

**AUSTIN CITY COUNCIL
MINUTES****REGULAR MEETING
THURSDAY, NOVEMBER 30, 2023**

The following represents the actions taken by the Austin City Council in the order they occurred during the meeting. While the minutes are not in sequential order, all agenda items were discussed. The City Council of Austin, Texas, convened in a regular meeting on Thursday, November 30, 2023, at Austin City Hall, 301 W. 2nd Street, Austin, TX and via videoconference.

PROCLAMATIONS

Proclamation – Austin Public Works Accreditation Month – To be presented by Mayor Kirk Watson and to be accepted by Richard Mendoza, Transportation and Public Works Interim Director and representatives of the American Public Works Association

Proclamation – Karen Crawford Day – To be presented by Council Member José “Chito” Vela and to be accepted by Karen Crawford, adjunct clinical professor at the UT Law School Immigration Clinic

Proclamation – Danny Fetonte Remembrance Day – To be presented by Council Member José “Chito” Vela and to be accepted by Barbara Fetonte

Proclamation – Bethany Cemetery Day – To be presented by Council Member Natasha Harper-Madison and to be accepted by Sue Spears, President of the Bethany Cemetery Association

Mayor Watson called the Council Meeting to order at 10:00 a.m. Council Member Ryan Alter was absent.

CONSENT AGENDA

The following items were acted on by one motion.

1. Approve the minutes of the Austin City Council work session of October 31, 2023, regular meeting of November 2, 2023, work session of November 7, 2023, and regular meeting of November 9, 2023.

The motion to approve the minutes of the Austin City Council work session of October 31, 2023, regular meeting of November 2, 2023, work session of November 7, 2023, and regular meeting of November 9, 2023, was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

2. Authorize negotiation and execution of an amendment to the interlocal agreement with Travis County for the City's provision of animal services, for a 12-month term in an estimated amount of \$3,368,147 to be paid to the City.

The motion authorizing the negotiation and execution of an amendment to the interlocal agreement with Travis County was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

3. Approve issuance of a capacity-based incentive to Public Storage Orangeco Inc. for the installation of solar electric systems on 20 of its facilities in the Austin Energy service territory, in an amount not to exceed \$388,776 and approve issuance of a five-year performance-based incentive to Public Storage Orangeco Inc., in a total amount not to exceed \$1,024,185.28.

The motion to approve issuance of a capacity-based incentive to Public Storage Orangeco Inc. was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

4. Approve issuance of a five-year performance-based incentive to Starwood Capital Group LLC for the installation of solar electric systems on its facilities located at 8310 North Capital of Texas Highway Southbound 2, Austin, Texas 78759 and 5707 Southwest Parkway 1, Austin, Texas 78735, in an amount not to exceed \$770,089.

The motion to approve issuance of a five-year performance-based incentive to Starwood Capital Group LLC was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

5. Approve issuance of a capacity-based incentive to Westminster Presbyterian for the installation of solar electric systems on their facility located at 3208 Exposition Boulevard, Austin, Texas 78703, in an amount not to exceed \$82,215.

The motion to approve issuance of a capacity-based incentive to Westminster Presbyterian was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

6. Approve issuance of a capacity-based incentive to Westminster Manor Assisted Living for the installation of solar electric systems on their facility located at 4300 Bull Creek Road, Austin, Texas 78731, in an amount not to exceed \$144,936.

The motion to approve issuance of a capacity-based incentive to Westminster Manor Assisted Living was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

7. Approve an ordinance amending the Fiscal Year 2023-2024 Austin Water Operating Budget (Ordinance No. 20230816-008), for the purpose of defeasing and redeeming

outstanding bonds by increasing transfers in by \$1,000,000 and increasing transfers out by \$16,000,000; and amending the Fiscal Year 2023-2024 Combined Utility Revenue Bond Redemption Fund (Ordinance No. 20230816-008) to increase transfers in by a net amount of \$16,750,000 and increase expenditures by a net amount of \$16,750,000. Related to Item #18.

Ordinance No. 20231130-007 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

8. Approve a resolution authorizing negotiation and execution of an advanced funding agreement with the Texas Department of Transportation for the development and construction of mobility and safety improvements at Slaughter Lane and SL 275 (Congress Avenue), for an estimated project cost of \$400,000 plus any cost overruns. District(s) Affected: District 2.

Resolution No. 20231130-008 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

9. Approve a resolution amending the Family Business Loan Program guidelines and criteria, including modifications to increase the maximum loan amount and establish an approval process for proposed loans exceeding the maximum loan amount and modifications to increase the minimum amount of proposed loans under the Micro-loan Program.

Resolution No. 20231130-009 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

10. Approve a resolution nominating NXP USA, Inc., located at 3949 Ed Bluestein Boulevard, Austin, Texas, for designation by the Governor's Office of Economic Development and Tourism as a single Texas enterprise project in accordance with Texas Government Code Chapter 2303.

Resolution No. 20231130-010 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

11. Approve a resolution nominating NXP USA, Inc., located at 6501 West William Cannon, Austin, Texas, for designation by the Governor's Office of Economic Development and Tourism as a single Texas enterprise project in accordance with Texas Government Code Chapter 2303.

Resolution No. 20231130-011 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

12. Authorize negotiation and execution of a Creative Content Incentive Program agreement with Eye Productions Inc. for continued production of "Walker," in an amount not to exceed \$179,090.11.

The motion authorizing the negotiation and execution of a Creative Content Incentive Program agreement with Eye Productions Inc. was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

13. Authorize negotiation and execution of a comprehensive development agreement and all other documents and instruments necessary or desirable with Catellus Development Corporation d/b/a CDC Colony Park Holdings, L.P. (Catellus) for the development of 208 acres of City-owned land located at 7900 Loyola Lane, known as the Colony Park Sustainable Community, and authorizing the expenditure of \$500,000 to reimburse Catellus for a portion of its pre-development services costs. Related to Item #107. District(s) Affected: District 1.
The motion authorizing the negotiation and execution of a comprehensive development agreement and all other documents and instruments necessary or desirable with Catellus Development Corporation doing business as CDC Colony Park Holdings, L.P. (Catellus) was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.
14. Approve a resolution authorizing the issuance by Pilot Knob Municipal Utility District No. 2 of Unlimited Tax Bonds, Series 2023, in a principal amount not to exceed \$3,225,000.
Resolution No. 20231130-014 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.
15. Approve a resolution authorizing the issuance by Pilot Knob Municipal Utility District No. 2 of Unlimited Tax Road Bonds, Series 2023A, in a principal amount not to exceed \$3,475,000.
Resolution No. 20231130-015 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.
16. Approve a resolution authorizing the issuance by Pilot Knob Municipal Utility District No. 3 of Unlimited Tax Bonds, Series 2023, in a principal amount not to exceed \$7,500,000.
Resolution No. 20231130-016 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.
17. Approve a resolution authorizing the issuance by Pilot Knob Municipal Utility District No. 3 of Unlimited Tax Road Bonds, Series 2023A, in a principal amount not to exceed \$7,875,000.
Resolution No. 20231130-017 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.
18. Approve a resolution authorizing the defeasance of certain outstanding Water and Wastewater System Revenue Bonds, including authorizing the execution of an escrow agreement and related documents. Related to Item #7.
Resolution No. 20231130-018 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

Item 19 was pulled for discussion.

20. Approve an ordinance denying CenterPoint Energy Resources Corporation's request to change its natural gas distribution rate schedules.

Ordinance No. 20231130-020 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

Item 21 was pulled for discussion.

22. Authorize execution of a contract for air cushion swing check valves and repair services with Integral Logistics Corp., for a term of five years in an amount not to exceed \$5,000,000. [Note: This solicitation was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9C (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the goods and services required for this solicitation, there were insufficient subcontracting opportunities; therefore, no subcontracting goals were established].

The motion authorizing the execution of a contract with Integral Logistics Corp. was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

23. Authorize an amendment to the contract for additional design, bid/award, construction phase, and warranty phase services for the Branch Library Interior Renovations project with MWM Design Group, Inc., in the amount of \$334,199, for a revised total contract amount not to exceed \$1,019,199. [Note: This amendment will be awarded in compliance with City Code 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). Current participation to date is 34.67% MBE and 61.00% WBE].

Withdrawn.

24. Authorize execution of a contract for construction services for the Braker Lane Extension from Samsung Boulevard to Dawes Place project with Joe Bland Construction, LP, in the amount of \$22,536,726 plus a \$2,253,673 contingency, for a total contract amount not to exceed \$24,790,399. [Note: This contract will be awarded in compliance with the requirements of 49 CFR Part 26 (Disadvantaged Business Enterprise Program) and City Code Chapter 2-9A (Minority-Owned and Women-Owned Business Enterprise Procurement Program) by meeting the goal with 8.62% DBE participation]. District(s) Affected: District 1.

The motion authorizing the execution of a contract with Joe Bland Construction, LP, was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

25. Authorize execution of a contract for construction services for the Little Walnut Creek Park Plaza Stream Stabilization project with Austin Filter Systems, Inc. in the amount of \$2,110,940 plus a \$211,094 contingency, for a total contract amount not to exceed \$2,322,034. [Note: This contract will be awarded in compliance with City Code Chapter 2-9A (Minority-Owned and Women-Owned Business Enterprise Procurement Program) by meeting the goals with 29.14% MBE and 1.44% WBE participation]. District(s) Affected: District 4.

The motion authorizing the execution of a contract with Austin Filter Systems, Inc., was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

26. Authorize execution of a contract for hauling services for heavy electric utility equipment with H. Brown, Inc., for up to three years for a total contract amount not to exceed \$2,000,000. [Note: This solicitation was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the and services required for this solicitation, there were insufficient subcontracting opportunities, therefore no subcontracting goals were established].

The motion authorizing the execution of a contract with H. Brown, Inc., was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

27. Authorize negotiation and execution of a contract for forklift and boom services with MEI Rigging & Crating LLC, for up to three years for a total contract amount not to exceed \$1,300,000. [Note: This solicitation was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the services required for this solicitation, there was insufficient subcontracting opportunities; therefore, no subcontracting goals were established].

The motion authorizing the negotiation and execution of a contract with MEI Rigging & Crating LLC was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

28. Authorize negotiation and execution of a contract for situational awareness and operational awareness visualization software maintenance, upgrades, and related services with Primate Technologies, Inc., for up to five years for a total contract amount not to exceed \$1,330,000. [Note: Sole source contracts are exempt from the City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program); therefore, no subcontracting goals were established].

The motion authorizing the negotiation and execution of a contract with Primate Technologies, Inc., was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

29. Authorize negotiation and execution of a contract for one-time preventive generator maintenance with Grid Solutions (US) LLC, in an amount not to exceed \$1,650,000. [Note: Sole source contracts are exempt from the City Code Chapter 2-9C (Minority-Owned and Women-Owned Business Enterprise Procurement Program); therefore, no subcontracting goals were established].

The motion authorizing the negotiation and execution of a contract with Grid Solutions (US) LLC was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

30. Authorize negotiation and execution of two contracts for pole inspection and remediation services with Osmose Utilities Services Inc. d/b/a Osmose Utilities Services, Inc., and

Constellation Energy Corporation d/b/a Constellation Energy Generation, LLC, each for up to six years, for a total amount not to exceed \$12,000,000, divided between the contractors. [Note: This solicitation was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the services required for this solicitation, there were no subcontracting opportunities; therefore, no subcontracting goals were established].

The motion authorizing the negotiation and execution of two contracts with Osmose Utilities Services Inc. doing business as Osmose Utilities Services, Inc., and Constellation Energy Corporation doing business as Constellation Energy Generation, LLC, was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

31. Authorize negotiation and execution of a contract for landfill gas collection monitoring services with Stearns Conrad and Schmidt Consulting Engineers, Inc., for up to five years for a total contract amount not to exceed \$1,000,000. [Note: This solicitation was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the services required for this solicitation, there were no subcontracting opportunities; therefore, no subcontracting goals were established].

The motion authorizing the negotiation and execution of a contract with Stearns Conrad and Schmidt Consulting Engineers, Inc., was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

32. Authorize negotiation and execution of a contract for electronic safety and security systems maintenance and support with Schneider Electric Buildings Americas, Inc. d/b/a Schneider Electric, for up to five years for a total contract amount not to exceed \$3,800,000. [Note: Sole source contracts are exempt from the City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program); therefore, no subcontracting goals were established.]

The motion authorizing the negotiation and execution of a contract with Schneider Electric Buildings Americas, Inc., doing business as Schneider Electric was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

33. Authorize negotiation and execution of a contract for payment processing services with RecTrac, LLC d/b/a Vermont Systems, for up to three years for a total contract amount not to exceed \$750,000. [Note: Sole source contracts are exempt from the City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program); therefore, no subcontracting goals were established].

The motion authorizing the negotiation and execution of a contract with RecTrac, LLC doing business as Vermont Systems, was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

34. Authorize an amendment to a contract for continued threat intelligence management platform support with Cyber Watch Systems, LLC, for an increase of \$405,000 for a

revised total contract amount not to exceed \$476,970. [Note: This procurement was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the services required for this procurement, there were no subcontracting opportunities; therefore, no subcontracting goals were established].

The motion authorizing an amendment to a contract with Cyber Watch Systems, LLC, was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

35. Authorize an amendment to a contract for continued email authentication service with Carahsoft Technology Corp., for an increase in the amount of \$375,000 and to extend the term by one year, for a revised total contract amount not to exceed \$437,210. [Note: This contract was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the services required for this contract, there were no subcontracting opportunities; therefore, no subcontracting goals were established].
- The motion authorizing an amendment to a contract with Carahsoft Technology Corp. was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.**

36. Authorize execution of a contract for bottled water for emergencies with King Daddy Distribution, LLC, for five years in an amount not to exceed \$400,000. [Note: This solicitation was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the goods required for this solicitation, there were no subcontracting opportunities; therefore, no subcontracting goals were established].
- The motion authorizing the execution of a contract with King Daddy Distribution, LLC, was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.**

37. Authorize execution of a contract for liquid ferric sulfate with Usalco Houston Plant, LLC, for a term of five years for a total contract amount not to exceed \$4,700,000. [Note: This solicitation was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the goods required for this solicitation, there were no subcontracting opportunities; therefore, no subcontracting goals were established].
- The motion authorizing the execution of a contract with Usalco Houston Plant, LLC, was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.**

38. Authorize execution of two contracts for safety footwear with Safety Shoe Distributors, LLP, and Red Wing Brands of America, Inc., each for a term of five years, for a total amount not to exceed \$4,500,000, divided between the contractors. [Note: This solicitation was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement

Program). For the goods required for this solicitation, there was an insufficient number of M/WBEs; therefore, no subcontracting goals were established].

The motion authorizing the execution of two contracts with Safety Shoe Distributors, LLP, and Red Wing Brands of America, Inc., was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

39. Authorize execution of five contracts for water utility components and accessories with Act Pipe & Supply, Inc., Core & Main, LP., Ferguson US Holding, Inc., FJ Turner Company, Inc., and Superior Gaskets, each for a term of five years, for a total amount not to exceed \$15,000,000, divided among the contractors. [Note: This solicitation was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the goods required for this solicitation, there were no subcontracting opportunities; therefore, no subcontracting goals were established].

The motion authorizing the execution of five contracts with Act Pipe & Supply, Inc., Core & Main, LP., Ferguson US Holding, Inc., FJ Turner Company, Inc., and Superior Gaskets was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

40. Authorize negotiation and execution of a contract for uninterruptible power supplies with related hardware and services with Insight Public Sector Inc., d/b/a Insight Public Sector, for a term of three years, in an amount not to exceed \$1,650,000. [Note: This procurement was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the goods and services required for this procurement, there were insufficient subcontracting opportunities; therefore, no subcontracting goals were established].

The motion authorizing the execution of a contract with Insight Public Sector Inc., doing business as Insight Public Sector, was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

41. Authorize negotiation and execution of a contract for tree supply, installation, and establishment for the corridor mobility program with Heritage Tree Care LLC, for up to seven years for a total contract amount not to exceed \$11,662,600. [Note: This solicitation was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the services required for this solicitation, there were no subcontracting opportunities; therefore, no subcontracting goals were established].

The motion authorizing the negotiation and execution of a contract with Heritage Tree Care LLC was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

42. Authorize negotiation and execution of a contract for the purchase and installation of industrial high volume low speed fans with Heat Transfer Solutions, Inc., for a term of one year in an amount not to exceed \$167,000. [Note: This procurement was reviewed

for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the goods and services required for this procurement, there were no subcontracting opportunities; therefore, no subcontracting goals were established].

The motion authorizing the negotiation and execution of a contract with Heat Transfer Solutions, Inc., was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

43. Authorize negotiation and execution of a contract for cloud-based street design software services with Via Transportation Inc./Remix Technologies LLC, d/b/a Remix Technologies, for up to five years, for a total contract amount not to exceed \$475,000. [Note: Sole source contracts are exempt from the City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program); therefore, no subcontracting goals were established].

The motion authorizing the negotiation and execution of a contract with Via Transportation Inc./Remix Technologies LLC, doing business as Remix Technologies, was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

44. Authorize negotiation and execution of a contract for a revenue cycle management solution with Waystar, Inc., for a term of five years in an amount not to exceed \$1,520,000. [Note: Sole source contracts are exempt from the City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program); therefore, no subcontracting goals were established].

The motion authorizing the negotiation and execution of a contract with Waystar, Inc., was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

45. Authorize negotiation and execution of two contracts for small business coaching with Economic Growth Business Incubator and PeopleFund, each for up to five years, for a total amount not to exceed \$750,000, divided between the contractors. [Note: This solicitation was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the services required for this solicitation, there were no subcontracting opportunities; therefore, no subcontracting goals were established].

The motion authorizing the negotiation and execution of two contracts with Economic Growth Business Incubator and PeopleFund was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

46. Ratify a contract for single-phase pad mount, three-phase pad mount, and single-phase pole mount transformers with PulseMAC Solutions, LLC, in the amount of \$6,952,040. [Note: This procurement was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the goods required for this procurement, there were no subcontracting opportunities; therefore, no subcontracting goals were established].

The motion to ratify a contract with PulseMAC Solutions, LLC, was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

47. Ratify a contract for electric utility wood poles with Weekes Forest Products, Inc., in the amount of \$1,134,500. [Note: This procurement was reviewed for subcontracting opportunities in accordance with City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program). For the goods required for this procurement, there were no subcontracting opportunities; therefore, no subcontracting goals were established].

The motion to ratify a contract with Weekes Forest Products, Inc., was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

48. Authorize an amendment to a contract for continued service of the UPLAN network management and modeling software, support, and subscription services with LCG Consulting, to increase the amount by \$520,000 and to extend the term by two years for a revised total contract amount not to exceed \$2,479,667. [Note: Sole source contracts are exempt from the City Code Chapter 2-9B (Minority-Owned and Women-Owned Business Enterprise Procurement Program); therefore, no subcontracting goals were established].

The motion authorizing an amendment to a contract with LCG Consulting was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

49. Approve a resolution finding the use of the construction manager at risk method of contracting, as authorized by Subchapter F, Chapter 2269 of the Texas Government Code, is the project delivery method that provides the best value to the City for the utility infrastructure project as part of the Airport Expansion and Development Program. (Note: MBE/WBE goals will be established prior to issuance of this solicitation).

Resolution No. 20231130-049 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

50. Authorize negotiation and execution of all documents and instruments necessary or desirable to release the City's liens encumbering Lot 2 of the Pecan Tillery Subdivision located at 1127 Tillery Street, Austin, Texas 78702. District(s) Affected: District 3.

The motion authorizing the negotiation and execution of all documents and instruments necessary or desirable to release the City's liens encumbering Lot 2 of the Pecan Tillery Subdivision located at 1127 Tillery Street, Austin, Texas 78702 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

51. Authorize negotiation and execution of all documents and instruments necessary or desirable to acquire in fee simple 0.119 acres (5,190 square feet) of land, situated in the Jesse C. Tannehill Survey No. 29, Abstract No. 22, in Travis County, Texas, and being the remainder of a called 6.32 acre tract of land described in a deed to Texas and New Orleans Railroad Company, as recorded in Volume 1099, Page 62, of the Deed Records Of Travis County, Texas, generally located on Bolm Road, adjacent to and to the west of 4712 Bolm Road, Austin, Texas 78702, from Union Pacific Railroad Company, for a

total amount not to exceed \$132,180 including closing costs. District(s) Affected: District 3.

The motion authorizing the negotiation and execution of all documents and instruments necessary or desirable to acquire in fee simple 0.119 acres (5,190 square feet) of land, situated in the Jesse C. Tannehill Survey No. 29, Abstract No. 22, in Travis County, Texas, from Union Pacific Railroad Company was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

52. Authorize negotiation and execution of a contract with HousingWorks Austin to perform work related to research, data collection, reporting, and engagement initiatives in an amount not to exceed \$100,000 for an initial one-year term, with two additional one-year extensions not to exceed \$100,000 each, for a total contract amount not to exceed \$300,000.

The motion authorizing the negotiation and execution of a contract with HousingWorks Austin was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

53. Authorize negotiation and execution of a contract with Austin Tenants' Council to administer the Tenants' Rights Assistance Program, for up to three years for a total contract amount not to exceed \$900,000.

Withdrawn.

54. Ratify the first amendment to an agreement with Family Eldercare, Inc. for renovating the Pecan Gardens (formerly known as Candlewood Suites) located at 10811 Pecan Park Boulevard, Austin, Texas 78750, which extended the term of the agreement to March 31, 2024, and provided for an additional extension of the term if needed, and authorized negotiation and execution of a second amendment to add an additional \$2,695,112 for a total contract amount not to exceed \$6,598,328.13. District(s) Affected: District 6.

The motion to ratify the first amendment to an agreement with Family Eldercare, Inc., was approved on consent on a 9-0 vote. Council Member Alison Alter abstained. Council Member Ryan Alter was absent.

55. Authorize negotiation and execution of a second amendment to the agreement with Austin-Travis County Mental Health and Mental Retardation Center d/b/a Integral Care for renovating the Bungalows at Century Park (formerly known as the Texas Bungalows Hotel & Suites) located at 13311 Burnet Road, Austin, Texas 78727 to add an additional \$397,002.03 for a total contract amount not to exceed \$1,761,212.43. District(s) Affected: District 7.

The motion authorizing the negotiation and execution of a second amendment to the agreement with Austin-Travis County Mental Health and Mental Retardation Center doing business as Integral Care was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

56. Approve an ordinance repealing Ordinance Nos. 820401-D, 850506-A, 900315-C, and 20201203-042 and adopting updated requirements and provisions that apply to the use of Community Development Block Grant funds.
Ordinance No. 20231130-056 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.
57. Authorize negotiation and execution of an amendment to the Fiscal Year 2023-2024 service agreement with the Austin Housing Finance Corporation to increase its funding in the amount of \$4,791,036 for a total contract amount not to exceed \$117,525,451.
The motion authorizing the negotiation and execution of an amendment to the Fiscal Year 2023-2024 service agreement with the Austin Housing Finance Corporation was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.
58. Approve an ordinance amending the Fiscal Year 2023-2024 Housing Department's Operating Budget (Ordinance No. 20230816-008) to increase appropriations by \$7,883,150 in the Housing Trust Fund, reduce its ending balance by the same amount, and transfer to and appropriate \$7,883,150 in the Housing Department's Capital Budget (Ordinance No. 20230816-008) for housing activities.
Ordinance No. 20231130-058 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.
59. Authorize negotiation and execution of an amendment to a contract with Burgess Law PC for legal services related to Cause No. 23-F-0279, City of San Antonio acting by and through the City Public Service Board of San Antonio, a Texas municipally-owned utility, et al. v. NRG South Texas, LP, et al., in the 130th Judicial District Court of Matagorda County, Texas, in an amount not to exceed \$65,000, for a total contract amount not to exceed \$135,000.
The motion authorizing the negotiation and execution of an amendment to a contract with Burgess Law PC was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.
60. Approve The Trail Conservancy's 2024 Annual Programming Plan for the Ann and Roy Butler Hike-and-Bike Trail at Town Lake Metropolitan Park.
The motion to approve The Trail Conservancy's 2024 Annual Programming Plan for the Ann and Roy Butler Hike-and-Bike Trail at Town Lake Metropolitan Park was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.
61. Approve a resolution authorizing the City's continued membership in the Capital Area Council of Governments and payment of the related membership fee, in an amount not to exceed \$97,444.70.
Resolution No. 20231130-061 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.
62. Authorize negotiation and execution of Amendment No. 2 to the agreement with Child, Inc. to administer the Early Head Start Program, to add funding in an amount not to

exceed \$189,085 to the current term ending on September 30, 2024, and \$189,085 to the remaining renewal option, for a revised total agreement amount not to exceed \$695,470.

The motion authorizing the negotiation and execution of Amendment No. 2 to the agreement with Child, Inc., was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

63. Authorize negotiation and execution of an agreement with A New Entry to provide residential substance abuse treatment support services to individuals experiencing homelessness, for a 12-month term beginning December 1, 2023 in an amount not to exceed \$550,000.

The motion authorizing the negotiation and execution of an agreement with A New Entry was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

64. Approve an ordinance amending the Fiscal Year 2023-2024 Austin Public Health Department Operating Budget Special Revenue Fund (Ordinance No. 20230818-008) to accept and appropriate \$300,000 in additional grant funds from the Texas Department of Health Services for the HIV Prevention Grant.

Ordinance No. 20231130-064 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

65. Authorize negotiation and execution of Amendment No. 3 to the interlocal agreement with Austin Independent School District, d/b/a Austin ISD, to fund and administer the CDBG Teen Parent Child Care Program by adding \$63,028 to the current term and adding \$63,028 to the one remaining 12-month renewal option, for a revised total agreement amount not to exceed \$698,500.

The motion authorizing the negotiation and execution of Amendment No. 3 to the interlocal agreement with Austin Independent School District, doing business as Austin ISD, was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

66. Authorize negotiation and execution of an interlocal agreement with the Capital Area Council of Governments (CAPCOG) to provide funding in support of CAPCOG's role in regional coordination of air quality program activities, including, air quality monitoring, Central Texas Clean Air Coalition coordination, outreach activities, air quality planning, data collection and analysis, for a 12-month term in an amount not to exceed \$160,000, with two additional 12-month terms for a total agreement amount not to exceed \$480,000.

The motion authorizing the negotiation and execution of an interlocal agreement with the Capital Area Council of Governments (CAPCOG) was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

67. Approve an ordinance amending City Code Section 12-4-64 (Table of Speed Limits) to modify the speed limit on Farm to Market Road 734 (Parmer Lane) and provide for emergency passage. District(s) Affected: District 1, District 7.

Ordinance No. 20231130-067 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

68. Approve an ordinance amending City Code Section 12-4-64 (Table of Speed Limits) to establish a maximum speed limit of 50 MPH on a segment of East Howard Lane. District(s) Affected: District 1.

Ordinance No. 20231130-068 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

69. Authorize negotiation and execution of a feasibility cost sharing agreement with the U.S. Army Corps of Engineers for the Boggy Creek Corps Flood Control Channel Ecosystem Restoration project for a term during Fiscal Year 2023-2024 at a cost to the City of \$250,000, plus an additional contingent amount of \$50,000 to cover potential cost overruns, for a total agreement amount not to exceed \$300,000.

The motion authorizing the negotiation and execution of a feasibility cost sharing agreement with the U.S. Army Corps of Engineers was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

ITEMS FROM COUNCIL

70. Approve appointments and certain related waivers to citizen boards and commissions, to Council committees and other intergovernmental bodies, and to public facility corporations; removal and replacement of members; and amendments to board and commission bylaws.

The following appointments and waivers were approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

Nominations

Board/Nominee	Nominated by
<u>Commission on Veterans Affairs</u> Michael McInerney	Council Member Qadri
<u>Commission on Veterans Affairs</u> Philip Reichert	Council Member Kelly
<u>Comprehensive Plan Joint Committee</u> Alberta Phillips	Planning Commission
<u>Early Childhood Council</u> Brianna Menard	Council Member Qadri
<u>HIV Planning Council</u> Gin Pham	Mayor Watson
<u>HIV Planning Council</u> Zachery Garay	Mayor Watson

Human Rights Commission

Srinivasa Raghavan Masthi Parthsarathi

Council Member Kelly

Joint Inclusion Committee

Melissa Ortega

Commission on Immigrant Affairs

Joint Inclusion Committee (Alternate)

Jose Caceres

Commission on Immigrant Affairs

Library Commission

Steve DeRosa

Council Member Kelly

Public Safety Commission

Bernard Hermesmeyer

Council Member Kelly

Small Area Planning Joint Committee

Alberta Phillips

Planning Commission

Small Area Planning Joint Committee

Alejandra Flores

Zoning and Platting Commission

Water and Wastewater Commission

Shwetha Pandurangi

Council Member Kelly

Waivers

Approve a waiver of the residency requirement in Section 2-1-21 of the City Code for the service of Srinivasa Raghavan Masthi Parthsarathi on the Human Rights Commission.

Approve a waiver under Section 2-1-27(E) of the City Code of the training deadline established by Section 2-1-23(B) of the City Code for the following persons appointed to a City board if the person completes the training required by Section 2-1-23 on or before January 2, 2024:

Michael Cowles	2024 Charter Review Commission
Raul Reyna	Emma S. Barrientos Mexican American Cultural Center Advisory Board
Dereca Sims	Lesbian Gay Bisexual Transgender and Queer Quality of Life Advisory Commission
Mark Mapes	Mechanical and Plumbing Board
Stephen Cox	Mechanical and Plumbing Board

Approve a waiver of the filing deadline for the statement of financial information as prescribed in Sections 2-1-25 and 2-7-72 of the City Code and establishing a new deadline of January 2, 2024, for the following members:

Marcela Sion	Water and Wastewater Commission
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71. Approve an ordinance waiving or reimbursing certain fees related to the Wider Won't Work Rally that was held at Sanchez Elementary School on November 6, 2023. Council

Sponsors: Mayor Pro Tem Paige Ellis, Council Member Natasha Harper-Madison, Council Member José Velásquez, Council Member Zohaib "Zo" Qadri.

Ordinance No. 20231130-071 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

72. Approve an ordinance waiving or reimbursing outdoor event fees for the 97th Annual Our Lady of Guadalupe Catholic Church Jamaica event held on October 29, 2023. Council Sponsors: Council Member Vanessa Fuentes, Mayor Pro Tem Paige Ellis, Council Member Natasha Harper-Madison, Council Member José "Chito" Vela, Council Member Mackenzie Kelly.

Ordinance No. 20231130-072 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

73. Approve an ordinance waiving or reimbursing application and technology fees for the 97th Annual Our Lady of Guadalupe Catholic Church Jamaica event held on October 29, 2023. Council Sponsors: Council Member Vanessa Fuentes, Council Member Alison Alter, Council Member Natasha Harper-Madison, Council Member José "Chito" Vela.

Ordinance No. 20231130-073 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

74. Approve a resolution directing the City Manager to explore options for provision of space for public safety purposes as a community benefit element related to density bonus programs and planned unit developments. Council Sponsors: Council Member Mackenzie Kelly, Council Member José "Chito" Vela, Council Member Ryan Alter, Council Member José Velásquez.

Resolution No. 20231130-074 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

75. Approve an ordinance waiving or reimbursing temporary food booth fees for the 2023 San Jose Catholic Church Jamaica event held on October 7, 2023. Council Sponsors: Council Member Vanessa Fuentes, Mayor Kirk Watson, Council Member José "Chito" Vela, Council Member Ryan Alter, Council Member José Velásquez.

Ordinance No. 20231130-075 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

76. Approve a resolution authorizing the City Manager to negotiate and enter an agreement with a charity that will auction a collection of police badges and challenge coins to raise funds to assist police officers and their families during times of financial hardship. Council Sponsors: Council Member Mackenzie Kelly, Mayor Kirk Watson, Council Member Alison Alter, Council Member José "Chito" Vela.

Resolution No. 20231130-076 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

77. Approve an ordinance waiving or reimbursing certain fees for the 2023 UMLAUF Annual Garden Party held on April 20, 2023. Council Sponsors: Council Member Ryan

Alter, Council Member Zohaib "Zo" Qadri, Council Member Alison Alter, Mayor Pro Tem Paige Ellis.

Ordinance No. 20231130-077 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

78. Approve an ordinance waiving or reimbursing outdoor event fees for the 2023 San Jose Catholic Church Jamaica event that occurred October 7, 2023. Council Sponsors: Council Member Vanessa Fuentes, Mayor Pro Tem Paige Ellis, Council Member Zohaib "Zo" Qadri, Council Member José Velásquez, Council Member Mackenzie Kelly.

Ordinance No. 20231130-078 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

79. Approve an ordinance waiving or reimbursing temporary food booth fees for the 97th Annual Our Lady of Guadalupe Catholic Church Jamaica event held on October 29, 2023. Council Sponsors: Council Member Vanessa Fuentes, Council Member Alison Alter, Mayor Pro Tem Paige Ellis, Council Member Zohaib "Zo" Qadri, Council Member Natasha Harper-Madison.

Ordinance No. 20231130-079 was approved on consent on a 10-0 vote. Council Member Ryan Alter was absent.

DISCUSSION ITEMS

19. Approve an ordinance terminating Reinvestment Zone Number 18, City of Austin, Texas, related to the Seaholm Redevelopment Project. District(s) Affected: District 9.

A motion to approve the ordinance was made by Council Member Pool, seconded by Council Member Kelly, and failed on a 4-6 vote. Those voting aye were: Mayor Watson, Council Members Alison Alter, Kelly, and Pool. Those voting nay were: Mayor Pro Tem Ellis, Council Members Fuentes, Harper-Madison, Qadri, Vela, and Velásquez. Council Member Ryan Alter was absent.

AUSTIN HOUSING AND FINANCE CORPORATION MEETING

Mayor Watson recessed the Council Meeting and called the Board of Directors' Meeting of the Austin Housing Finance Corporation to order at 10:45 a.m. See separate minutes.

83. The Mayor will recess the City Council meeting to conduct a Board of Directors' Meeting of the Austin Housing Finance Corporation. Following adjournment of the AHFC Board meeting the City Council will reconvene.

Mayor Watson reconvened the Council Meeting at 10:54 a.m.

EMINENT DOMAIN

Items 80, 81 and 82 were acted on with one combined motion.

80. Approve a resolution authorizing the filing of eminent domain proceedings and payment to acquire the property interests needed for the Williamson Creek Interceptor project for the public use of increasing the capacity of a wastewater tunnel to accommodate future growth in the Williamson Creek basin, requiring the acquisition of one access easement consisting of approximately an 0.068 acre (2,953 square feet) tract of land, out of and a portion of Lot 6B, Block B, Stassney Heights Composite Resubdivision of Lots 1A, 2A and 4A, a subdivision recorded in Document No. 199900113 recorded in the Plat Records of Travis County, Texas having been conveyed to TCB Stassney Heights, LLC by instrument of record in Document No. 2021141935 in the Official Public Records of Travis County, Texas, currently appraised at \$28,814 subject to an increase in value based on updated appraisals or a Special Commissioner's award. The owner of the needed property is TCB Stassney Heights, LLC. The property is located at 5510 South Interstate Highway 35, Austin, Texas 78745. The general route of the project is along Williamson Creek, from South 1st Street to South Pleasant Valley Road, with numerous tie-in cutovers throughout to connect local wastewater flows to the new tunnel. District(s) Affected: District 3.
- Resolution No. 20231130-080 was approved on Mayor Pro Tem Ellis' motion, Council Member Qadri's second on a 10-0 vote. Council Member Ryan Alter was absent.**

81. Approve a resolution authorizing the filing of eminent domain proceedings and payment to acquire the property interests needed for the Williamson Creek Interceptor project for the public use of increasing the capacity of a wastewater tunnel to accommodate future growth in the Williamson Creek basin, requiring the acquisition of a two-part access easement consisting of an approximately 0.088 acre (3,822 square feet) tract of land and a 0.240 acre (10,460 square feet) tract together comprising a 0.328 acre (14,282 square feet) tract of land out of and a portion of the Santiago Del Valle Grant, Abstract No. 24 in Travis County, Texas made up of Part 1 and Part 2 also being out of Lot 9, Block B, Stassney Heights Composite, a subdivision recorded in Document No. 200000292 of the Plat Records of Travis County, Texas, having been conveyed to TCB Stassney Heights, LLC, by instrument of record in Document No. 2021141935 of the Official Public Records of Travis County, Texas, currently appraised at \$91,247 subject to an increase in value based on updated appraisals or a Special Commissioner's award. The owner of the needed property is TCB Stassney Heights, LLC. The property is located at 5500 South Interstate Highway 35, Austin, Texas 78745. The general route of the project is along Williamson Creek, from South 1st Street to South Pleasant Valley Road, with numerous tie-in cutovers throughout to connect local wastewater flows to the new tunnel. District(s) Affected: District 3.
- Resolution No. 20231130-081 was approved on Mayor Pro Tem Ellis' motion, Council Member Qadri's second on a 10-0 vote. Council Member Ryan Alter was absent.**

82. Approve a resolution authorizing the filing of eminent domain proceedings and payment to acquire the property interests needed for the Williamson Creek Interceptor project for the public use of increasing the capacity of a wastewater tunnel to accommodate future

growth in the Williamson Creek basin, requiring the acquisition of one access easement consisting of an approximately 0.08 acre (3,348 square feet) tract of land, out of the Santiago Del Valle Grant, Abstract No. 24, situated in the City of Austin, Travis County, Texas, and being a portion of Lot 2 of Williamson Centre Subdivision, a Subdivision of record in Volume 87, Page 12A of the Plat Records of Travis County, Texas, said Lot 2 identified as one of the tracts listed as Tract 2, being a portion of those tracts described in a general warranty deed granted to Stassney Crossing, LLC, found recorded as Document No. 2016057417 of the Official Public Records of Travis County, Texas, currently appraised at \$87,503 subject to an increase in value based on updated appraisals or a Special Commissioner's award. The owner of the needed property is Stassney Crossing, LLC. The property is located at 1801 East Stassney Lane, Austin, Texas 78744. The general route of the project is along Williamson Creek, from South 1st Street to South Pleasant Valley Road, with numerous tie-in cutovers throughout to connect local wastewater flows to the new tunnel. District(s) Affected: District 2.

Resolution No. 20231130-082 was approved on Mayor Pro Tem Ellis' motion, Council Member Qadri's second on a 10-0 vote. Council Member Ryan Alter was absent.

PUBLIC HEARINGS AND POSSIBLE ACTIONS

85. Conduct a public hearing and approve the recommended alternative in the Preliminary Engineering Report to replace the Barton Springs Road Bridge over Barton Creek. **The public hearing was conducted and a motion to postpone the item to December 14, 2023, was approved on Council Member Kelly's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.**

Direction to provide a briefing at the December 12, 2023, work session was included without objection.

86. Conduct a public hearing and consider an ordinance amending Section 25-9-411 of the City Code relating to reclaimed water connection requirements to extend the variance for reclaimed water connection requirements for large development projects with a multifamily component. **The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-086 was approved on Council Member Pool's motion, Council Member Vela's second on a 10-0 vote. Council Member Ryan Alter was absent.**
87. Conduct a public hearing and consider an ordinance amending City Code Title 25 by repealing and replacing Chapter 25-1, Article 14 (Parkland Dedication) to align the City's parkland dedication requirements with House Bill 1526; and waiving Code provisions related to processing amendments to City Code Title 25 (Land Development). **The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-087 was approved on Council Member Vela's motion, Council Member Pool's second on a 9-1 vote. Council Member Alison Alter voted nay. Council Member Ryan Alter was absent.**

84. Conduct a public hearing and consider an ordinance amending the Imagine Austin Comprehensive Plan to update the Austin Strategic Mobility Plan and to adopt the Urban Trails Plan, Bicycle Plan, and Sidewalks, Crossings, and Shared Streets Plan. **The public hearing was conducted and a motion to close the public hearing and approve the ordinance was made by Mayor Pro Tem Ellis and seconded by Council Member Qadri.**

The following amendment was made by Mayor Pro Tem Ellis, seconded by Council Member Pool, and included on a 10-0 vote. Council Member Ryan Alter was absent.

“Remove the Slaughter Creek segments (27, 28 and 29) of the Urban Trails Plan from consideration during this update of the Austin Strategic Mobility Plan and direct the City Manager to conduct additional public engagement and explore alternative routes in those areas.

Additionally, the City Manager is directed to report back to the Mobility Committee of Council with any findings or further proposed modifications to the Urban Trails Plan before returning to City Council for final consideration and approval.”

The following amendment was made by Mayor Pro Tem Ellis, seconded by Council Member Qadri, and included on a 10-0 vote. Council Member Ryan Alter was absent.

“Amend the 2023 Urban Trails Plan to change the YBC Trail portion of the Barton Corridor from Tier 2 to Tier 1, thereby restoring the Tier 1 prioritization the YBC Trail has had since the 2014 Urban Trails Plan and maximally leveraging the investment of voter-approved 2016 Mobility Bond dollars the City has already made in completing the Preliminary Engineering Report (2017) and reaching 30% design of the YBC Trail.”

The following amendment was made by Council Member Vela, seconded by Council Member Harper-Madison, and included on a 10-0 vote. Council Member Ryan Alter was absent.

“Amend the Austin Strategic Mobility Plan to extend Dale Dr between Gault St and Anderson Square all the way to Anderson Square as a Level 1 Street.”

Ordinance No. 20231130-084 was approved as amended on Mayor Pro Tem Ellis’ motion, Council Member Qadri’s second on a 10-0 vote. Council Member Ryan Alter was absent.

Mayor Watson recessed the meeting to go into Executive Session at 11:42 a.m. without objection.

EXECUTIVE SESSION

The City Council went into Executive Session, pursuant to Chapter 551 of the Texas Government Code, to receive advice from Legal Counsel, to discuss matters of land acquisition, litigation, and personnel matters as specifically listed on this agenda and to receive advice from Legal Counsel regarding any other item on this agenda.

21. Approve an ordinance authorizing the negotiation and execution of all documents and instruments necessary and desirable to convey approximately nine acres of parkland located at 2525 South Lakeshore Boulevard, also known as the Central Maintenance Complex to Oracle.
Conducted.
88. Discuss legal issues related to Acuna et al v. City of Austin et al, Cause No. D-1-GN-19-008617 in the 201st Judicial District of Travis County, Texas (Private consultation with legal counsel - Section 551.071 of the Texas Government Code).
Withdrawn.
89. Discuss legal issues related to Dirty Martin's et al v. Mayor Kirk Watson et al, Cause No. D-1-GN-23-008105 in the 455th Judicial District of Travis County, Texas (Private consultation with legal counsel - Section 551.071 of the Texas Government Code).
Withdrawn.

Mayor Watson reconvened the Council Meeting at 12:00 p.m.

PUBLIC COMMUNICATION: GENERAL

Monica Guzmán - N/A – **Present.**

Barbara McArthur - Home Initiative – **Present.**

Noe Elias - HOME Initiative – **Present.**

Carina Martinez - Opposition against HOME – **Present.**

Cindi Reid – Zoning – **Present.**

Paul Robbins - City and budget issues. – **Present.**

Nadia Barbot - HOME initiative – **Present.**

Kecia Prince - housing affordability – **Present.**

Ana Aguirre – TBD – **Present.**

Deborah Blumentritt - Home Initiative – **Present.**

Mayor Watson recessed the Council Meeting at 12:34 p.m. without objection.

LIVE MUSIC

DJ Leslie Cavazos

Mayor Watson reconvened the Council Meeting at 1:00 p.m.

Mayor Watson recessed the meeting to go into Executive Session at 1:01 p.m. without objection.

EXECUTIVE SESSION

The City Council went into Executive Session, pursuant to Chapter 551 of the Texas Government Code, to receive advice from Legal Counsel, to discuss matters of land acquisition, litigation, and personnel matters as specifically listed on this agenda and to receive advice from Legal Counsel regarding any other item on this agenda.

21. Approve an ordinance authorizing the negotiation and execution of all documents and instruments necessary and desirable to convey approximately nine acres of parkland located at 2525 South Lakeshore Boulevard, also known as the Central Maintenance Complex to Oracle.
Conducted.

Mayor Watson reconvened the Council Meeting at 1:48 p.m.

DISCUSSION ITEMS CONTINUED

21. Approve an ordinance authorizing the negotiation and execution of all documents and instruments necessary and desirable to convey approximately nine acres of parkland located at 2525 South Lakeshore Boulevard, also known as the Central Maintenance Complex to Oracle.
A motion to approve the ordinance was made by Council Member Pool and seconded by Mayor Pro Tem Ellis.

The following amendment was made by Council Member Alison Alter, seconded by Council Member Fuentes, and failed on a 5-5 vote. Those voting aye were: Council Members Alison Alter, Fuentes, Qadri, Vela, and Velásquez. Those voting nay were: Mayor Watson, Mayor Pro Tem Ellis, Council Members Harper-Madison, Kelly, and Pool. Council Member Ryan Alter was absent.

The amendment was to revise beginning at line 67 to read as follows:

“PART 2. Council authorizes the city manager to negotiate all the documents and instruments necessary or desirable to convey the approximately nine acres of parkland known as the CMC to Oracle if the following conditions are met.”

The amendment was also to revise beginning at line 77 to read as follows:

“(3) Oracle designs and constructs a new maintenance facility that exceeds the specifications generally described in Exhibit A and complies with all applicable rules, regulations, and policies applicable to constructing improvements on City-owned land for a minimum value of \$23.5 million on 6700 Bolm Road (“New Facility”).”

The amendment was also to add a fourth paragraph to Part 2 to read as follows:

“The New Facility will also be designed to incorporate more or all of the recommendations of the concept site and floorplans included in the McKinney York Architects study dated February 1, 2023 that was commissioned by the City with particular attention to including separated workspaces for the various trades, providing for shade and necessary irrigation systems, and ensure the City has the ability to expand the facility in the future, including utilities sized and set to accommodate that expansion. The final design should more closely reflect the needs assessment developed in the study and be a collaborative, iterative process.”

The following amendment was made by Council Member Alison Alter, seconded by Council Member Fuentes, and failed on a 4-6 vote. Those voting aye were: Council Members Alison Alter, Fuentes, Qadri, and Velásquez. Those voting nay were: Mayor Watson, Mayor Pro Tem Ellis, Council Members Harper-Madison, Kelly, Pool, and Vela. Council Member Ryan Alter was absent.

The amendment was to add a fourth paragraph to Part 2 to read as follows:

“The New Facility will also be designed to incorporate more or all of the recommendations of the concept site and floorplans included in the McKinney York Architects study dated February 1, 2023 that was commissioned by the City with particular attention to including separated workspaces for the various trades, providing for shade and necessary irrigation systems, and ensure the City has the ability to expand the facility in the future, including utilities sized and set to accommodate that expansion. The final design should more closely reflect the needs assessment developed in the study and be a collaborative, iterative process.”

Ordinance No. 20231130-021 was approved on Council Member Pool’s motion, Mayor Pro Tem Ellis’ second on a 7-3 vote. Those voting aye were: Mayor Watson, Mayor Pro Tem Ellis, Council Members Harper-Madison, Kelly, Pool, Vela, and Velásquez. Those voting nay were: Council Members Alison Alter, Fuentes, and Qadri. Council Member Ryan Alter was absent.

ZONING AND NEIGHBORHOOD PLAN AMENDMENTS

The following items were acted on by one motion.

90. C14-70-077(RCA) - 2706 Gonzales St. & 2730 E. 7th St. Restrictive Covenant - Conduct a public hearing and approve a restrictive covenant amendment on property locally

known as 2706 Gonzales Street and 2730 East 7th Street (Boggy Creek Watershed). Applicant's Request: To amend a public Restrictive Covenant. Staff Recommendation and Planning Commission Recommendation: To amend a public Restrictive Covenant. Owner/Applicant: The Dale L. Martin and Suzan S. Martin Revocable Trust (Suzan Martin). Agent: DuBois, Bryant & Campbell, L.L.P., (David Hartman). City Staff: Cynthia Hadri, Planning Department, 512-974-7620. District(s) Affected: District 3.

The public hearing was conducted and a motion to close the public hearing and approve a restrictive covenant amendment was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

91. C14-2022-0090 - 2239 Cromwell Circle - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 2239, 2239 1/2, and 2309 1/2 Cromwell Circle (County Club West Creek Watershed). Applicant Request: To rezone from East Riverside Corridor (ERC) base district (urban residential subdistrict) zoning to East Riverside Corridor (ERC) base district (neighborhood mixed use subdistrict) zoning. Staff Recommendation and Planning Commission Recommendation: To grant East Riverside Corridor (ERC) base district (neighborhood mixed use subdistrict) zoning. Owner/Applicant: 2239 Cromwell Circle, LLC. Agent: Drenner Group, PC (Leah Bojo). City Staff: Nancy Estrada, 512-974-7617, Planning Department. District(s) Affected: District 3.

This item was postponed to January 18, 2024, at the request of the Neighborhood on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

92. C14-2023-0045 - 2404 Rutland Drive - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 2404 Rutland Drive (Little Walnut Creek Watershed). Applicant Request: To rezone from North Burnet/Gateway-neighborhood plan (NBG-NP) combining district zoning (warehouse mixed use subdistrict) to North Burnet/Gateway-neighborhood plan (NBG-NP) combining district zoning (commercial mixed use-gateway zone subdistrict). Staff Recommendation: To grant North Burnet/Gateway-neighborhood plan (NBG-NP) combining district zoning (commercial mixed use subdistrict). Planning Commission Recommendation: To grant North Burnet/Gateway-neighborhood plan (NBG-NP) combining district zoning (commercial mixed use-gateway zone subdistrict). Owner/Applicant: Denton Rutland LLC. Agent: Drenner Group, PC (Amanda Swor). City Staff: Sherri Sirwaitis, 512-974-3057. District(s) Affected: District 7.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-092 for North Burnet/Gateway-neighborhood plan (NBG-NP) combining district zoning (commercial mixed use-gateway zone subdistrict) was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

93. NPA-2023-0029.01 - 6121 N. Interstate Highway 35 - Conduct a public hearing and approve an ordinance amending Ordinance No. 20120426-100 the St. John/Coronado Hills Combined Neighborhood Plan, an element of the Imagine Austin Comprehensive Plan, to change the land use designation on the future land use map (FLUM) on property locally known as 6121 and 6121 1/2 North Interstate Highway 35 Service Road Northbound (Tannehill Branch Watershed) from Mixed Use to High Density Mixed Use land use. Staff Recommendation and Planning Commission Recommendation: To grant High Density Mixed Use land use. Owner/Applicant: ASAP Austin, LLC. Agent:

Drenner Group, PC (David J. Anderson). City Staff: Maureen Meredith, Planning Department, (512) 974-2695. District(s) Affected: District 4.

This item was postponed to December 14, 2023, at the request of Council Member Vela on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

94. C14-2023-0063 - 6121 N. IH-35 - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 6121 and 6121 1/2 North Interstate Highway 35 Service Road Northbound (Tannehill Branch Watershed). Applicant Request: To rezone from general commercial services-mixed use-neighborhood plan (CS-MU-NP) combining district zoning and commercial-liquor sales-neighborhood plan (CS-I-NP) combining district zoning to commercial highway services-planned development area-neighborhood plan (CH-PDA-NP) combining district zoning. Staff Recommendation and Planning Commission Recommendation: To grant commercial highway services-planned development area-neighborhood plan (CH-PDA-NP) combining district zoning. Owner/Applicant: ASAP Austin, LLC. Agent: Drenner Group, PC (David Anderson). City Staff: Jonathan Tomko, Planning Department, (512) 974-1057. District(s) Affected: District 4.

This item was postponed to December 14, 2023, at the request of Council Member Vela on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

95. C14-77-138(RCT) - 10601 N Lamar Blvd. RCT - Conduct a public hearing and approve a restrictive covenant termination for the property locally known as 10601 and 10601 1/2 North Lamar Boulevard (Little Walnut Watershed). Applicant Request: To terminate the public restrictive covenant associated with zoning case C14-77-138. Staff Recommendation and Planning Commission Recommendation: To grant the public restrictive covenant termination. Owner/Applicant: CSW 10601 N Lamar, LP. Agent: Drenner Group, PC, Amanda Swor. City Staff: Sherri Sirwaitis, 512-974-3057. District(s) Affected: District 4.

This item was postponed to December 14, 2023, at the request of Staff on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

96. C14-2023-0088 - 903 West Avenue & 704 W 9th Street - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 903 West Avenue and 704 West 9th Street (Shoal Creek Watershed). Applicant Request: To rezone from general office (GO) district zoning to downtown mixed use-conditional overlay (DMU-CO) combining district zoning. Staff Recommendation and Planning Commission Recommendation: To grant downtown mixed use-conditional overlay (DMU-CO) combining district zoning. Owner/Applicant: 903 W Ave Owner LLC & 704 W 9th LLC. Agent: Drenner Group (Amanda Swor). City Staff: Sherri Sirwaitis, 512-974-3057. District(s) Affected: District 9.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-096 for downtown mixed use-conditional overlay (DMU-CO) combining district zoning was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

97. C14-2023-0099 - 7800 N Interstate 35 Rezoning - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 7800

and 7800 1/2 North Interstate Highway 35 Service Road Southbound (Buttermilk Creek Watershed). Applicant Request: To rezone from community commercial-neighborhood plan (GR-NP) combining district zoning and general commercial services-neighborhood plan (CS-NP) combining district zoning to general commercial services-neighborhood plan (CS-NP) combining district zoning. Staff Recommendation and Planning Commission Recommendation: To grant general commercial services-neighborhood plan (CS-NP) combining district zoning. Owner/Applicant: Five Star Austin Group, LLC. Agent: UTEX Storage Partners (Justin Barnes). City Staff: Sherri Sirwaitis, 512-974-3057. District(s) Affected: District 4.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-097 for general commercial services-neighborhood plan (CS-NP) combining district zoning was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

98. NPA-2023-0013.02 - 700 Dawson - Conduct a public hearing and approve an ordinance amending Ordinance No. 20020523-32, the Bouldin Creek Neighborhood Plan, an element of the Imagine Austin Comprehensive Plan, to change the land use designation on the future land use map (FLUM) on property locally known as 700 Dawson Road (West Bouldin Creek Watershed) from Multifamily Residential to Mixed Use land use. Staff recommendation: To deny the applicant's request for Mixed Use land use. Planning Commission recommendation: To grant Mixed Use land use. Owner/Applicant: Dawson Overlook, LLC (Terry and Mark Black). Agent: Armbrust & Brown, LLP, (Michael J. Whellan). City Staff: Maureen Meredith, Planning Department, (512) 974-2695. District(s) Affected: District 9.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-098 to change the land use designation on the future land use map (FLUM) to Mixed Use land use was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

99. C14-2023-0064 - 700 Dawson - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 700 Dawson Road (West Bouldin Creek Watershed). Applicant Request: To rezone from family residence-neighborhood plan (SF-3-NP) combining district zoning to community commercial-mixed use-conditional overlay-neighborhood plan (GR-MU-CO-NP) combining district zoning. Staff Recommendation: To deny general commercial services-mixed use-neighborhood plan (CS-MU-NP) combining district zoning. Planning Commission Recommendation: To grant community commercial-mixed use-conditional overlay-neighborhood plan (GR-MU-CO-NP) combining district zoning. Owner/Applicant: Dawson Overlook, LLC (Terry and Mark Black). Agent: Armbrust & Brown, PLLC (Michael Whellan). City Staff: Sherri Sirwaitis, 512-974-3057. District(s) Affected: District 9.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-099 for community commercial-mixed use-conditional overlay-neighborhood plan (GR-MU-CO-NP) combining district zoning was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

100. C14H-2023-0085 - 2101 Travis Heights Blvd., Burks-Challstrom House - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning

property locally known as 2101 Travis Heights Boulevard (Blunn Creek Watershed). Applicant Request: To rezone from family residence-neighborhood plan (SF-3-NP) combining district zoning to family residence-historic landmark-neighborhood plan (SF-3-H-NP) combining district zoning. Staff Recommendation, Historic Landmark Commission Recommendation, and Planning Commission Recommendation: To grant family residence-historic landmark-neighborhood plan (SF-3-H-NP) combining district zoning. Owner/Applicant: Joellen and Brian Peters. Agent: Lori Martin, O'Connell Architecture, LLC. City Staff: Kalan Contreras, 512-974-2727. District(s) Affected: District 9.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-100 for family residence-historic landmark-neighborhood plan (SF-3-H-NP) combining district zoning was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

101. C14H-2023-0092 - 1104 East 10th Street, Depew-Cherico-Frazier House - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 1104 East 10th Street (Lady Bird Lake Watershed). Applicant Request: To rezone from family residence-historic area-neighborhood plan (SF-3-HD-NP) combining district zoning to family residence-historic area-historic landmark-neighborhood plan (SF-3-HD-H-NP) combining district zoning. Staff, Historic Landmark Commission, and Planning Commission Recommendations: To grant family residence-historic area-historic landmark-neighborhood plan (SF-3-HD-H-NP) combining district zoning. Owner/Applicant: Mark Rogers. City Staff: Kalan Contreras, 512-974-2727. District(s) Affected: District 1.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-101 for family residence-historic area-historic landmark-neighborhood plan (SF-3-HD-H-NP) combining district zoning was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

102. NPA-2022-0026.01 - Quality Foundation - Approve second and third readings of an ordinance amending Ordinance No. 20100624-110, the North Lamar Combined Neighborhood Plan, an element of the Imagine Austin Comprehensive Plan, to change the land use designation on the future land use map (FLUM) on property locally known as 8226, 8226 1/2, 8230, 8238, and 8240 Georgian Drive (Little Walnut Creek Watershed) from Neighborhood Commercial to Mixed Use land use. First Reading approved Mixed Use land use on September 14, 2023. Vote: 7-0. Mayor Pro Tem was off the dais. Council Members A. Alter, Harper-Madison, and Pool were absent. Owner/Applicant: Simon Wallace. Agent: Thrower Design (Ron Thrower & Victoria Haase). City Staff: Maureen Meredith, Planning Department, (512) 974-2695. District(s) Affected: District 4.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-102 to change the land use designation on the future land use map (FLUM) to Mixed Use land use was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

103. C14-2022-0166 - Georgian Drive Quality Foundation - Approve second and third readings of an ordinance amending City Code Title 25 by rezoning property locally known as 8226, 8226 1/2, 8230, 8238, and 8240 Georgian Drive (Little Walnut Creek

Watershed). Applicant Request: To rezone from neighborhood commercial-neighborhood plan (LR-NP) combining district zoning to general commercial services-mixed use-conditional overlay-neighborhood plan (CS-MU-CO-NP) combining district zoning. First Reading approved general commercial services-mixed use-conditional overlay-neighborhood plan (CS-MU-CO-NP) combining district zoning on September 14, 2023. Vote: 7-0. Mayor Pro Tem Ellis was off the dais. Council Members A. Alter, Harper-Madison, and Pool were absent. Owner/Applicant: Georgian Drive Quality Foundation (Simon A. Wallace). Agent: Thrower Design, LLC (A. Ron Thrower). City Staff: Sherri Sirwaitis, 512-974-3057. District(s) Affected: District 4.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-103 for general commercial services-mixed use-conditional overlay-neighborhood plan (CS-MU-CO-NP) combining district zoning was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

104. C14-2023-0077 - Allandale Car Wash Redevelopment - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 7320 Burnet Road (Shoal Creek Watershed). Applicant Request: To rezone from general commercial services (CS) district zoning to general commercial services-mixed use-vertical mixed use building (CS-MU-V) combining district zoning. Staff Recommendation and Zoning and Platting Commission Recommendation: To grant general commercial services-mixed use-vertical mixed use building-conditional overlay (CS-MU-V-CO) combining district zoning. Owner/Applicant: Seamless GCW Ltd (Joe Warnock). Agent: Armbrust & Brown, PLLC (Michael Whallen). City Staff: Nancy Estrada, 512-974-7617. District(s) Affected: District 7.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-104 for general commercial services-mixed use-vertical mixed use building-conditional overlay (CS-MU-V-CO) combining district zoning with the following staff amendment was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

The amendment was to add the following prohibited uses to Part 2 of the draft ordinance:

**“Adult-oriented businesses
Alternative Financial Services
Bail Bond Services
Custom Manufacturing
Kennels
Maintenance and Service Facilities
Outdoor Entertainment
Outdoor Sports and Recreation
Service Station (gas)
Theater”**

105. C14-2023-0068 - 3601 Davis Lane, Building 1 - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 3601 Davis Lane, Building 1 (Williamson Creek Watershed). Applicant's Request: To rezone from neighborhood commercial (LR) district zoning to community commercial-conditional overlay (GR-CO) combining district zoning. Staff Recommendation and

Zoning and Platting Commission Recommendation: To grant community commercial-conditional overlay (GR-CO) combining district zoning. Owner/Applicant: W W Deerfield, Ltd., a Texas limited partnership. Agent: DuBois, Bryant & Campbell, L.L.P., (David Hartman). City Staff: Cynthia Hadri, Planning Department, 512-974-7620. District(s) Affected: District 8.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-105 for community commercial-conditional overlay (GR-CO) combining district zoning was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

106. C14-2023-0084 - Ed Bluestein Multifamily - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 4116 ½ Ed Bluestein Boulevard Southbound (Walnut Creek Watershed). Applicant Request: To rezone from general commercial services-neighborhood plan (CS-NP) combining district zoning to general commercial services-mixed use-neighborhood plan (CS-MU-NP) combining district zoning. Staff and Planning Commission recommendation: To grant general commercial services-mixed use-neighborhood plan (CS-MU-NP) combining district zoning. Owner/Applicant: Robert Tiemann, Trustee of the Robert Miller Tiemann Trust. Agent: Jackson Walker LLP (Henry Gilmore). City Staff: Jonathan Tomko, Planning Department, (512) 974-1057. District(s) Affected: District 1.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-106 for general commercial services-mixed use-neighborhood plan (CS-MU-NP) combining district zoning was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

107. C814-2014-0110.02.SH - Colony Park Sustainable Communities Initiative PUD - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 7900 Loyola Lane (Walnut, Decker and Elm Creek Watersheds). Applicant Request: To rezone from planned unit development (PUD) base district zoning to planned unit development (PUD) base district zoning, to change a condition of zoning. The ordinance may include exemption from or waiver of fees, alternative funding methods, modifications of City regulations, and acquisition of property. Staff and Planning Commission recommendation: To grant planned unit development (PUD) base district zoning. Owner/Applicant: City of Austin. Agent: McCann Adams Studio (Jim Adams). City Staff: Jonathan Tomko, Planning Department, (512) 974-1057. District(s) Affected: District 1.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-107 for planned unit development (PUD) base district zoning, to change a condition of zoning, with the following staff amendment was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

The amendment was to:

"1. Amend the definitions in Part 6 of the draft ordinance as follows:

(5) COMMON COURTYARD is a lot on a plat that provides street frontage and common green area for lots that may not be served directly by an alley or street.

(20) **OPEN SPACE** are the land use areas identified on Exhibit “C” - Land Use Plan, as OS-1, OS-2, OS-3, OS-4, and OS-5. The Open Space land use areas are intended to provide a system of greenways that provide for recreational trails and other amenities as well as provision for site drainage, environmental features, and utility easements.

(27) **SMALL-SITE CONDOMINIUM** means three to eight dwelling units, attached or detached on one lot, each with an individual entry.

(29) **TWO-UNIT RESIDENTIAL** means two attached or detached dwelling units on one lot.

(30) **YARD HOUSE** is a single-family detached type dwelling unit on its own lot. An accessory dwelling unit may be constructed on the lot.

2. Amend Sections (C) and (D) in Part 8 to read:

(C) Unless the Park and Open Space is conveyed in fee simple as parkland, a public access easement shall be provided over and across the portion of the Park and Open Space identified in Exhibit “C” – Land Use Plan designated as OS- (1), (2), (3), (4) or (5) in a form approved by the city attorney upon completion of the park improvements located within such portion of the areas pursuant to a construction schedule approved by the Director of the PARD, but not later than November 30, 2053.

Delete the table that begins after line 321.

Delete lines 323 through 325.

(D). A minimum amount of \$8,000,000.00 will be expended for parkland improvements within the Property as approved by the Director of PARD.

3. Amend the Code Modifications in Part 13 of the draft ordinance to read as follows:

(C) Subdivision

(7) Section 25-4-171 (*Access to Lots*) is modified to allow for a lot that fronts a common courtyard, access lot, or an alley is not required to abut a dedicated public street. Each lot in a subdivision may also abut a private street subject to a permanent access easement.

(D) Site Plans

(1) Section 25-5-2 (*Site Plan Exemptions*) is modified to exempt the following from a site plan:

(a) Construction or alteration of up to eight dwelling units, small-site condominium, live-work, or shop house on a lot; and

(I) Sign

(3) Section 25-10-128 (*Neighborhood Commercial Sign District Regulations*) is modified to provide that:

(a) In the ETOD and MUR land use areas, each commercial unit may have a wall sign that is a projecting sign; and

4. Replace the pages of Exhibits D, F, J, K, L as follows:”

EXHIBIT D - (PAGE 1)

COLONY PARK P.U.D. ZONING USE SUMMARY TABLE

P= Permitted, NP = Not Permitted										
RESIDENTIAL USES	LTC	IG	MUR	ETOD	NR-1	NR-2	OS-1	OS-2	OS-3	OS-4
Bed & Breakfast (Group 1)	P	NP	P	P	P	P	NP	NP	NP	NP
Bed & Breakfast (Group 2)	P	NP	P	P	P	P	NP	NP	NP	NP
Condominium Residential	P	NP	P	P	P	P	NP	NP	NP	NP
Conservation Single Family Residential	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Cottage House ¹	NP	NP	P	P	P	P	NP	NP	NP	NP
Duplex Residential	P	NP	P	P	P	P	NP	NP	NP	NP
Group Residential	P	NP	P	P	P	P	NP	NP	NP	NP
Mobile Home Residential	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Multifamily Residential	P	NP	P	P	P	P	NP	NP	NP	NP
Retirement Housing (Small Site)	P	NP	P	P	P	P	NP	NP	NP	NP
Retirement Housing (Large Site)	P	NP	P	P	NP	NP	NP	NP	NP	NP
Row/Shop House ¹	P	NP	P	P	P	P	NP	NP	NP	NP
Single-Family Attached Residential	P	NP	P	P	P	P	NP	NP	NP	NP
Single-Family Residential	NP	NP	P	P	P	P	NP	NP	NP	NP
Small Lot Single-Family Residential	NP	NP	P	P	P	P	NP	NP	NP	NP
Small Site Condominium ¹	P	NP	P	P	P	P	NP	NP	NP	NP
Townhouse Residential	P	NP	P	P	P	P	NP	NP	NP	NP
Two-Family Residential	NP	NP	P	P	P	P	NP	NP	NP	NP
Two-Unit Residential (Attached) ¹	NP	NP	P	P	P	P	NP	NP	NP	NP
Two-Unit Residential (Detached) ¹	NP	NP	P	P	P	P	NP	NP	NP	NP
Yard House ¹	NP	NP	P	P	P	P	NP	NP	NP	NP
COMMERCIAL USES	LTC	IG	MUR	ETOD	NR-1	NR-2	OS-1	OS-2	OS-3	OS-4
Administrative and Business Offices	P	P	P	P	NP	NP	NP	NP	NP	NP
Agricultural Sales and Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Alternative Financial Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Art Gallery	P	NP	P	P	P	P	NP	NP	NP	NP
Art Workshop	P	NP	P	P	P	P	NP	NP	NP	NP
Automotive Rentals	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Automotive Repair Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Automotive Sales	P	NP	NP	NP	NP	NP	NP	NP	NP	NP
Automotive Washing (of any type)	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Bail Bond Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Building Maintenance Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Business or Trade School	P	NP	NP	P	NP	NP	NP	NP	NP	NP
Business Support Services	P	NP	NP	P	NP	NP	NP	NP	NP	NP
Campground	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Carriage Stable	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Cocktail Lounge	P	NP	P	P	NP	NP	NP	NP	NP	NP
Commercial Blood Plasma Center	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Commercial Off-Street Parking	P	NP	P	P	NP	NP	NP	NP	NP	NP
Communications Services	P	NP	P	P	NP	NP	NP	NP	NP	NP
Construction Sales and Services	P	NP	NP	P	NP	NP	NP	NP	NP	NP
Consumer Convenience Services	P	NP	P	P	P	P	NP	NP	NP	NP
Consumer Repair Services	P	NP	P	P	P	P	NP	NP	NP	NP
Convenience Storage	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Creative Space ¹	P	NP	P	P	P	P	NP	NP	NP	NP
Drop-Off Recycling Collection Facility	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Electronic Prototype Assembly	P	NP	NP	P	NP	NP	NP	NP	NP	NP
Electronic Testing	P	NP	NP	P	NP	NP	NP	NP	NP	NP
Equipment Repair Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Equipment Sales	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Exterminating Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Financial Services	P	NP	P	P	NP	NP	NP	NP	NP	NP
Food Preparation	P	NP	P	P	NP	NP	NP	NP	NP	NP
Food Sales	P	NP	P	P	P	P	NP	NP	NP	NP
Funeral Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
General Retail Sales (Convenience)	P	P	P	P	NP	NP	NP	NP	NP	NP
General Retail Sales (General)	P	NP	P	P	NP	NP	NP	NP	NP	NP
Grocery Store ¹	P	NP	P	P	NP	NP	NP	NP	NP	NP
Hotel-Motel	P	NP	P	P	NP	NP	NP	NP	NP	NP
Indoor Entertainment	P	NP	P	P	NP	NP	NP	NP	NP	NP
Indoor Sports and Recreation	P	NP	P	P	NP	NP	NP	NP	NP	NP
Kennels	P	NP	P	P	NP	NP	NP	NP	NP	NP
Laundry Services	P	NP	P	P	NP	NP	NP	NP	NP	NP
Liquor Sales	P	NP	P	P	NP	NP	NP	NP	NP	NP
Live Music Venue ¹	P	NP	P	P	NP	NP	NP	NP	NP	NP
Medical Offices - Exceeding 5,000 sq. ft. gross floor area	P	P	P	P	NP	NP	NP	NP	NP	NP
Medical Offices - Not Exceeding 5,000 sq. ft. gross floor area	P	P	P	P	NP	NP	NP	NP	NP	NP

1) As defined in the Colony Park PUD Definitions

EXHIBIT D - (PAGE 2)

COLONY PARK P.U.D. ZONING USE SUMMARY TABLE

P= Permitted; NP = Not Permitted										
COMMERCIAL USES - continued										
	TC	Q	MUR	ETOD	NR-1	NR-2	OS-1	OS-2	OS-3	OS-4
Microbrewery ¹⁾	P ¹⁾	NP	P ¹⁾	P ¹⁾	NP	NP	NP	NP	NP	NP
Monument Retail Sales	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Off-Site Accessory Parking	P	NP	P	P	P	P	NP	NP	NP	NP
Outdoor Entertainment	NP	NP	NP	NP	NP	P	P	P	P	P
Outdoor Sports and Recreation	NP	NP	NP	NP	NP	P	P	P	P	P
Pawn Shop Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Pedicab Storage and Dispatch	P ¹⁾	NP	NP	P ¹⁾	NP	NP	NP	NP	NP	NP
Personal Improvement Services	P	NP	P	P	NP	NP	NP	NP	NP	NP
Pet Services	P	NP	P	P	NP	NP	NP	NP	NP	NP
Plant Nursery	P	NP	P	P	NP	NP	NP	NP	NP	NP
Printing and Publishing	P ¹⁾	NP	P ¹⁾	P ¹⁾	NP	NP	NP	NP	NP	NP
Professional Office	P	NP	P	P	P	NP	NP	NP	NP	NP
Recreational Equipment Maint. & Stor.	NP	NP	NP	P	NP	NP	NP	NP	NP	NP
Recreational Equipment Sales	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Research Assembly Services	P ¹⁾	NP	P ¹⁾	P ¹⁾	NP	NP	NP	NP	NP	NP
Research Services	P ¹⁾	NP	P ¹⁾	P ¹⁾	NP	NP	NP	NP	NP	NP
Research Testing Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Research Warehousing Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Restaurant (General)	P	NP	P	P	P	P	NP	NP	NP	NP
Restaurant (Limited)	P	NP	P	P	P	P	NP	NP	NP	NP
Scrap and Salvage	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Service Station	P ¹⁾	NP	NP	NP	NP	NP	NP	NP	NP	NP
Software Development	P	NP	P	P	NP	NP	NP	NP	NP	NP
Special Use Historic	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Stables	NP	NP	NP	NP	NP	P	P	P	P	P
Theater	P	NP	P	P	NP	NP	NP	NP	NP	NP
Vehicle Storage	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Veterinary Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
CIVIC USES										
	TC	Q	MUR	ETOD	NR-1	NR-2	OS-1	OS-2	OS-3	OS-4
Administrative Services	P	P	P	P	NP	NP	NP	NP	NP	NP
Adult Care Services (General)	P	P	P	P	P	NP	NP	NP	NP	NP
Adult Care Services (Limited)	P	P	P	P	P	NP	NP	NP	NP	NP
Aviation Facilities	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Camp	NP	NP	NP	NP	NP	NP	NP	NP	P	P
Cemetery	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Child Care Services (General)	P	P	P	P	P	NP	NP	NP	NP	NP
Child Care Services (Limited)	P	P	P	P	P	NP	NP	NP	NP	NP
Club or Lodge	P	NP	P	P	NP	NP	NP	NP	NP	NP
College and University Facilities	P	NP	P	P	NP	NP	NP	NP	NP	NP
Communication Service Facilities	P	NP	P	P	NP	NP	NP	NP	NP	NP
Community Events	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Community Recreation (Private)	P ¹⁾	NP	P ¹⁾	P ¹⁾	P ¹⁾	P ¹⁾	P ¹⁾	P ¹⁾	P ¹⁾	P ¹⁾
Community Recreation (Public)	P	NP	P	P	P	P	P	P	P	P
Congregate Living	P	P	P	P	NP	NP	NP	NP	NP	NP
Convalescent Services	P	NP	P	P	NP	NP	NP	NP	NP	NP
Convention Center	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Counseling Services	P	P ¹⁾	P	P	P	NP	NP	NP	NP	NP
Cultural Services	P	NP	P	P	P	P	P	P	P	P
Detention Facilities	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Employee Recreation	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Family Home	NP	P	NP	NP	NP	NP	NP	NP	NP	NP
Group Home, Class I (General)	NP	P	NP	NP	NP	NP	NP	NP	NP	NP
Group Home, Class I (Limited)	NP	P	NP	NP	NP	NP	NP	NP	NP	NP
Group Home, Class II	NP	P	NP	NP	NP	NP	NP	NP	NP	NP
Guidance Services	P	P	P	P	NP	NP	NP	NP	NP	NP
Hospital Services (General)	P	P	NP	NP	NP	NP	NP	NP	NP	NP
Hospital Services (Limited)	P	P	P	P	NP	NP	NP	NP	NP	NP
Library, Museum, or Public Art Gallery	P	NP	P	P	NP	NP	NP	NP	NP	NP
Local Utility Services	P	P	P	P	P	P	P	P	P	P
Maintenance and Service Facilities	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Major Utility Facilities	P ¹⁾	P ¹⁾	P ¹⁾	P ¹⁾	P ¹⁾	P ¹⁾	P ¹⁾	P ¹⁾	P ¹⁾	P ¹⁾
Military Installations	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Park and Recreation Services (General)	P	NP	P	P	P	P	P	P	P	P
Park and Recreation Services (Special)	P	NP	P	P	NP	P	P	P	P	P
Performance Venue/Theater	P	NP	P	P	NP	NP	NP	NP	NP	NP
Postal Facilities	P	NP	P	P	NP	NP	NP	NP	NP	NP

1) As defined in the Colony Park PUD Definitions

EXHIBIT F - (PAGE 1)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

	MIXED USE RESIDENTIAL (MUR) AND EQUITABLE TRANSIT ORIENTED DEVELOPMENT (ETOD) AREAS									
	YARD HOUSE	ZERO LOT LINE	ROW/SHOP HOUSE	TWO-UNIT RESIDENTIAL		COTTAGE HOUSE	SMALL SITE CONDOMINIUM	MULTI-FAMILY	CIVIC	COMMERCIAL ³
				ATTACHED	DETACHED					
Minimum Lot Size	1,200 SF 1,400 SF on corner lots	1,200 SF 1,400 SF on corner lots	600 SF 800 SF on corner lots	2,400 SF		See Exhibit F Page 15	2,700 SF	12,500 SF	2,500 SF	2,500 SF
Minimum Lot Width	20 FT. 25 FT. on corner lots	20 FT. 25 FT. on corner	14 FT. 19 FT. on corner lots	28 FT. 33 FT. on corner lots		See Exhibit F Page 15	30 FT.	70 FT.	25 FT.	25 FT.
Maximum Height	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories		See Exhibit F Page 15	45 FT. ⁶ 4 stories	85 FT. ⁶	85 FT. ⁶	85 FT. ⁶
Minimum Front Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	5 FT.	5 FT.	5 FT.
Minimum Street Side Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	5 FT.	0 FT.	0 FT.
Minimum Interior Side Yard Setback	3 FT.-1 IN. ¹ OR 0 FT. ²	0 FT. OR 5 FT. ²	0 FT. ⁴	3 FT.-1 IN. ¹ OR 0 FT. ²		See Exhibit F Page 15	3 FT.-1 IN. ¹ OR 0 FT. ²	5 FT.	0 FT.	0 FT.
Minimum Rear Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	5 FT.	0 FT.	0 FT.
Maximum Impervious Cover	75%	95%	95%	95%		See Exhibit F Page 15	90%	90%	100%	100%
Common Courtyard Setback ⁵	0 FT.	0 FT.	0 FT.	0 FT.		See Exhibit F Page 15	N/A	N/A	N/A	N/A
Building Separation ⁷	0 FT.	N/A	0 FT.	0 FT.	5 FT. ⁷	0 FT.	0 FT.	0 FT.	0 FT.	0 FT.

Footnotes:

1. A minimum side yard setback of 3'-1" is permitted (measured from face of building to the property line) provided that the adjoining side yard setback is a minimum of 3'-11" to create a face-of-building to face-of-building space of at least seven (7) feet.
2. One side of a yard house, zero lot line, two-unit residential, or condominium exterior wall may be located on one of the lots' side property lines, however the exterior side yard-facing building walls of adjoining lots must be separated by a minimum of five (5) feet. (Access and/or maintenance easements may need to be created by individual builders or property owners to facilitate maintenance of buildings and/or areas that are located on or very close to an interior side yard property line).
3. Commercial site development standards apply to Custom Manufacturing.
4. The minimum interior side yard setback for residential row houses and shop houses is 0 feet. This includes side yards along alleys and chamfered corners at alley intersections.
5. Common Courtyard Lot Lines are adjacent to common courtyard spaces.
6. Refer to compatibility standards in Colony Park PUD Part 13 - B. (15).
7. Minimum dimension between the Main and Secondary building on a Two-Unit Detached Lot.

General Notes:

- Mixed-use multi-family buildings with ground floor commercial uses shall follow commercial site development regulations.
- Covered steps or a covered porch or stoop with or without columns may project 2.5 feet into a required street yard setback, not including Cottage Houses.
- Bay windows or other architectural projections (either cantilevered or extension of the floor surface) may project into a required yard up to 2 feet.
- For parks, see site development regulations under Open Space.

EXHIBIT F - (PAGE 2)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

	NEIGHBORHOOD RESIDENTIAL (NR) AREAS								
	YARD HOUSE	ZERO LOT LINE	ROW/SHOP HOUSE	TWO-UNIT RESIDENTIAL		COTTAGE HOUSE	SMALL SITE CONDOMINIUM	CIVIC	COMMERCIAL ³
				ATTACHED	DETACHED				
Minimum Lot Size	1,200 SF 1,400 SF on corner lots	1,200 SF 1,400 SF on corner lots	600 SF 800 SF on corner lots	2,400 SF		See Exhibit F Page 15	2,700 SF	2,500 SF	2,500 SF
Minimum Lot Width	20 FT.	20 FT. 25 FT. on corner	14 FT. 19 FT. on corner lots	28 FT. 33 FT. on corner lots		See Exhibit F Page 15	30 FT.	25 FT.	25 FT.
Maximum Height	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories		See Exhibit F Page 15	45 FT. ⁶ 4 stories	65 FT. ⁶	65 FT. ⁶
Minimum Front Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	5 FT.	5 FT.
Minimum Street Side Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	0 FT.	0 FT.
Minimum Interior Side Yard Setback	3 FT.-1 IN. ¹ OR 0 FT. ²	0 FT. or 5 FT. ²	0 FT. ⁴	3 FT.-1 IN. ¹ OR 0 FT. ²		See Exhibit F Page 15	3 FT.-1 IN. ¹ OR 0 FT. ²	0 FT.	0 FT.
Minimum Rear Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	0 FT.	0 FT.
Maximum Impervious Cover	75%	95%	95%	95%		See Exhibit F Page 15	90%	100%	100%
Common Courtyard Setback ⁵	0 FT.	0 FT.	0 FT.	0 FT.		See Exhibit F Page 15	N/A	N/A	N/A
Building Separation ⁷	0 FT.	N/A	0 FT.	0 FT.	5 FT. ⁷	0 FT.	0 FT.	0 FT.	0 FT.

Footnotes:

1. A minimum side yard setback of 3'-1" is permitted (measured from face of building to the property line) provided that the adjoining side yard setback is a minimum of 3'-11" to create a face-of-building to face-of-building space of at least seven (7) feet.
2. One side of a yard house, two-unit residential, or condominium exterior wall may be located on one of the lots' side property lines, however the exterior side yard-facing building walls of adjoining lots must be separated by a minimum of five (5) feet. (Access and/or maintenance easements may need to be created by individual builders or property owners to facilitate maintenance of buildings and/or areas that are located on or very close to an interior side yard property line).
3. Commercial site development standards apply to Custom Manufacturing.
4. The minimum interior side yard setback for residential row houses and shop houses is 0 feet. This includes side yards along alleys and chamfered corners at alley intersections.
5. Common Courtyard Lot Lines are adjacent to common courtyard spaces.
6. Refer to compatibility standards in Colony Park PUD Part 13 - B. (15).
7. Minimum dimension between the Main and Secondary building on a Two-Unit Detached Lot.

General Notes:

- Covered steps or a covered porch or stoop with or without columns may project 2.5 feet into a required street yard setback, not including Cottage Houses.
- Bay windows or other architectural projections (either cantilevered or extension of the floor surface) may project into a required yard up to 2 feet.
- For parks, see site development regulations under Open Space.

EXHIBIT F - (PAGE 3)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

	LOYOLA TOWN CENTER MIXED USE (LTC)			
	ROW/SHOP HOUSE	MULTI-FAMILY	COMMERCIAL ^{1,3}	INSTITUTIONAL/CIVIC
Minimum Lot Size	600 SF 800 SF on corner lots	12,500 SF	2,500 SF	2,500 SF
Minimum Lot Width	14 FT. 19 FT. on corner lots	70 FT.	25 FT.	25 FT.
Maximum Height ²	45 FT. 4 stories	85 FT. 7 stories	85 FT. 7 stories	85 FT. 7 stories
Minimum Front Yard Setback	5 FT.	0 FT.	0 FT.	0 FT.
Minimum Street Side Yard Setback	5 FT.	5 FT.	0 FT.	0 FT.
Minimum Interior Side Yard Setback	0 FT. ⁴	5 FT.	0 FT.	0 FT.
Minimum Rear Yard Setback	5 FT.	0 FT.	0 FT.	0 FT.
Maximum Impervious Cover	95%	90%	100%	100%

Footnotes:

1. A shared parking facility may be constructed to serve multiple uses within the Loyola Town Center (e.g., commercial, retail, civic, residential), which can satisfy the minimum parking requirements for each use.
2. Refer to compatibility standards in Colony Park PUD Part 13 - B. (15).
3. Commercial site development standards apply to Custom Manufacturing
4. The minimum interior side yard setback for residential row houses and shop houses is 0 feet. This includes side yards along alleys and chamfered corners at alley intersections.

General Notes:

- Mixed-use multi-family buildings with ground floor commercial uses shall follow commercial site development regulations.
- Uncovered steps of a porch or stoop may project into a required yard.
- Covered steps or a covered porch or stoop with or without columns may project 2.5 feet into a required street yard setback, not including Cottage Houses.
- Bay windows or other architectural projections (either cantilevered or extension of the floor surface) may project into a required yard up to 2 feet.

EXHIBIT F - (PAGE 5)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

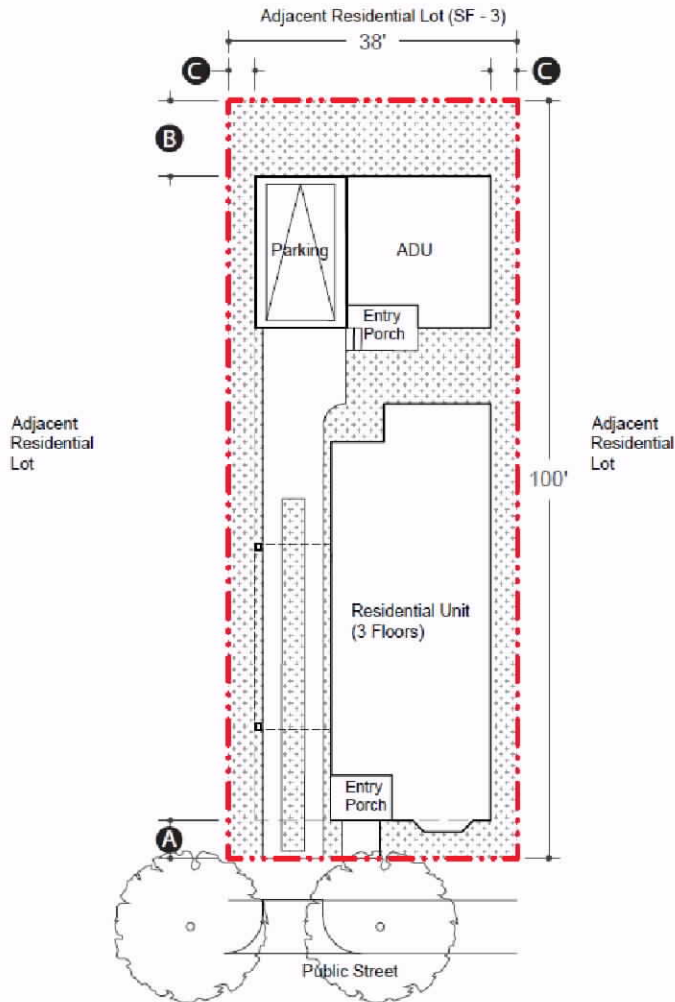


Diagram is illustrative only. Table shall govern.

		Yard House
	Minimum Lot Size	1200 SF 1400 SF on corner lots
	Minimum Lot Width	20 FT 25 FT on corner lots
	Maximum Height ¹	45 FT 4 Stories
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
	Maximum Impervious Cover	75%

FOOTNOTES:

1. Compatibility Height - 3 Stories within 50' of shared property line with SF-3 zoned property
2. ADU may be joined to Main building, subject to building and fire codes.

38' Yard House (Front Loaded) with ADU - Single Driveway

Prepared by McCann Adams Studio for Catellus - DRAFT September 7, 2023

EXHIBIT F - (PAGE 6)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

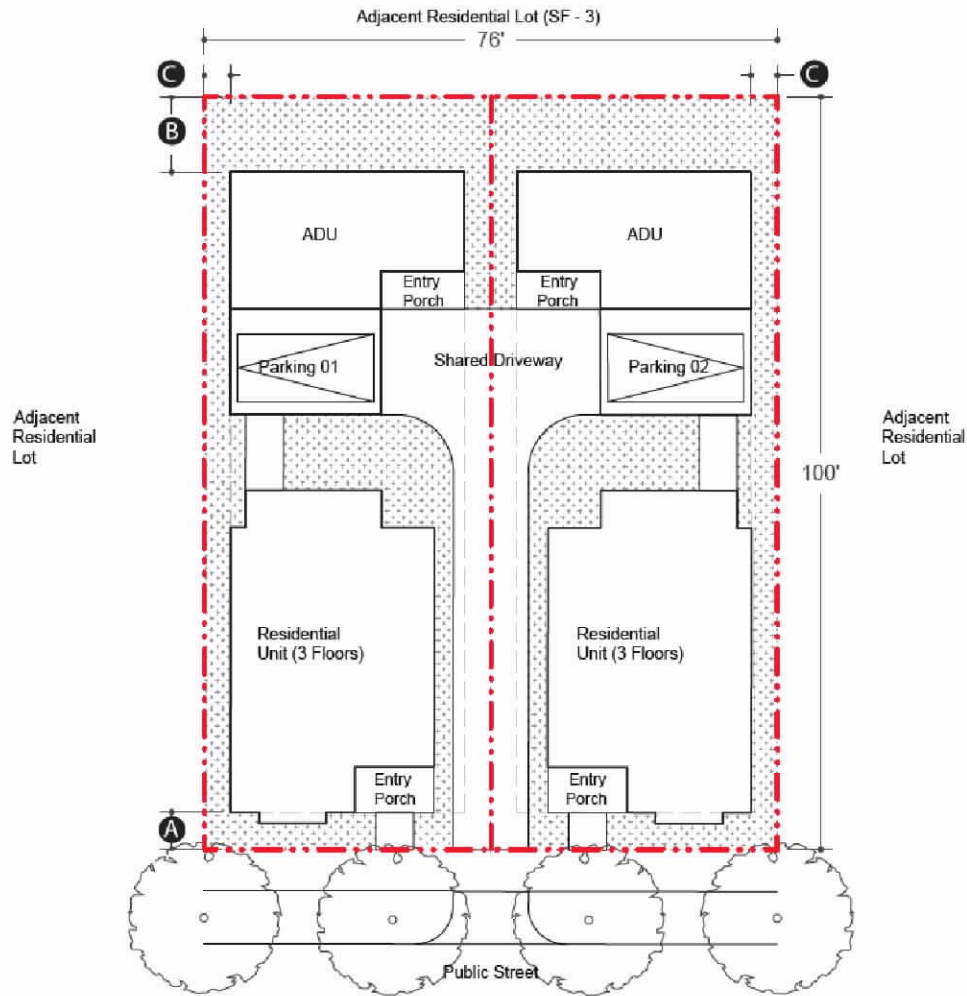


Diagram is illustrative only. Table shall govern.

	Yard House
	1200 SF 1400 SF on corner lots
	20 FT 25 FT on corner lots
	45 FT 4 Stories
A	Minimum Street Front Setback
B	Minimum Rear Yard Setback
C	Minimum Interior Side Yard Setback
	75%

FOOTNOTES:

1. Compatibility Height - 3 Stories within 50' of shared property line with SF-3 zoned property
2. ADU may be joined to Main building, subject to building and fire codes.
3. This configuration requires two adjoining lots, with a joint easement for the shared driveway and is only intended for interior lots.

38' Yard House (Front Loaded) with ADU - Shared Driveway

Prepared by McCann Adams Studio for Catellus - DRAFT September 7, 2023

②

EXHIBIT F - (PAGE 7)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

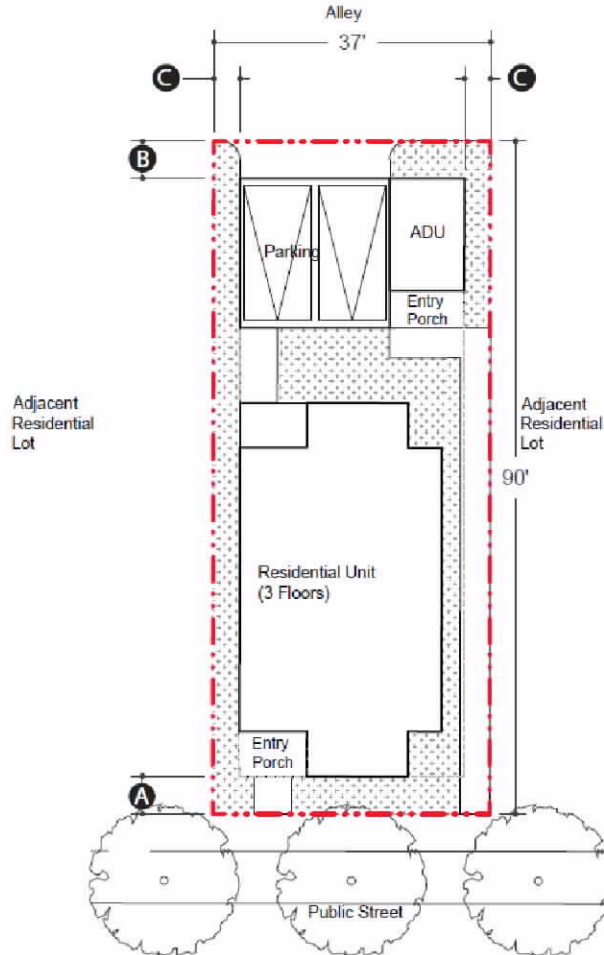


Diagram is illustrative only. Table shall govern.

		Yard House
	Minimum Lot Size	1200 SF 1400 SF on corner lots
	Minimum Lot Width	20 FT 25 FT on corner lots
	Maximum Height	45 FT - 4 Stories ADU - 3 floors max. (35ft)
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
	Maximum Impervious Cover	75%
	Common Courtyard Setback	0 FT

FOOTNOTES:

1. ADU may be joined to Main building, subject to building and fire codes.
1. This building type is intended for interior lots only.

37' Yard House (Rear Loaded) with ADU

Prepared by McCann Adams Studio for Catellus - DRAFT July 31, 2023

③

EXHIBIT F - (PAGE 8)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

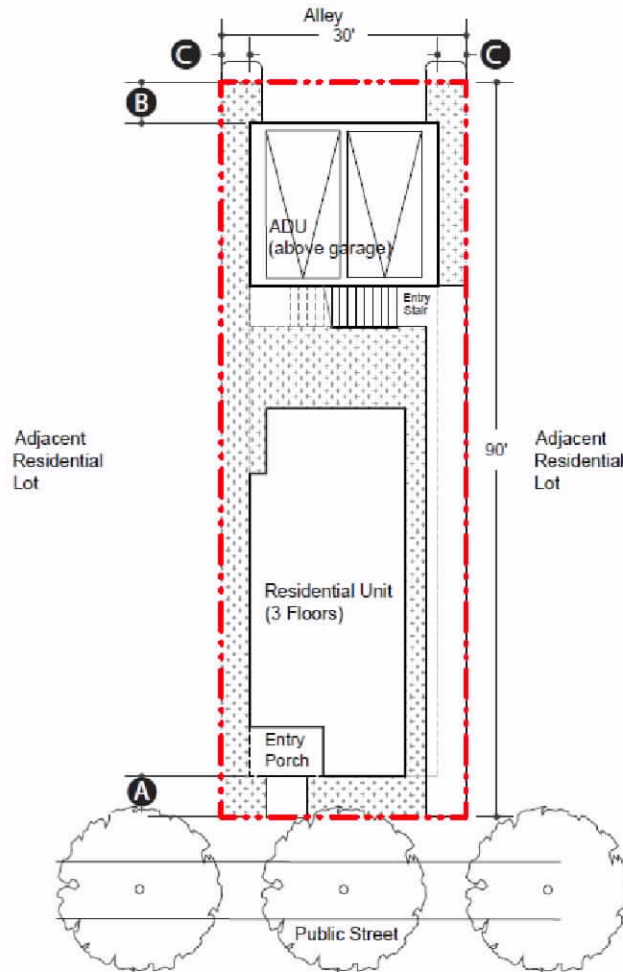


Diagram is illustrative only. Table shall govern.

		Yard House
	Minimum Lot Size	1200 SF
	Minimum Lot Width	20 FT 25 FT on corner lots
	Maximum Height	45 FT - 4 Stories ADU - 3 floors max (35FT)
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback (Alley)	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
	Maximum Impervious Cover	75%
	Common Courtyard Setback	0 FT

FOOTNOTES:

1. ADU may be joined to Main building, subject to building and fire codes.

EXHIBIT F - (PAGE 9)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

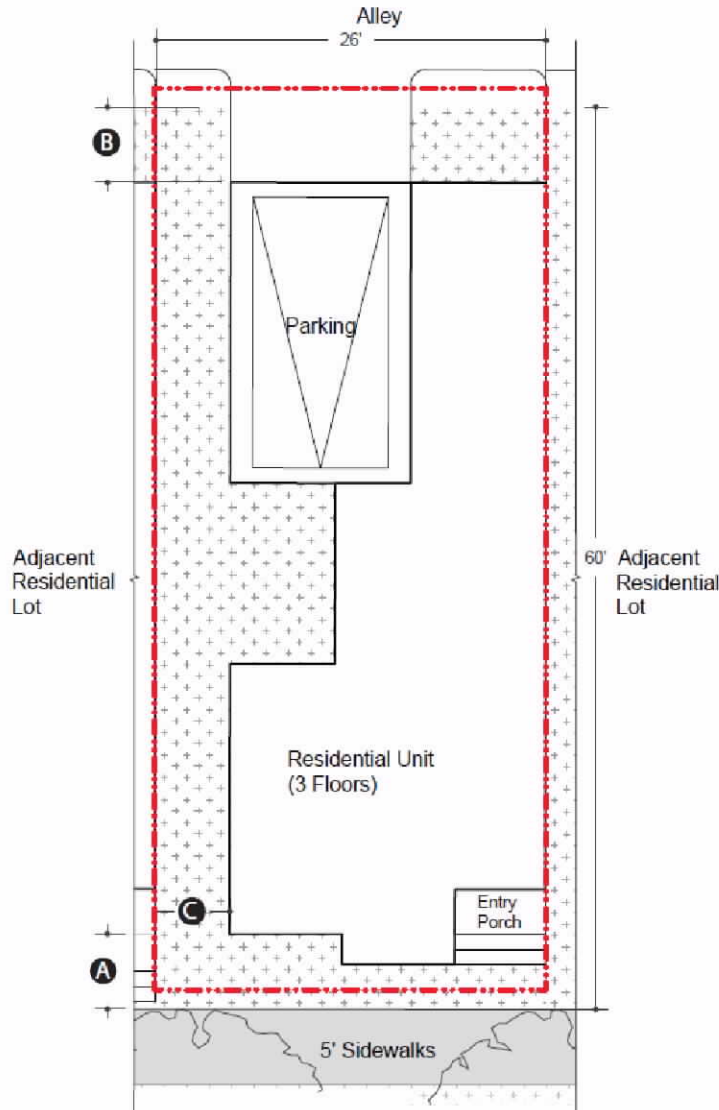


Diagram is illustrative only. Table shall govern.

	Zero Lot-Line Residential
	Minimum Lot Size 1200 SF, 1400 SF on corner lots
	Minimum Lot Width 20 FT
	Maximum Height 45 FT 4 Stories
A	Minimum Street Front Setback 5 FT
B	Minimum Rear Yard Setback (Alley) 5 FT
C	Minimum Interior Side Yard Setback 0' FT
	Maximum Impervious Cover 95%

FOOTNOTES:

1. One side of a Zero Lot-Line house exterior wall may be located on the lot's interior side yard property line, however the exterior sideyard-facing building wall of adjoining lots must be separated by a minimum of five (5) feet. (Access and/or maintenance easements may need to be created by individual builders or property owners to facilitate maintenance of buildings and/or areas that are located on or very close to an interior sideyard property line.)

26' Zero Lot-Line (Rear loaded) - 1 Car Garage
 Prepared by McCann Adams Studio for Catellus - DRAFT July 31, 2023

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EXHIBIT F - (PAGE 10)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

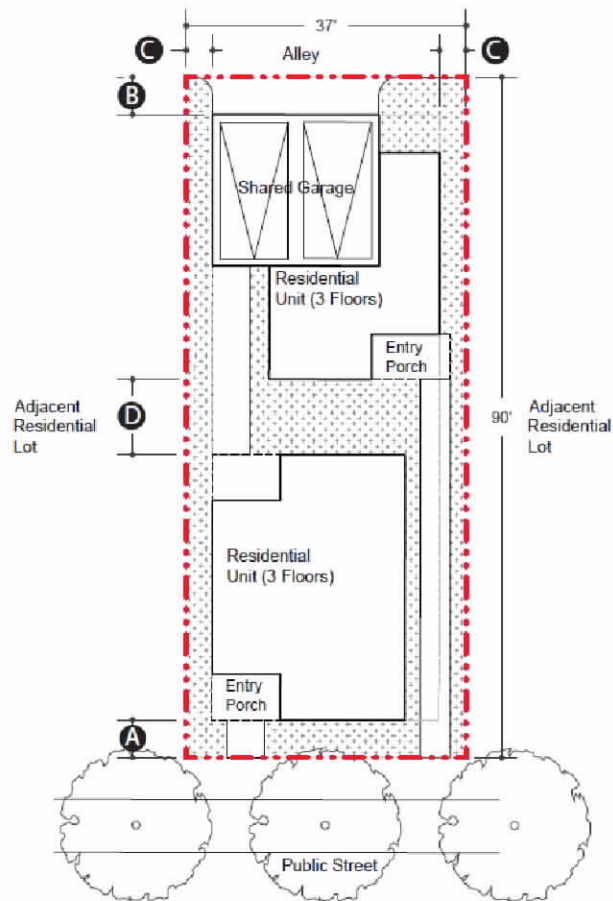


Diagram is illustrative only. Table shall govern.

	Two-Unit Residential
Minimum Lot Size	2400 SF
Minimum Lot Width	28 FT 33 FT on corner lots
Maximum Height	45 FT 4 Stories
A Minimum Street Front Setback	5 FT
B Minimum Rear Yard Setback (Alley)	5 FT
C Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
D Minimum Separation between Units ¹	5 FT
Maximum Impervious Cover	95%
Common Courtyard Setback	0 FT

FOOTNOTES:

1. Second Residential Unit may be attached to the Main building.

37' Two-Unit Residential Detached - Rear Loaded

Prepared by McCann Adams Studio for Catellus - DRAFT July 31, 2023

EXHIBIT F - (PAGE 11)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

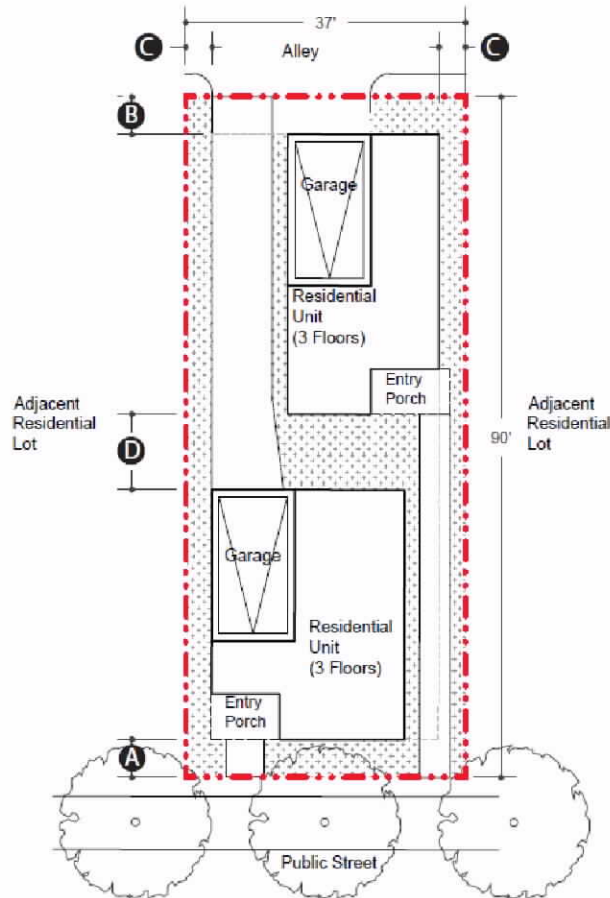


Diagram is illustrative only. Table shall govern.

		Two-Unit Residential
	Minimum Lot Size	2400 SF
	Minimum Lot Width	28 FT 33 FT on corner lots
	Maximum Height	45 FT 4 Stories
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback (Alley)	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
D	Minimum Separation between Units	5 FT
	Maximum Impervious Cover	95%
	Common Courtyard Setback	0 FT

37' Two-Unit Residential Detached - Rear Loaded with Driveway

Prepared by McCann Adams Studio for Catellus - DRAFT July 31, 2023

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EXHIBIT F - (PAGE 12)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

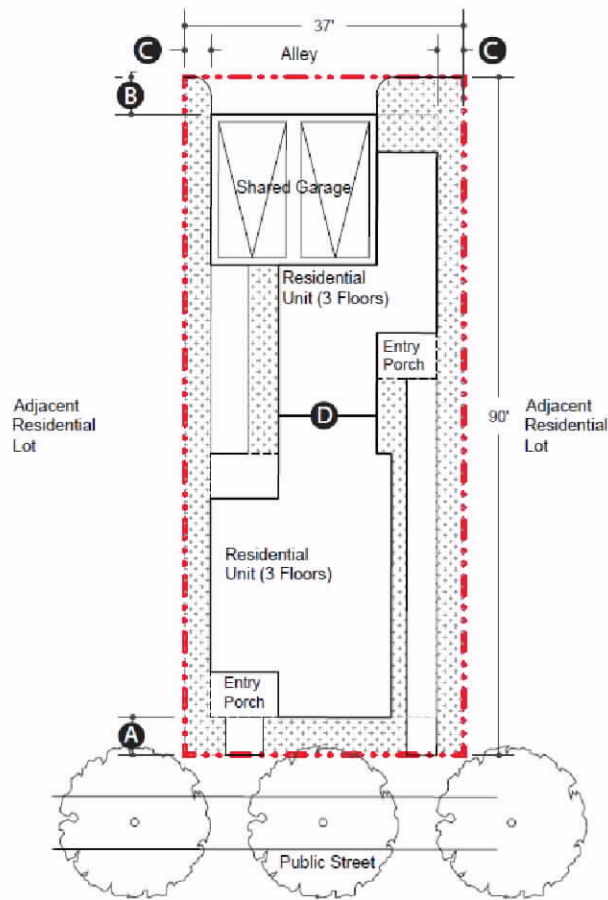


Diagram is illustrative only. Table shall govern.

		Two-Unit Residential
	Minimum Lot Size	2400 SF
	Minimum Lot Width	28 FT 33 FT on corner lots
	Maximum Height	45 FT 4 Stories
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback (Alley)	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
D	Maximum Separation between Units ¹	0 FT
	Maximum Impervious Cover	95%
	Common Courtyard Setback	0 FT

37' Two-Unit Residential Attached - Rear Loaded

Prepared by McCann Adams Studio for Catellus - DRAFT July 31, 2023

EXHIBIT F - (PAGE 13)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

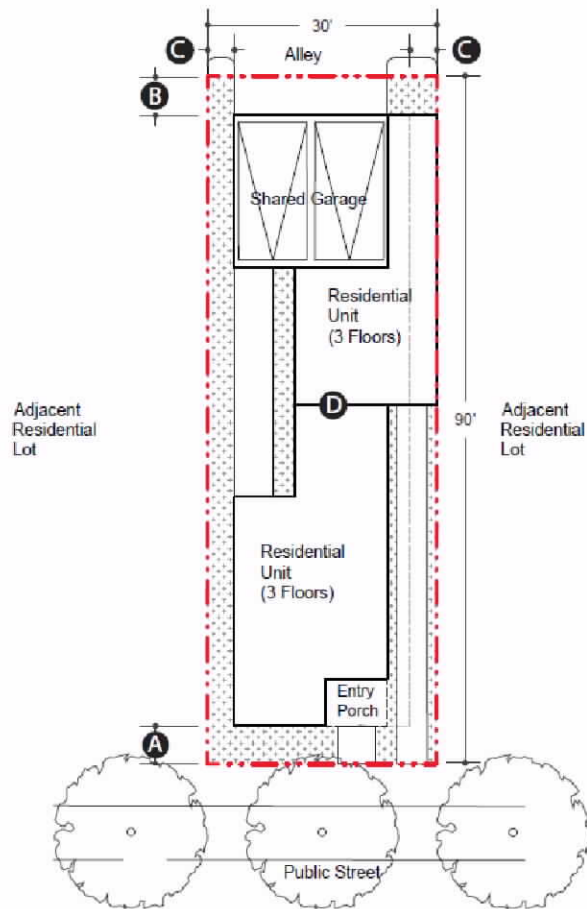


Diagram is illustrative only. Table shall govern.

		Two-unit Residential
	Minimum Lot Size	2400 SF
	Minimum Lot Width	28 FT 33 FT on corner lots
	Maximum Height	45 FT 4 Stories
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback (Alley)	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
D	Minimum Separation between Units	0 FT
	Maximum Impervious Cover	95%
	Common Courtyard Setback	0 FT

30' Two-Unit Residential Attached (Rear Loaded)

Prepared by McCann Adams Studio for Catellus - DRAFT July 31, 2023

EXHIBIT F - (PAGE 14)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

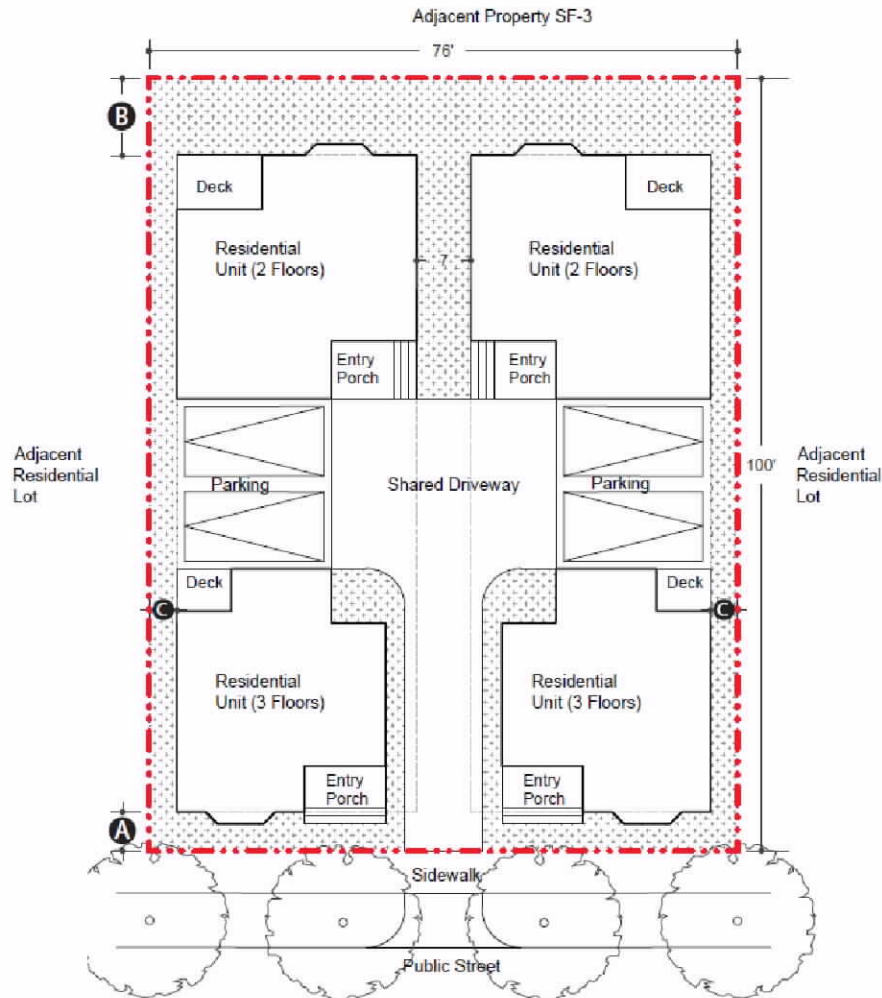


Diagram is illustrative only. Table shall govern.

A B C	Small Site Condominium	
	Minimum Lot Size	2700 SF on corner lots
	Minimum Lot Width	30 FT
	Maximum Height	45 FT 4 Stories
	Minimum Street Front Setback	5 FT
	Minimum Rear Yard Setback	5 FT
	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
	Maximum Impervious Cover	90%
	Common Courtyard Setback	0 FT

Small Site Condominium

Prepared by McCann Adams Studio for Catellus - DRAFT September 7, 2023

EXHIBIT F - (PAGE 15)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

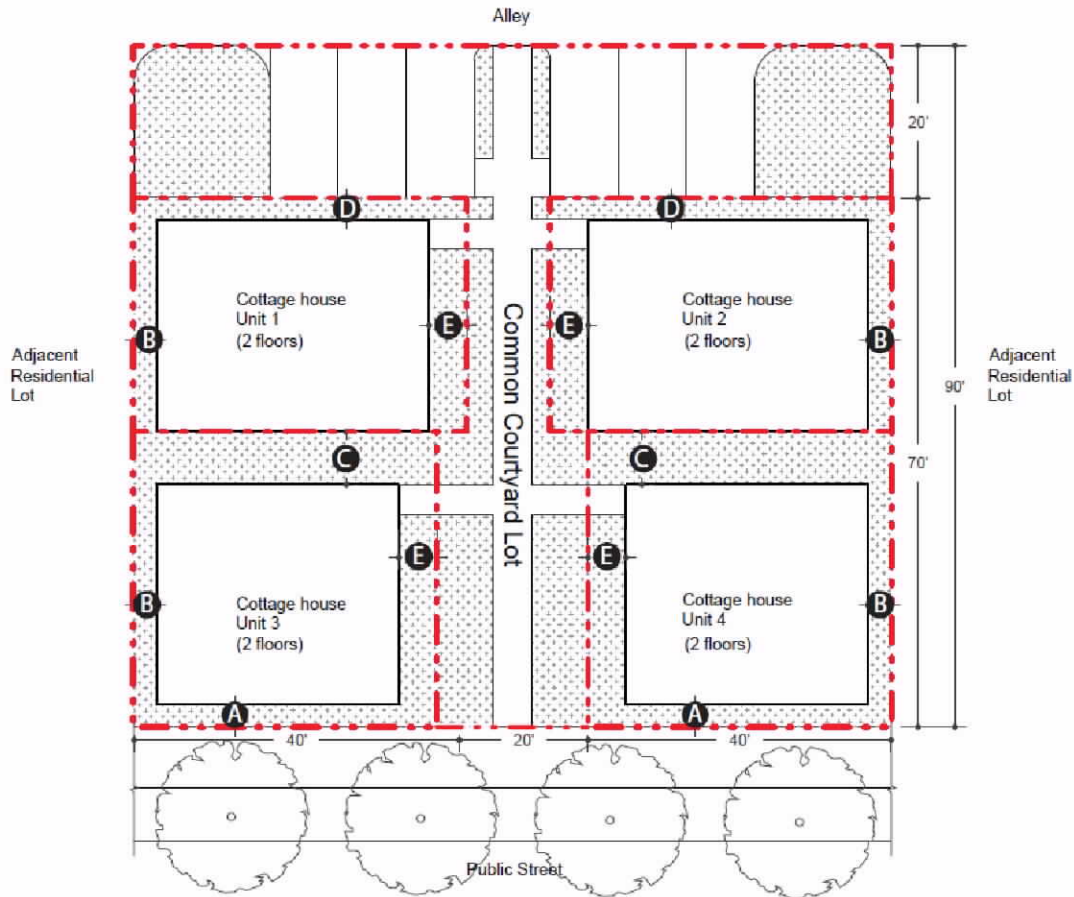


Diagram is illustrative only. Table shall govern.

	Cottage House Court	
	Minimum Lot Size	800 SF
	Minimum Lot Width	20 FT
	Maximum Height	35 FT 2 Stories
	A Minimum Street Front Yard Setback	3 FT
	B Minimum Interior Side Yard Setback	3 FT-1 IN ¹
	C Minimum Interior Rear Yard Setback	0 FT ²
	D Minimum Rear Yard Setback	3 FT
E	Maximum Impervious Cover	95%
	Common Courtyard Setback	3 FT

FOOTNOTES:

1. A minimum side yard setback of 3'-1" is permitted (measured from face of building to property line) provided that the adjoining side yard setback is a minimum of 3'-11" to create a face-of-building to face-of-building space of at least seven (7) feet.
2. One side of a cottage house exterior wall may be located on the lot's interior rear yard property line, however the exterior sideyard-facing building walls of adjoining lots must be separated by a minimum of five (5) feet. (Access and/or maintenance easements may need to be created by individual builders or property owners to facilitate maintenance of buildings and/or areas that are located on or very close to an interior sideyard property line).
3. Refer to compatibility standards in Colony Park PUD Part 11-B. (15)

4-Unit Cottage House Court

Prepared by McCann Adams Studio for Catellus - DRAFT July 31, 2023

EXHIBIT F - (PAGE 16)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

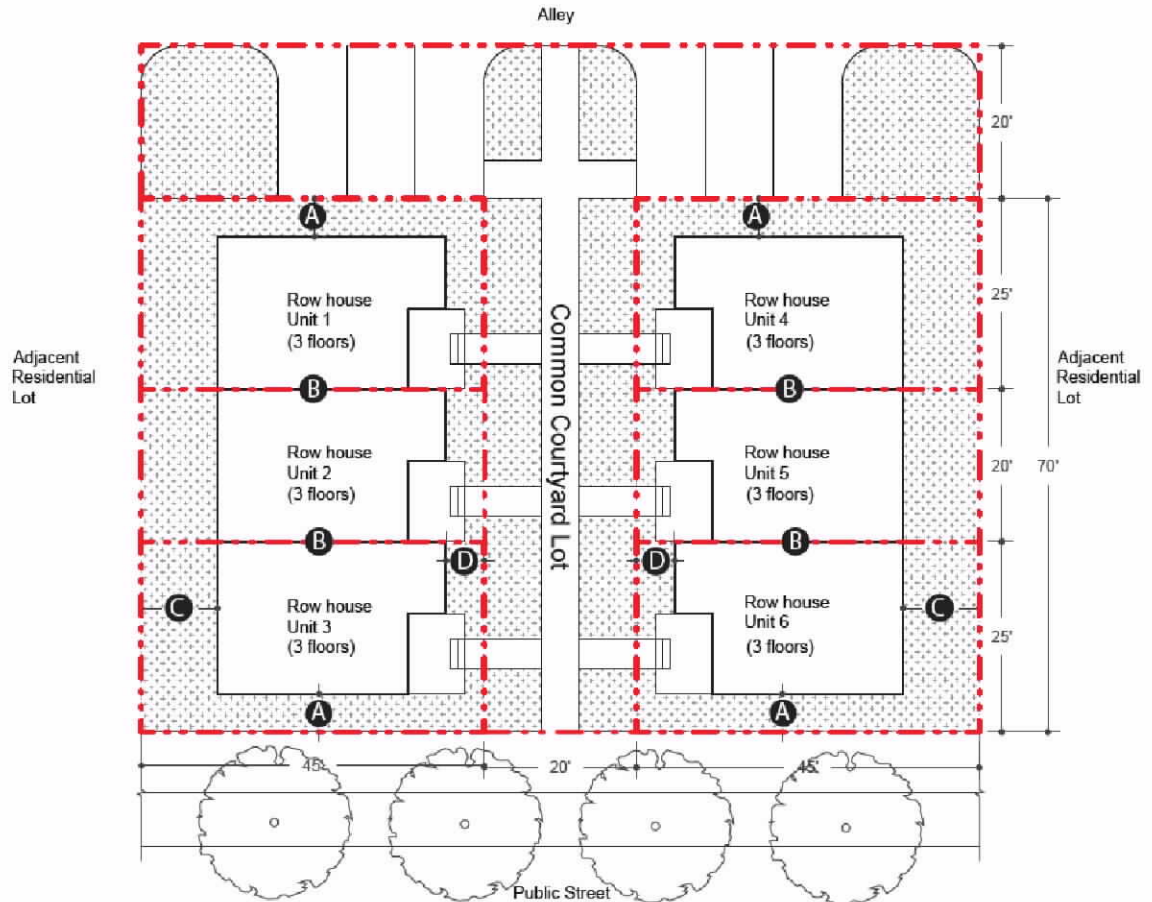


Diagram is illustrative only. Table shall govern.

		Row House Court
	Minimum Lot Size	600 SF, 800 SF on corner lots
	Minimum Lot Width	20 FT
	Maximum Height	45 FT 4 Stories
A	Minimum Street and Alley Setback	3 FT
B	Minimum Interior Side Yard Setback	0 FT
C	Minimum Rear Yard Setback	5 FT
	Maximum Impervious Cover	95%
D	Common Courtyard Setback	5 FT

6-Unit Row House Court

Prepared by McCann Adams Studio for Catellus - DRAFT September 7, 2023

EXHIBIT J

COLONY PARK P.U.D. OFF-STREET LOADING AND PARKING REGULATIONS AND RATIOS

- (1) There is no off-street loading requirement for a building with less than 10,000 square feet of gross building area. The director shall determine the location, number, and dimensions of the off-street loading for a larger building.
- (2) Except as provided by the director, parking in alleys is prohibited.
- (3) This section establishes minimum vehicular parking requirements:
 - (a) Except as otherwise provided in this subsection, a commercial use shall provide one parking space for every 500 square feet of gross building area.
 - (b) An office use shall provide one parking space for every 500 square feet of gross building area.
 - (c) A condominium residential, multi-family residential, group residential and retirement housing use shall provide one parking space for each unit.
 - (d) A yard house, row house, shop house, zero lot line, two-unit residential, small-site condominium, cottage court, row house court, duplex, and group home (Class I General, Class I Limited, and Class II) shall provide one parking space for each dwelling unit.
 - (e) A yard house or row house is not required to provide additional parking for an accessory dwelling unit.
 - (f) A shop house is not required to provide additional parking for a commercial use if the commercial use does not exceed 750 square feet.
 - (g) A daycare service (commercial, general and limited), primary educational facility (private and public), or secondary educational facilities (public and private) use shall provide one parking space for each employee.
 - (h) An indoor entertainment use shall provide one parking space for every 15 seats.
 - (i) Off-street parking is not required for park and recreational facilities, community recreation facilities (private and public), community events facilities and outdoor sports and recreational facilities (such as neighborhood parks, pavilions, picnic shelters or tables, playgrounds, swimming pools, basketball/sport courts, amphitheaters, or bike rental facilities).
- (4) City of Austin parking requirements can supersede the standards listed in (3) above if they are less restrictive.
- (5) Except as otherwise provided in this section, bicycle parking shall be provided in accordance with Chapter 25-6, Appendix A of the City Code. A commercial use parking lot or garage shall provide not less than one bicycle parking space for every 20 motor vehicle parking spaces.
- (6) Within the LTC and ETOD land use areas, the required parking for a use may be located anywhere in the land use areas. Community and shared parking facilities are encouraged.

EXHIBIT K - (PAGE 1)
COLONY PARK P.U.D. CRITERIA MANUAL

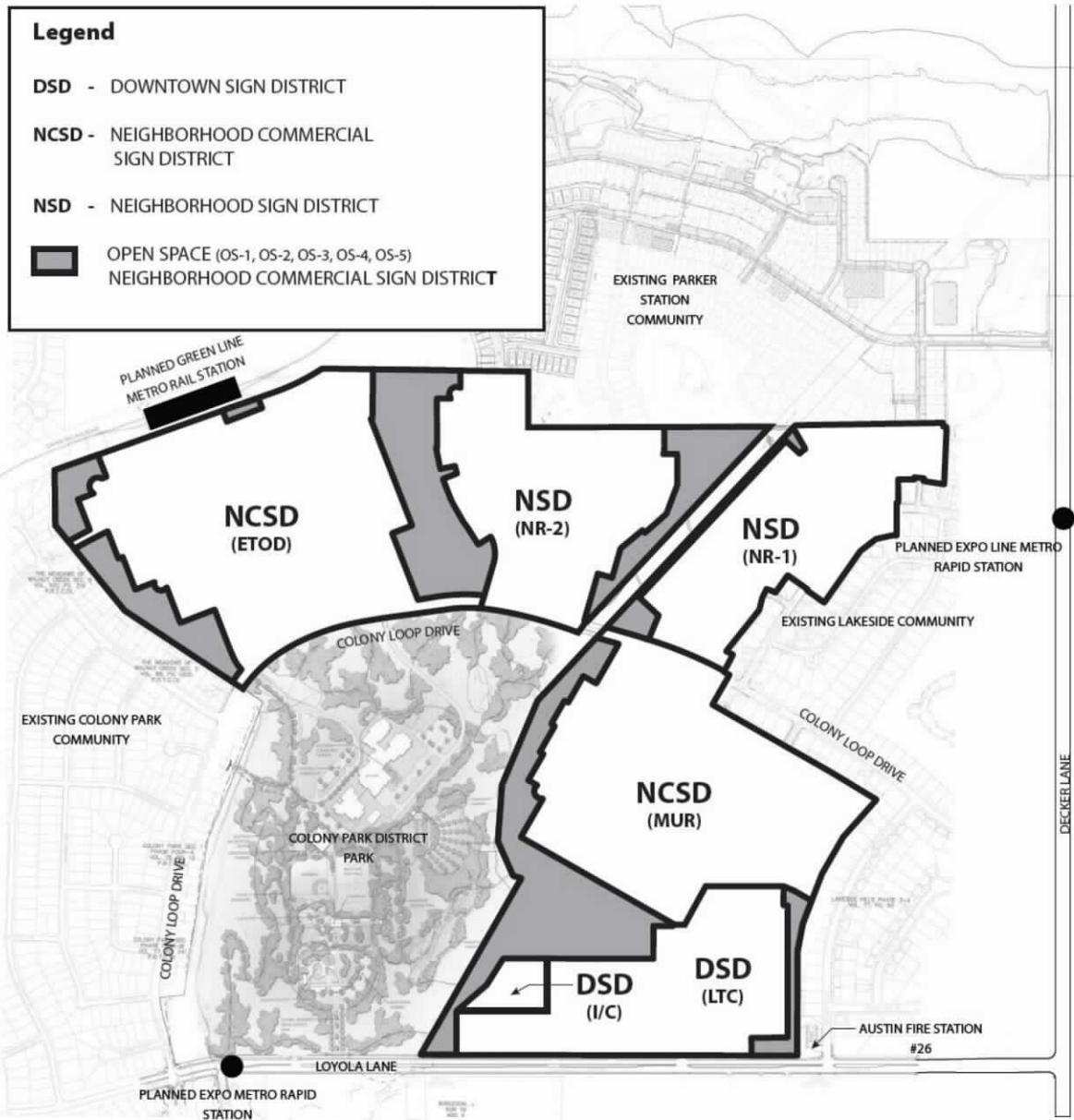
A. GENERAL

1. The following versions of the City of Austin's criteria manuals are adopted for Colony Park PUD unless otherwise superseded by the modifications listed in this Exhibit. To the extent of any conflicts, this Exhibit K shall govern. *[NOTE: The Development Team will address this further through the Law Department and other impacted departments as part of the Council approval process. If a lock-in provision is established pursuant to A.2 below, dates may be added to this A.1 to specify applicable criteria manual versions for clarity.]*
 - a. Building Criteria Manual
 - b. Drainage Criteria Manual
 - c. Environmental Criteria Manual
 - d. Fire Protection Criteria Manual RESERVED for future version to be updated for IFC2021
 - e. Transportation Criteria Manual
 - f. Utilities Criteria Manual
 - g. Standards Manual
 - h. Standard Specifications Manual
2. Colony Park PUD shall be subject to those rules and regulations in effect as follows:
[NOTE: The Development Team will address this further through the Law Department and other impacted departments as part of the Council approval process.]
3. Unless maximum allowable densities as shown in PUD Exhibit E are exceeded, all future updates to the Colony Park's Traffic Impact Analysis (TIA) for the Colony Park PUD shall be done administratively using the 11th edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual Applicable trip reductions to reflect pass by, internal capture, transit, and TDM reductions will applied to develop the adjusted peak hour trips. The critical peak hour trip (PHT) for this development occurs during the PM peak and therefore, all evaluations will be based on PM Peak Hour Trip (PHT) trip rates. The PHT trip rates are shown in the Colony Park's TIA (as it may be administratively amended updated) and will be used as development occurs.
4. The Colony Park PUD Design Guidelines (the "Design Guidelines") referenced in this Criteria Manual will be those design guidelines approved by the City.

B. DRAINAGE CRITERIA MANUAL MODIFICATIONS

1. DCM 1.2.4 (Drainage System) subsection (A) is modified to add "Within the Colony Park PUD, ponds located in parks and open spaces to be conveyed to the City of Austin will be designed to City's standards of public ponds in this section, as modified, even though they will be maintained by the Land Developer for the entire project (Catellus or its designated entity). Ponds that are located within private parcels will be designed to Commercial Development standards."
2. DCM 1.2.4 (Drainage System) subsection (E) is modified to remove ramps into

EXHIBIT L
COLONY PARK P.U.D. SIGNAGE DISTRICTS



Draft November 16, 2023

0 200 400 800 Feet



108. NPA-2023-0018.03- 5514 Grover Avenue and 5515 Roosevelt Avenue- Conduct a public hearing and approve an ordinance amending Ordinance No. 040513-30 the Brentwood/Highland Combined Neighborhood Plan as an element of the Imagine Austin Comprehensive Plan, to change the land use designation on the future land use map (FLUM) on properties locally known as 5514 Grover Avenue and 5515 Roosevelt Avenue (Shoal Creek Watershed) from Single Family to Multifamily Residential land use. Staff and Planning Commission recommendation: To grant Multifamily Residential land use. Owner/Applicant: Biagini, LP, a Texas limited partnership and Laura A. and Steve D. Beuerlein. Agent: Dubois, Bryant & Campbell, LLP (David Hartman). City Staff: Maureen Meredith, Planning Department, (512) 974-2695. District(s) Affected: District 7.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-108 to change the land use designation on the future land use map (FLUM) to Multifamily Residential land use was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

109. C14-2023-0065 - 5506 and 5514 Grover Avenue, and 5515 Roosevelt Avenue - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 5506 and 5514 Grover Avenue and 5515 Roosevelt Avenue (Shoal Creek Watershed). Applicant Request: To rezone from multifamily residence moderate-high density-neighborhood plan (MF-4-NP) combining district zoning and family residence-neighborhood plan (SF-3-NP) combining district zoning to multifamily residence highest density-conditional overlay-neighborhood plan (MF-6-CO-NP) combining district zoning. Staff Recommendation and Planning Recommendation: To grant multifamily residence highest density-conditional overlay-neighborhood plan (MF-6-CO-NP) combining district zoning. Owner/Applicant: Brentwood Townhomes, L.P., Laura and Steve Beuerlein, and Biagini, LP. Agent: DuBois, Bryant & Campbell, L.L.P. (David Hartman). City Staff: Nancy Estrada, Planning Department, 512-974-7617. District(s) Affected: District 7.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-109 for multifamily residence highest density-conditional overlay-neighborhood plan (MF-6-CO-NP) combining district zoning was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

110. C14-2023-0038 - 4106 1/2, 4120, 4122, 4122 1/2 East 12th Street - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 4106 1/2, 4120, 4122, 4122 1/2 East 12th Street (Tannehill Branch Watershed). Applicant Request: To rezone from family residence-neighborhood plan (SF-3-NP) combining district zoning to multifamily residence low density-neighborhood plan (MF-2-NP) combining district zoning. Staff and Planning Commission Recommendation: To grant multifamily residence low density-neighborhood plan (MF-2-NP) combining district zoning. Owner/Applicant: 4120 E. 12th Street Partners LP. Agent: Drenner Group, PC (Leah M. Bojo). City Staff: Jonathan Tomko, Planning Department, (512) 974-1057. District(s) Affected: District 1.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-110 for multifamily residence low density-neighborhood plan (MF-2-NP) combining district zoning was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

111. NPA-2022-0005.01 -Vargas Mixed Use - Approve third reading an ordinance amending Ordinance No. 010927-05 the Montopolis Neighborhood Plan, an element of the Imagine Austin Comprehensive Plan, to change the land use designation on the future land use map (FLUM) on property locally known as 400 Vargas Road and 6520 Lynch Lane (Country Club East and Colorado River Watersheds) from Commercial to Mixed Use land use. First Reading approved on September 14, 2023. Vote: 7-0. Council Member Harper-Madison, Council Member A. Alter, Council Member Pool and Mayor Pro Tem Ellis were off the dais. Second Reading approved on October 19, 2023. Vote: 10-0. Council Member Harper-Madison absent. Agent: Thrower Design (A. Ron Thrower and Victoria Haase). City Staff: Maureen Meredith, Planning Department, (512) 974-2695. District(s) Affected: District 3.
This item was postponed to January 18, 2024, at the request of the Applicant on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.
112. C14-2022-0107 - Vargas Mixed Use - Approve third reading of an ordinance amending City Code Title 25 by rezoning property locally known as 400 Vargas Road and 6520 Lynch Lane (Country Club East and Colorado River Watersheds). Applicant's Request: To rezone Tract 1 from community commercial-neighborhood plan (GR-NP) combining district zoning to general commercial services-mixed use-neighborhood plan (CS-MU-NP) combining district zoning, and to rezone Tract 2 from neighborhood commercial-neighborhood plan (LR-NP) combining district zoning to neighborhood commercial-mixed use-neighborhood plan (LR-MU-NP) combining district zoning. First Reading approved on September 14, 2023. Vote: 7-0. Council Member Harper-Madison, Council Member A. Alter, Council Member Pool and Mayor Pro Tem Ellis were off the dais. Second Reading approved on October 19, 2023. Vote: 10-0. Council Member Harper-Madison absent. Owner/Applicant: Vargas Properties I Ltd and Jayco Holdings I Ltd (Jay Chernosky). Agent: Thrower Design, LLC (A. Ron Thrower). City Staff: Nancy Estrada, Planning Department, 512-974-7617. District(s) Affected: District 3.
This item was postponed to January 18, 2024, at the request of the Applicant on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.
113. NPA-2023-0030.01.SH - Mission South - Conduct a public hearing and approve an ordinance amending Ordinance No. 20141106-085 the South Austin Combined Neighborhood Plan (Garrison Park), an element of the Imagine Austin Comprehensive Plan, to change the land use designation on the future land use map (FLUM) on property locally known as 711 Eberhart Lane (Williamson Creek Watershed) from Neighborhood Node to Mixed Use Activity/Hub Corridor land use. Staff and Planning Commission recommendation: To grant Mixed Use Activity Hub/Corridor land use. Owner/Applicant: SVAG Amazon, LLC. Agent: Drenner Group, PC (Leah Bojo). City Staff: Maureen Meredith, Planning Dept. (512) 974-2695. District(s) Affected: District 2.
This item was postponed to December 14, 2023, at the request of Staff on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.
114. C814-06-0106.03 - Hyatt West PUD Amendment - Approve third reading of an ordinance amending City Code Title 25 by rezoning property locally known as 151 South 1st Street (Lady Bird Lake Watershed). Applicant's Request: To rezone from planned unit development-neighborhood plan (PUD-NP) combining district zoning to planned

unit development-neighborhood plan (PUD-NP) combining district zoning, to change a condition of zoning. The ordinance may include exemption from or waiver of fees, alternative funding methods, modifications of City regulations, and acquisition of property. First Reading approved on October 5, 2023. Vote: 7-1. Council Member R. Alter voted nay. Council Member Harper-Madison, Council Member A. Alter, and Council Member Pool were off the dais. Second Reading approved on November 2, 2023. Vote 6-2. Council Members A. Alter and R. Alter nay. Council Member Pool abstaining. Council Member Kelly off the dais. Council Member Harper-Madison absent. Owner/Applicant: River South Venture, LLC. Agent: Drenner Group, PC (Leah Bojo). City Staff: Nancy Estrada, Planning Department, 512-974-7617 District(s) Affected: District 9.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-114 for planned unit development-neighborhood plan (PUD-NP) combining district zoning, to change a condition of zoning was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 6-3 vote. Those voting aye were: Mayor Watson, Mayor Pro Tem Ellis, Council Members Kelly, Qadri, Vela, and Velásquez. Those voting nay were: Council Members Alison Alter, Fuentes, and Pool. Council Member Harper-Madison abstained. Council Member Ryan Alter was absent.

115. C14-2023-0032 - 1512 Damon Road - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 1512 Damon Road (Williamson Creek Watershed). Applicant Request: To rezone from family residence (SF-3) district zoning to townhouse and condominium residence (SF-6) district zoning. Staff Recommendation: To grant townhouse and condominium residence-conditional overlay (SF-6-CO) combining district zoning. Zoning and Platting Commission Recommendation: To grant townhouse and condominium residence (SF-6) district zoning. Owner/Applicant: Albert Road Horizontal Investors, LP (Matt McDonnell). Agent: Armbrust & Brown (Michael Whellan). City Staff: Nancy Estrada, Planning Department, 512-974-7617. A valid petition has been filed in opposition to this rezoning request. District(s) Affected: District 5.

This item was postponed to January 18, 2024, at the request of Council Member Ryan Alter on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

116. C14-2022-0100 - 7606 Albert Road - Conduct a public hearing and approve an ordinance amending City Code Title 25 by rezoning property locally known as 7606 Albert Road (Williamson Creek Watershed). Applicant Request: To rezone from development reserve (DR) district zoning to townhouse and condominium residence (SF-6) district zoning. Staff Recommendation: To grant townhouse and condominium residence-conditional overlay (SF-6-CO) combining district zoning. Zoning and Platting Commission Recommendation: To grant townhouse and condominium residence (SF-6) district zoning. Owner/Applicant: Albert Road Horizontal Investors, LP (Matt McDonnell). Agent: Armbrust & Brown (Michael Whellan). City Staff: Nancy Estrada, Planning Department, 512-974-7617. A valid petition has been filed in opposition to this rezoning request. District(s) Affected: District 5.

This item was postponed to January 18, 2024, at the request of Council Member Ryan Alter on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

117. C14H-2023-0079 - Griffin House. Approve second and third readings of an ordinance amending City Code Title 25 by rezoning property locally known as 2502 Jarratt Avenue (Shoal Creek Watershed). Applicant's Request: To rezone from family residence-neighborhood plan (SF-3-NP) combining district zoning to family residence-historic landmark-neighborhood plan (SF-3-H-NP) combining district zoning. First Reading approved on November 9, 2023. 10-0. Council Member Harper-Madison absent. Owner/Applicant: Katherine Goering Agent: H-H-M, Inc. (Kristina Kupferschmid). City Staff: Kalan Contreras, Planning Department, 512-974-2727. District(s) Affected: District 10.

The public hearing was conducted and a motion to close the public hearing and approve Ordinance No. 20231130-117 for family residence-historic landmark-neighborhood plan (SF-3-H-NP) combining district zoning was approved on Council Member Harper-Madison's motion, Mayor Pro Tem Ellis' second on a 10-0 vote. Council Member Ryan Alter was absent.

Mayor Watson adjourned the meeting at 2:51 p.m. without objection.

The minutes were approved on this the 14th day of December 2023 on consent on a 10-0 vote. Council Member Ryan Alter was absent.