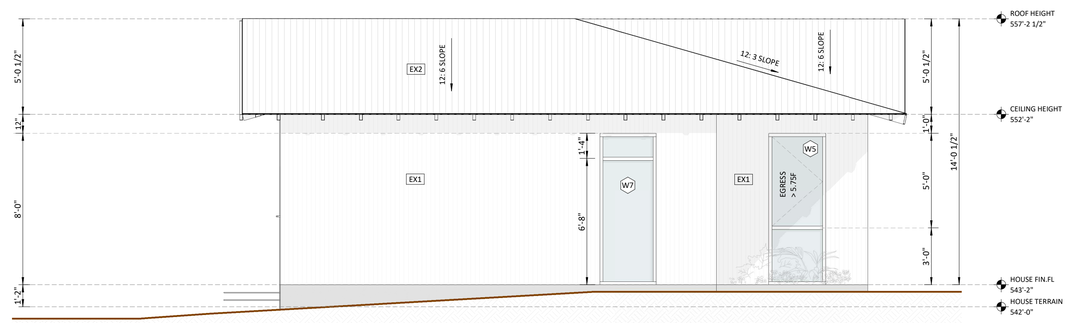



# LEFT ELEVATION **01**

SCALE 1/4" = 1'-0"




# RIGHT ELEVATION **02**

SCALE 1/4" = 1'-0"

ARCHITECTURAL SYMBOLS

ALL DIMENSIONS RELEVANT TO FRAMING ARE TO FACE OF STUD UNLESS NOTED OTHERWISE

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REFER DOOR SCHEDULE

DOOR SWINGS AS INDICATED ON PLAN

WINDOWS INDICATED THUS: XX
REFER FOR WINDOW SCHEDULE

ROOM FINISH INDICATED THUS: XXX
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SMOKE AND CARBON DETECTORS S|C

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FINISH SCHEDULE NOTES

OWNER AND ARCHITECT TO REVIEW COLOR & MATERIAL SAMPLES PRIOR TO FINAL INSTALL

DETAIL NUMBER 00
SHEET NUMBER A.00

SECTION NUMBER 00
SHEET NUMBER A.00

LEVEL NUMBER XXXX FIN.FL 00' 00"

SHEET NUMBER A.00
ELEVATION NUMBER 00

ROOM NUMBER #
FINISH FLOOR ROOM
FOOT SQUARE F
ft2

WALL SCHEDULE TYPES

| TYPE | DESCRIPTION |
|---|---|
| 001 | WOOD STUD 2x6" AND TRACK |
| 002 | WOOD STUD 2x4" AND TRACK |
| 003 | CONCRETE WALL THICKNESS 4" |
| 004 | CONCRETE WALL THICKNESS 1 3/4" |
| 005 | WIRE METAL MESH |
| 006 | VERTICAL WOOD LOUVERS 2x1" @ 3" |

FINISH SCHEDULE WALLS

| TYPE | DESCRIPTION |
|---|---|
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| W2 | TILE |
| W3 | WOOD 3/4" THICKNESS |
| W4 | WOOD 3/4" THICKNESS |
| W5 | TILE |

FINISH SCHEDULE CEILING

| TYPE | DESCRIPTION |
|---|---|
| C1 | DRYWALL DROPPED 1/2" THICKNESS |
| C2 | WOODEN DOUGLAS FIR 3/4" THICKNESS |
| C3 | WOODEN DOUGLAS FIR 3/4" THICKNESS |
| C4 | LONGLEAVE W/ EXPOSED STRUCTURE 3/4" THICKNESS |

FINISH SCHEDULE FLOOR

| TYPE | DESCRIPTION |
|---|---|
| F1 | TILE |
| F2 | WOODEN FLOOR THICKNESS 3/4" |
| F3 | DECK |
| F4 | CONCRETE SLAB EXPOSED |

FINISH SCHEDULE ROOF

| TYPE | DESCRIPTION |
|---|---|
| EX2 | STANDING SEAM METAL |

**PROJECT:**

**NEWTON**
1711 NEWTON
AUSTIN, TX

**STAMP:**

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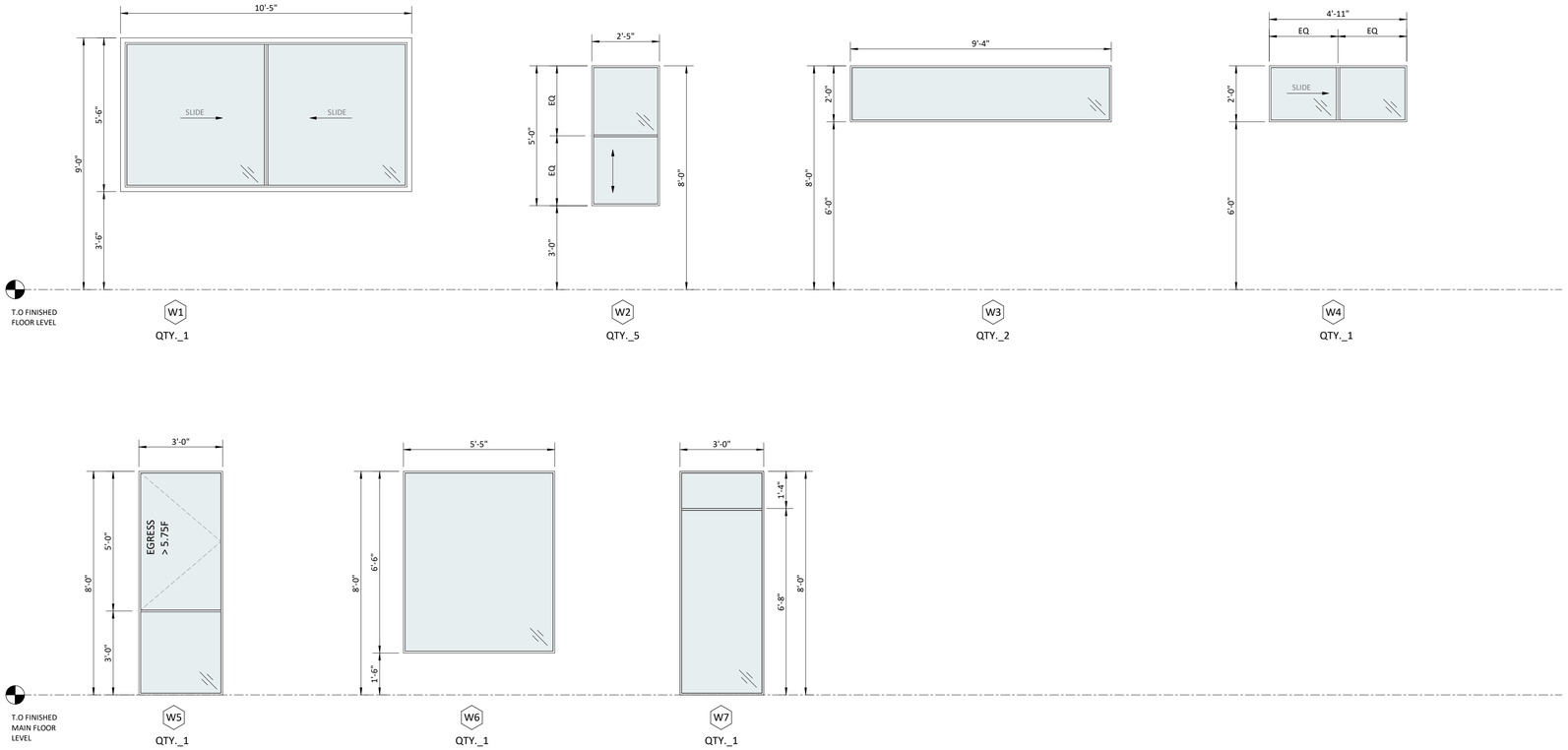


NOTES WINDOW SCHEDULE

FIELD VERIFY ALL WINDOW DIMENSIONS

ALL ALUMINUM FRAMES TO BE ACCORDING TO SCHEDULE SPEC. DOOR SWINGS AS INDICATED ON PLAN

ALL OPERABLE WINDOWS TO HAVE SCREENS

ALL INSULATED GLASS TO BE LOW-E

FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

A. FIXED AND OPERABLE PANELS OF SWINGING SLIDING AND BIFOLD DOOR ASSEMBLIES

B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS

- EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
- BOTTOM EDGE LESS THAT 18" ABOVE FLOOR
- TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
- ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.

D. GLAZING IN RAILS

E. GLAZING IN ENCLOSURES FOR OR FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE TO BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

F. GLAZING IN FENCES AND WALLS ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" MEASURED HORIZONTALLY MEASURED IN A STRAIGHT LINE OF THE WATERS EDGE.

G. GLAZING ADJACENT TO STAIRWAYS LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE

H. GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

**WINDOW SCHEDULE**

| TYPE | AMOUNT | WIDTH | HEIGHT | TYPE WINDOW | GLAZING | FRAME | COLOR | MFGR | U-FACTOR | SHGC | HEAD DETAIL | JAMB DETAIL | SILL DETAIL | NOTES |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| W1 | 1 | 10'-5" | 5'-6" | SLIDING | DUAL GLAZED | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | .5 | .25 | XX/XX | XX/XX | XX/XX | (2) PANEL OPERABLE SLIDING |
| W2 | 4 | 2'-5" | 5'-0" | FIXED / CASEMENT | DUAL GLAZED | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | .5 | .25 | XX/XX | XX/XX | XX/XX | (1) PANEL FIXED (1) OPERABLE PANEL |
| W3 | 2 | 9'-4" | 2'-0" | FIXED | DUAL GLAZED | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | .5 | .25 | XX/XX | XX/XX | XX/XX | (1) PANEL FIXED |
| W4 | 1 | 5'-1" | 2'-0" | SLIDING | DUAL GLAZED | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | .5 | .25 | XX/XX | XX/XX | XX/XX | (1) PANEL FIXED (1) OPERABLE PANEL SLIDING |
| W5 | 2 | 3'-0" | 8'-0" | FIXED / CASEMENT | DUAL GLAZED | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | .5 | .25 | XX/XX | XX/XX | XX/XX | (2) PANEL FIXED (1) OPERABLE PANEL EGRESS TO EXTERIOR |
| W6 | 1 | 5'-5" | 6'-6" | FIXED | DUAL GLAZED | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | .5 | .25 | XX/XX | XX/XX | XX/XX | (1) PANEL FIXED |
| W7 | 1 | 3'-0" | 8'-0" | SLIDING | DUAL GLAZED | ALUMINUM | BLACK ANODIZED | FLEETWOOD & MILGARD | .5 | | XX/XX | XX/XX | XX/XX | (2) PANEL OPERABLE SLIDING |

**PROJECT:**

# NEWTON
1711 NEWTON
AUSTIN, TX

**STAMP:**

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|---|---|---|
| 1 | -NOV.2023 | -PERMIT SET |

**OWNER:**

**DIXIE DOG LLC**
**1711 NEWTON ST**
**AUSTIN, TEXAS 78704**

**ENGINEER:**

**FORT STRUCTURES, Inc.**
**SAM COVEY**
**2120 E 7th St, Ste 200**
**AUSTIN, TEXAS 78702**
**TBPE FIRM # 18034**

**DESIGNER:**

**DIG:A**
**Craig Hoverman**
**414 West Annie Street**
**AUSTIN, TEXAS 78704**
**(512) 586-8652**

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**DRAWING:** WINDOW SCHEDULES BLDG 02

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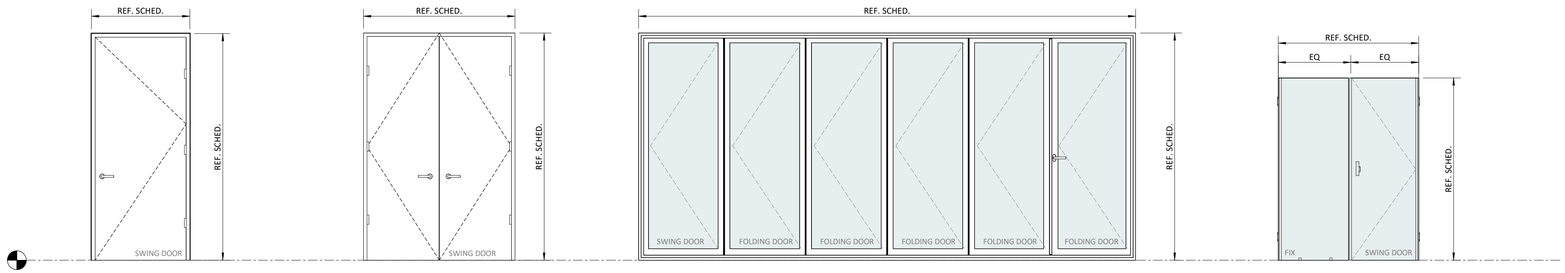


TYPE A
QTY._4

TYPE C
QTY._2

TYPE E
QTY._1

TYPE F
QTY._1

**DOOR SCHEDULE**

| NUMBER | TYPE DOOR | WIDTH | HEIGHT | THICKNESS | DOOR MATERIAL | FRAME MATERIAL | HARDWARE SET | HINGES | DOOR STOP | HEAD DETAIL | DOOR HANDED | SILL DETAIL | NOTES |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 001 | A | 3'-6" | 8'-0" | 0'-1 3/4" | SINGLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | RIGHT HANDED | N/A | SINGLE HINGED DOOR TO MAIN ENTRANCE |
| 002 | C | 2'-11 1/2" | 8'-0" | 0'-1 3/4" | DOUBLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | DOUBLE HANDED | N/A | DOUBLE HINGED DOOR TO CLOSET |
| 003 | A | 2'-10" | 8'-0" | 0'-1 3/4" | SINGLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | RIGHT HANDED | N/A | SINGLE HINGED DOOR TO BEDROOM |
| 004 | A | 2'-8" | 8'-0" | 0'-1 3/4" | SINGLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | LEFT HANDED | N/A | SINGLE HINGED DOOR TO BATHROOM |
| 005 | A | 2'-10" | 8'-0" | 0'-1 3/4" | SINGLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | LEFT HANDED | N/A | SINGLE HINGED DOOR TO BEDROOM |
| 006 | C | 2'-11 1/2" | 8'-0" | 0'-1 3/4" | DOUBLE HINGED DOOR SOLID CORE WOOD | WOOD | BY OWNER | N/A | N/A | N/A | DOUBLE HANDED | N/A | DOUBLE HINGED DOOR TO CLOSET |
| 007 | O | 17'-6" | 8'-0" | 0'-0 1/2" | (6 PANELS) FOLDING GLASS DOOR, LEFT OPENING | ANODIZED BLACK | BY OWNER | N/A | N/A | N/A | RIGHT HANDED | N/A | FOLDING DOOR |
| 008 | F | 5'-0" | 6'-5" | 0'-0 1/2" | TEMPERED GLASS SHOWER DOOR | - | BY OWNER | N/A | N/A | N/A | LEFT HANDED | N/A | TEMPERED GLASS SHOWER DOOR - SITE MEASURE |

NOTES DOOR SCHEDULE

NOTES: REFER TO FLOOR PLANS FOR DIRECTION OF DOOR SWING- TYPICAL

ALL ACCESSIBLE DOORS TO BE 32" MIN WIDTH

DOORS BETWEEN GARAGE AND DWELLING UNIT SHALL BE SELF CLOSING AND SELF LATCHING, SOLID WOOD OR SOLID HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8" THICK OR HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES.

FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

A. FIXED AND OPERABLE PANELS OF SWINGING SLIDING AN BIFOLD DOOR ASSEMBLIES FIXED AND OPERABLE PANELS OF SWINGING SLIDING AN BIFOLD DOOR ASSEMBLIES

B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE. THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

1.1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.

1.2. BOTTOM EDGE LESS THAT 18" ABOVE FLOOR. BOTTOM EDGE LESS THAT 18" ABOVE FLOOR.

1.3. TOP EDGE GREATER THAN 36" ABOVE THE FLOOR. TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.

1.4. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.

D. GLAZING IN RAILS GLAZING IN RAILS

E. GLAZING IN ENCLOSURES FOR OR FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE TO BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. GLAZING IN ENCLOSURES FOR OR FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE TO BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

F. GLAZING IN FENCES AND WALLS ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" MEASURED HORIZONTALLY MEASURED IN A STRAIGHT LINE OF THE WATERS EDGE. GLAZING IN FENCES AND WALLS ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS, AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" MEASURED HORIZONTALLY MEASURED IN A STRAIGHT LINE OF THE WATERS EDGE.

G. GLAZING ADJACENT TO STAIRWAYS LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE. GLAZING ADJACENT TO STAIRWAYS LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE.

H. GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

**PROJECT:**

# NEWTON
1711 NEWTON
AUSTIN, TX

**STAMP:**

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JOB No: 1064 START DATE:
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**DRAWING:** DOORS SCHEDULES BLDG 02

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