

ORDINANCE NO. 20231130-107

AN ORDINANCE AMENDING ORDINANCE NO. 20141211-150 TO MODIFY THE LAND USE PLAN AND CHANGE CONDITIONS OF ZONING FOR THE COLONY PARK SUSTAINABLE COMMUNITY INITIATIVE PLANNED UNIT DEVELOPMENT LOCATED AT 7900 LOYOLA LANE FROM PLANNED UNIT DEVELOPMENT (PUD) DISTRICT TO PLANNED UNIT DEVELOPMENT (PUD) DISTRICT, TO CHANGE CONDITIONS OF ZONING.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. The Colony Park Sustainable Community Initiative (“Colony Park PUD”) was approved on December 11, 2014, under Ordinance No. 20141211-150 (the “Original Ordinance”).

PART 2. The Colony Park PUD is comprised of approximately 208.232 acres of land located generally at 7900 Loyola Lane in Austin, Travis County, Texas.

PART 3. The zoning map established by Section 25-2-191 of the City Code is amended to change the base district from planned unit development (PUD) district to planned unit development (PUD) district on the property described in Zoning Case No. C814-2014-0110.02.SH, on file at the Planning Department, as follows:

Tract 1:

92.543 acres of land, out of the JAMES BURLESON SURVEY NO. 19, ABSTRACT NO. 4, in Travis County, Texas, being all of that certain (92.468 acre) tract of land conveyed by Deed recorded in Document No. 2001119347, Official Public Records of Travis County, Texas, same being a portion of that certain (169.714 acre) tract of land described as “Tract 1” and as conveyed by Deed recorded in Volume 12136, Page 2467, Real Property Records of Travis County, Texas, and being more particularly described by metes and bounds in **Exhibit “A-1”** incorporated into this ordinance,

Tract 2:

26.243 acres of land, out of the JAMES BURLESON SURVEY NO. 19, ABSTRACT NO. 4, in Travis County, Texas, being all of that certain (26.243 acre) tract of land conveyed by Deed recorded in Document No. 2001119347, Official Public Records of Travis County, Texas, and being more particularly described by metes and bounds in **Exhibit “A-2”** incorporated into this ordinance,

Tract 3:

56.482 acres of land, out of the JAMES BURLESON SURVEY NO. 19, ABSTRACT NO. 4, in Travis County, Texas, being a portion of that certain (84.918 acre) tract of land conveyed by Deed recorded in Document No. 2001119347, Official Public Records of Travis County, Texas, and being more particularly described by metes and bounds in **Exhibit "A-3"** incorporated into this ordinance,

Tract 4:

24.407 acres of land, out of the JAMES BURLESON SURVEY NO. 19, ABSTRACT NO. 4, in Travis County, Texas, being a portion of that certain (84.918 acre) tract of land conveyed by Deed recorded in Document No. 2001119347, Official Public Records of Travis County, Texas, and being more particularly described by metes and bounds in **Exhibit "A-4"** incorporated into this ordinance, and

Tract 5:

8.557 acres of land being all of that certain (8.557 acre) tract of land known as "Colony Park Sustainable Community Initiative PUD Phase 1 Right-of-Way" a subdivision in Travis County, Texas, according to the map of plat thereof recorded in Document No. 201500116 of the Official Public Records of Travis County, Texas, and being comprised of:

Parcel 1: being all of that certain (3.334 acre) tract of land as conveyed to the City of Austin by Deed recorded in Document No. 2001119349 of the Official Public Records of Travis County, Texas.

Together with

Parcel 2: being a portion of that certain (84.918 acre) tract of land identified as "Tract D" as conveyed to the city of Austin by Deed recorded in Document No. 2001119347 of the Official Public Records of Travis County, Texas, together with all of that certain (1.194 acre) tract of land as conveyed to the city of Austin by Deed recorded in Document No. 2001119349 of the Official Public Records of Travis County, Texas.

(Tract 1, Tract 2, Tract 3, Tract 4, and Tract 5 collectively, the "Property"),

locally known as 7900 Loyola Lane in the City of Austin, Travis County, Texas, and generally identified in the map attached as **Exhibit "B"**.

PART 4. This ordinance and the attached Exhibits A-1, A-2, A-3, A-4, and B through L constitute the land use plan (the "Land Use Plan") and amends the Original Ordinance. Development of and uses within the Property shall conform to the limitations and conditions set forth in this ordinance. Except as otherwise provided by this ordinance, all other rules, regulations, and ordinances of the City of Austin ("City") apply to the Property. If this ordinance and the attached exhibits conflict, this ordinance controls.

PART 5. The attached exhibits are incorporated into this ordinance in their entirety as though fully set forth in the text of this ordinance. The exhibits are as follow:

Exhibit A-1:	Description of Property: Tract 1
Exhibit A-2:	Description of Property: Tract 2
Exhibit A-3:	Description of Property: Tract 3
Exhibit A-4:	Description of Property: Tract 4
Exhibit B:	Zoning Map
Exhibit C:	Land Use Plan
Exhibit D:	Zoning Use Summary Table
Exhibit E:	Density Table
Exhibit F:	Site Development Regulations
Exhibit G:	Colony Park PUD Environmental
Exhibit H:	Open Space Plan
Exhibit I:	Street Sections
Exhibit J:	Off-Street Loading and Parking Regulations and Ratios
Exhibit K:	Colony Park PUD Criteria Manual
Exhibit L:	Signage Districts

PART 6. Definitions.

(A) In this ordinance

- (1) **ACCESS LOT** is a lot on a plat that provides street frontage and joint access for lots that are served only by an alley.
- (2) **ACCESSORY DWELLING UNIT** is a secondary residential structure to the primary structure on the property, up to a maximum floor area of 1,100 square feet. A Creative Space is permitted as an accessory use, including home studios and artist workshops. The sale of finished work is permitted including performance art.

- (3) COLONY PARK SUSTAINABLE COMMUNITY INITIATIVE is the community driven process that established the overall vision for the redevelopment of the 208-acre, city-owned property located at 7900 Loyola Lane, resulting in the 2014 Council-adopted Master Plan and Design Guidelines.
- (4) COTTAGE HOUSE is a grouping of up to eight detached single-family homes oriented to a common courtyard.
- (5) COMMON COURTYARD is a lot on a plat that provides street frontage and common green area for lots that may not be served directly by an alley or street.
- (6) CREATIVE SPACE is either a principal commercial use OR an allowable accessory use to commercial and residential uses that allows one or more of the following occupancies:
 - (a) library, museum, or art gallery;
 - (b) performance venue/theater;
 - (c) art, dance, martial arts, or studios for performing art, music, or visual art;
 - (d) art workshop; or
 - (e) live music venue
- (7) EQUITABLE TRANSIT-ORIENTED DISTRICT is a land use zone identified on **Exhibit "C" - Land Use Plan**, as ETOD intended for a mix of residential and commercial uses oriented to high capacity transit. Mixed-use buildings are permitted.
- (8) GROCERY STORE is a food sales use with a minimum floor area of 10,000 square feet.
- (9) INSTITUTIONAL/ CIVIC is a land use zone identified on **Exhibit "C" - Land Use Plan**, as I/C intended for community based land uses.

- (10) LAND DEVELOPER is the development entity, its successors or assigns, that enters into a development agreement with the City of Austin for development of the Colony Park PUD.
- (11) LANDOWNER means the owner of the Property, or the owner's successors and assigns, or the owner of the Property or that portion of the Property at the time of dedication or transfer to City.
- (12) LAND USE AREA means the following use categories into which the PUD is divided and as identified on **Exhibit "C" - Land Use Plan**: Loyola Town Center ("LTC"), Institutional/Civic ("I/C"), Mixed Use Residential ("MUR"), Equitable Transit Oriented District ("ETOD"), Neighborhood Residential ("NR") and Open Space ("OS").
- (13) LIBRARY, MUSEUM, OR PUBLIC ART GALLERY means uses that are public or quasi-public facilities examples of which include: aquariums, arboretums, art galleries and exhibitions, botanical gardens, historic sites and exhibits, libraries, and museums. May also include accessory retail uses including, but not limited to, gift/book shops and restaurants.
- (14) LIVE MUSIC VENUE is an establishment used for the presentation of live music and performances typically for a fee or admission charge for participants or spectators. May feature other live performances, including plays, motion pictures, or other dramatic performances, so long as such performances constitute less than 50 percent of all events. The venue must clearly establish the ability of an artist to receive payment for work by percentage of sales, guarantee, or other mutually beneficial formal agreement.
- (a) INDOOR. An indoor facility, including, but not limited to, performance venues, music venues, theaters, movie theaters, and performing arts centers.
- (b) OUTDOOR. An outdoor facility where the stage or entertainment is located outdoors, including, but not limited to, amphitheaters, outdoor stages, and permanent outdoor movie theaters.
- (15) LIVE-WORK is an integrated housing unit and workspace occupied and used by a single household or households in a structure that has been designed or structurally modified to jointly accommodate residential occupancy and work activity.

- (16) LOYOLA TOWN CENTER is the land use area identified on **Exhibit "C" - Land Use Plan**, as LTC. The Loyola Town Center land use area is a mixed-use area providing uses including but not limited to neighborhood retail/commercial, residential, and service uses with multiple sites for higher density.
- (17) MICROBREWERY is the use of a site for the production, bottling, packaging, sale and onsite consumption of beers, wines and other brewed and fermented products. This use does not include distillery and spirits storage. To be considered a microbrewery, the facility must produce a minimum of 50 barrels of product(s) a year. Food sale is permitted but is not required. Onsite consumption is not limited by square footage but must comply with applicable State laws.
- (18) MIXED USE RESIDENTIAL is a land use area identified on **Exhibit "C" - Land Use Plan**, as MUR, with a mix of both residential and commercial uses located adjacent to the Loyola Town Center.
- (19) NEIGHBORHOOD-RESIDENTIAL are the land use areas identified on **Exhibit "C" - Land Use Plan**, as NR-1 and NR-2 that supports a diversity of housing types with a limited amount of neighborhood-serving commercial uses.
- (20) OPEN SPACE are the land use areas identified on **Exhibit "C" - Land Use Plan**, as OS-1, OS-2, OS-3, OS-4, and OS-5. The Open Space land use areas are intended to provide a system of greenways that provide for recreational trails and other amenities as well as provision for site drainage, environmental features, and utility easements.
- (21) PARK is a subset of the Open Space land use zone. Park is intended to allow moderate and active recreation activities.
- (22) PERFORMANCE VENUE/THEATER is an establishment used for the presentation of live performances, plays, motion pictures, or other dramatic performances, typically for a fee or admission charge for participants or spectators. May feature live music if performances constitute less than 50 percent of all events.
- (23) MULTI-FAMILY is a building type primarily intended to allow residential land uses in a multi-story structure.

- (24) ROW HOUSE means an attached townhouse up to four stories on its own lot, or on a shared lot. A Row House may have an accessory dwelling unit.
 - (25) SHARED PARKING permits multiple land uses to use a single parking area on site or off site, based on peak areas of demand or allocating parking spaces to each land use.
 - (26) SHOP HOUSE is a live-work townhouse with a ground level workspace or commercial space and upper-level living space.
 - (27) SMALL-SITE CONDOMINIUM means three to eight dwelling units, attached or detached on one lot, each with an individual entry.
 - (28) STUDIO: ART, DANCE, MARTIAL ARTS, MUSIC mean small-scale facilities focused on the instruction of students of any age group. Also includes production studios for musicians, painters, sculptors, photographers, and other artists. Examples of these facilities include, but are not limited to, instruction and training in the arts, production rehearsal, photography and the processing of photographs produced only by users of the studio facilities, martial arts training studios, and aerobics with no other fitness facilities or equipment.
 - (29) TWO-UNIT RESIDENTIAL means two attached or detached dwelling units on one lot.
 - (30) YARD HOUSE is a single-family detached dwelling unit on its own lot. An accessory dwelling unit may be constructed on the lot.
- (B) Except as provided in this PART 6, all other terms have the meaning provided in City Code Title 25. In the event of a conflict with City Code Title 25, this ordinance shall control.

PART 7. LAND USE

- (A) The land uses for the Property are established in **Exhibit "C"- Land Use Plan.**
- (B) The permitted uses and non-permitted uses on the Property are established in **Exhibit "D"- Zoning Use Summary Table.**
- (C) The total maximum density on the Property for each land use area established in **Exhibit "E"- Density Table.**

- (D) The development regulations on the Property are established in **Exhibit “F”- Site Development Regulations**.
- (E) Gated roadways shall be prohibited on the Property.

PART 8. Open Space and Parkland

- (A) Landowner shall provide a minimum of 41.65 acres as open space (“Park and Open Space”) as illustrated in **Exhibit “H” - Open Space Plan**.
- (B) Landowner shall provide a metes and bounds survey of the precise delineation and boundaries of the Park and Open Space to be approved by the Director of Parks and Recreation (“PARD”) at the time of the first preliminary plat application. On approval by the Director of PARD, a site plan on the Property may deviate from the metes and bounds survey of Park and Open Space, so long as the overall acreage conveyed as open space or dedicated as parkland on the Property shall not be less than 41.65 acres total.
- (C) Unless the Park and Open Space is conveyed in fee simple as parkland, a public access easement shall be provided over and across the portion of Park and Open Space identified in **Exhibit “C” - Land Use Plan** designated as OS - (1), (2), (3), (4), or (5) in a form approved by the city attorney upon completion of the park improvements located within such portion of the areas pursuant to a construction schedule approved by the Director of the PARD, but not later than November 30, 2053.
- (D) A minimum amount of \$8,000,000.00 will be expended for parkland improvements within the Property as approved by the Director of PARD.

PART 9. Environmental

- (A) All buildings on the Property shall achieve a two-star or greater rating under the Austin Energy Green Building program using the applicable rating version in effect at the time a rating registration application is submitted for the building or shall achieve a rating using an alternate rating system approved by the city that achieves equivalent or greater sustainability benefits.
- (B) Development on the Property shall comply with the requirements in **Exhibit “G” - Colony Park PUD Environmental**.

- (C) Development within Critical Water Quality Zone (CWQZ) and Critical Environmental Features (CEF) and the required setbacks for CWQZ and CEF are modified as shown in **Exhibit "G" - Colony Park PUD Environmental**.
- (D) Landowner may construct within the CWQZ and floodplains: access for emergency vehicles, multi-modal pathways, trails, boardwalks, decks, pavilions, and other elements with a demonstrated community benefit as determined and approved administratively by the Director of Watershed Protection Department (WPD) and designed in accordance with **Exhibit "K" - Colony Park PUD Criteria Manual**.
- (E) On approval by the Director of WPD, structural modifications to the existing man-made stock pond berm may be made on the Property. A wetland biologist from WPD may review, at the Director of WPD's discretion, proposed structural modifications to determine compliance with applicable wetland requirements and require that any disturbance caused by the structural modifications be modified.
- (F) Landowner shall be responsible for maintenance and inspection of water quality and control facilities.
- (G) Street trees shall be planted at an average spacing of 30 feet as described in **Exhibit "K" - Colony Park PUD Criteria Manual**.
- (H) Maximum impervious cover regulations on the Property are provided in **Exhibit "F" - Site Development Regulations**.

PART 10. Affordable Housing

- (A) Landowner shall satisfy the affordable housing requirement as set out in this Part 10.
- (B) Landowner shall provide 20 percent of the total residential units on the Property as affordable units.
- (C) An affordable unit constructed on the Property is subject to the following:
 - (1) Affordable Rental Units-
 - (a) An affordable rental unit shall be reserved as affordable for a minimum of 40 years following the issuance of the certificate of occupancy.

- (b) An affordable rental unit shall be made available to a household earning 60 percent or less of the current Austin-Round Rock Metropolitan Statistical Area Median Family Income as determined by the Director of the Housing Department.
- (2) Affordable Owner-Occupied Units-
 - (a) An affordable owner-occupied unit shall be reserved as affordable for a minimum of 30 years following the issuance of a certificate of occupancy, to include an additional 30 year affordability period to occur on a resale of the property to an income-qualified buyer as determined by the Director of the Housing Department.
 - (b) An affordable owner-occupied unit shall be made available to a household earning 80 percent or less of the current Austin-Round Rock Metropolitan Statistical Area Median Family Income as determined by the Director of the Housing Department.
 - (c) Landowner must provide a plan for managing homeowner association fees or include an assumption that a homeowner will be required to pay an ownership association fee when determining the maximum affordable sales price.
- (3) Unless otherwise approved by the Director of Housing Department, affordable rental units shall include an equivalent mix of bedrooms as offered in the market rate rental units.
- (4) All affordable rental units and affordable owner-occupied units within each building located on the Property shall meet the following requirements:
 - (a) Provide equal access and use of on-site amenities, common areas, and parking facilities as provided to market rate units; and
 - (b) Include interior components that are functionally equivalent to market-rate units; and
 - (c) Have shared access routes among affordable rental units and market-rate residential units.
- (5) For affordable rental units, Landowner shall prohibit discrimination on the basis of an individual's source of income as defined in Section 5-1-13 (*Definitions*).

- (6) Landowner shall prepare and utilize an affirmative marketing and outreach plan as approved by the Director of the Housing Department.
 - (7) Before the director may certify that a proposed development meets the requirements of this ordinance, Landowner shall execute in a form acceptable to the city attorney (i) an agreement to preserve the minimum affordability period and the related affordable housing requirements described in this Part 10, and (ii) a document for recording in the real property records that provides notice of or preserves the minimum affordability requirements on the Property.
- (D) Development on the Property shall be eligible for a waiver of 100 percent of the fees as provided by the S.M.A.R.T. Housing program provided Landowner complies with the S.M.A.R.T. Housing Code provisions as modified. Participation in S.M.A.R.T. Housing program is subject to application approval and certification by the Director of Housing Department as modified.

PART 11. Traffic and Transportation

- (A) Trip generation shall be calculated using ratios and formulas outlined in **Exhibit "K" - Criteria Manual**.
- (B) Development on the Property is subject to the City's Street Impact Fee (SIF) and is entitled to receive applicable SIF credits, SIF offsets, reflected in Ordinance No. 20201210-061 and Ordinance No. 20201210-062. SIF offsets shall be provided when mitigations identified in the Traffic Impact Analysis (TIA) memo are constructed.
- (C) The updated TIA memo for the Property shall establish the maximum amount of allowable peak hour trips. The critical peak hour trip (PHT) for this development occurs during the PM peak and therefore, all evaluations will be based on PM Peak Hour Trip (PHT) trip rates. The PHT trip rates are shown in the Colony Park's TIA (as it may be administratively amended updated) and will be used as development occurs. Traffic generation up to the established maximum for peak hour trips shall be approved administratively by the Director of Transportation and Public Works Department. Traffic mitigation improvements shall be required only for traffic generation based on actual land uses and intensities, and any allowed adjustments to a specific development shall be determined at the time of preliminary plat or site plan approval.

PART 12. Utilities.

The minimum required clearance between street trees and Austin Energy infrastructure elements are established in **Exhibit "K" - Criteria Manual**.

PART 13. Code Modifications. In accordance with Chapter 25-2, Subchapter B, Article 2, Division 5 (*Planned Unit Development*) of the Code, the following site development regulations apply to the Property instead of otherwise applicable City regulations:

(A) General

- (1) Section 25-1-21 (49) (*Definition of Height*) is modified to add a provision that states that a parking level is not considered a "story" when determining compliance with height limitations.
- (2) Section 25-1-21 (106) (*Definition of Site*) is modified to provide that a site in the Property may cross a public right-of-way.
- (3) Section 25-1-83 (B) and (C) (*Subdivision Application Requirements and Expiration*) is modified to eliminate the 90-day expiration of an accepted preliminary plan or plat application, and the one-year expiration of an accepted subdivision construction plan application.
- (4) Section 25-1, Article 14 is modified such that the Property is subject to parkland calculations and dedications as required in this ordinance. Open Space is shown in **Exhibit "H" - Open Space Plan**.
- (5) Section 25-1-703(B)(3)(b) (*Program Requirements*) is modified to provide that compliance with design and construction requirements of Chapter 5-1, Article 3, Division 2 shall be required except where site constraints, including topography, do not reasonably allow such compliance to be achieved.
- (6) Section 25-1-704 (A) and (B) (*Fee Waivers*) is modified to allow a 100 percent waiver of fees eligible for waiver under the S.M.A.R.T. Housing program for S.M.A.R.T. Housing certified developments within the Property.

- (7) Compliance with the applicable the Building Criteria Manual, Drainage Criteria Manual, Environmental Criteria Manual, Transportation Criteria Manual, and Utilities Criteria Manual, are modified and shall apply to the extent each does not conflict with the criteria established in **Exhibit “K” - Colony Park PUD Criteria Manual**.

(B) Zoning

- (1) Section 25-2-243 (*Proposed District Boundaries Must be Contiguous*) does not apply to the Property.
- (2) Subsection 2.3.1 (C) of Section 25-2-375 Division 5 (*Planned Unit Development Regulations*) is modified to clarify that the total amount of open space for the Property will be that established in **Exhibit “H” - Open Space Plan**.
- (3) Subsection 2.5 of Section 25-2-375 Division 5 (*Planned Unit Development Regulations*) does not apply to the Property.
- (4) Subsection 3.1.2 (F) of Section 25-2-375 Division 5 (*Planned Unit Development Regulations*) is modified to clarify that a substantial amendment will only apply if shifting development intensity is the sole reason for the “E” or “F” level of service.
- (5) Subsection 3.2.2 of Section 25-2-375 Division 5 (*Planned Unit Development Regulations*) is modified to delete the requirement that a maximum floor area ratio be provided for multifamily development.
- (6) Subsection 3.2.3 of Section 25-2-375 Division 5 (*Planned Unit Development Regulations*) is modified to remove the requirement that a maximum floor area ratio be provided for nonresidential uses.
- (7) Subsection 3.2.3 of Section 25-2-375 Division 5 (*Planned Unit Development Regulations*) is modified to provide that the front and side yard requirements for nonresidential uses in the Property are established in **Exhibit “F” - Site Development Regulations**.
- (8) Subsection 3.2.3 of Section 25-2-375 Division 5 (*Planned Unit Development Regulations*) is modified to delete the requirement that the number of curb cuts and driveways be shown on the land use plan.

- (9) Section 25-2-492 (*Site Development Regulations*) is modified as established in **Exhibit “C” - Land Use Plan, Exhibit “D” - Zoning Use Summary Table, Exhibit “E” - Density Table, and Exhibit “F” - Site Development Regulations.**
- (10) Section 25-2-512 (*Lot Size Minimum*) shall be replaced by **Exhibit “F” - Site Development Regulations.**
- (11) Section 25-2-1005 (*Trees*) is modified to remove the requirement for trees to be planted within a landscape yard, in consideration of the limited depth of the yards and the continuous street tree planting as shown in **Exhibit “I” - Street Sections.**
- (12) Section 25-2-1006(A) (*Visual Screening*) is modified so that water quality or storm water drainage facilities that serve as an amenity are not features that must be partially or periodically obscured from view from the street. **Exhibit “K” - Colony Park PUD Criteria Manual** shall govern all standards for screening.
- (13) Section 25-2-1006(C) (*Visual Screening*) is modified so that it shall not apply between uses or sites that are both located along and within the Property boundaries.
- (14) Section 25-2-1007 (*Parking Lots*) is modified to state that parking lots with fewer than 12 parking spaces total shall not be required to have landscaped areas.
- (15) Chapter 25-2, Subchapter C, Article 10 (*Compatibility Standards*). Sections 25-2-1051 through 25-2-1068 do not apply within the Property. Any urban family residence (SF-5) or more restrictive zoning district or a use permitted in an SF-5 or more restrictive zoning district is located, other than a dwelling permitted by Section 25-2-894 (*Accessory Uses For A Principal Commercial Use*) that abuts the perimeter of the Property shall trigger the following compatibility standards, such that:
- (a) no development within 50 feet of the abutting property line of the triggering property shall exceed three (3) floors; and
 - (b) no development within 50 and 100 feet of the abutting property line of the triggering property shall exceed five (5) floors unless limited otherwise by the base height outlined in **Exhibit “F” - Site Development Regulations.**

- (16) Chapter 25-2, Subchapter E (*Design Standards and Mixed Use*) does not apply within the boundaries of the Property.
- (17) Chapter 25-2, Subchapter F (*Residential Design and Compatibility Standards*) does not apply within or around boundaries of the Property.

(C) Subdivision

- (1) Section 25-4-56 (*Staff Review of Application for Preliminary Plan Approval*) is modified to provide for all preliminary plan applications including but not limited to new preliminary plans, corrections, and revisions to be prioritized for review using the SMART Housing review timeline or a faster expedited process if established.
- (2) Section 25-4-62 (*Expiration of an Approved Preliminary Plan*) is modified to extend the expiration period to fifteen (15) years after the approval date.
- (3) Section 25-4-82 (*Review of Application for Plat Approval; Expiration*) is modified to provide for all final plat applications including but not limited to new plat, amended plat, and replat applications to be prioritized for review using the SMART Housing review timeline or a faster expedited process if established.
- (4) Section 25-4-132 (*Easements and Alleys*) is modified to allow for loading and unloading to occur in any alley, provided that the alley does not serve as a fire lane.
- (5) Section 25-4-153 (*Block Length*) is modified to exempt Open Space blocks that are adjacent and parallel to a right-of-way from limitations in block lengths.
- (6) Section 25-4-157 (*Subdivision Access Streets*) are modified to allow a new subdivision to have one access street without director approval if the subdivision meets the provisions set forth in subsections (C) and (D).
- (7) Section 25-4-171 (*Access to Lots*) is modified to allow for a lot that fronts a common courtyard, access lot, or an alley is not required to abut a dedicated public street. Each lot in a subdivision may also abut a private street subject to a permanent access easement.

- (8) Section 25-4-211 (*Parkland Dedication Ordinance*) is modified to provide approximately 41.65 acres of open space (being 20% of the site area) as identified in **Exhibit “H” - Open Space Plan**.

(D) Site Plans

- (1) Section 25-5-2 (*Site Plan Exemptions*) is modified to exempt the following from a site plan:
- (a) Construction or alteration of up to eight dwelling units, small-site condominium, live-work, or shop house on a lot; and
 - (b) Placement and adjustment of temporary stockpiling of spoils with approved erosion controls if the following conditions are met:
 - (i) the Limit of Construction does not contain any floodplain;
 - (ii) the stockpile height is limited to 8 feet, except stockpiles in place on or before August 1, 2023; and
 - (iii) If disturbed area is not to be worked for more than 14 days, disturbed area needs to be stabilized by revegetation, mulch, tarp, or revegetation matting. [ECM 1.4.4.B.3, Section 5.I]
- (2) Subsection (B) of Section 25-5-21 (*Phased Site Plan*) is revised to extend the period of a phase to seven years after the approval of a site plan, and to require Planning Commission approval if the date proposed for beginning construction of a phase is more than seven years after the approval date of the site plan.
- (3) Subsection (B) Section 25-5-81 (*Site Plan Expiration*) is revised to extend the expiration period of the site plan to seven years.

(E) Transportation

- (1) Subsections (A) and (B) of Section 25-6-2 (*Driveway Approaches Described*) are modified to include a yard house, row house, live-work shop house, cottage house or a small-site condominium with four or fewer parking spaces to be served by a type 1 or type 2 driveway.
- (2) Section 25-6-116 (*Desirable Operating Levels for Certain Streets*) does not apply to the Property.

- (3) Section 25-6-117 (*Waiver Authorized*). Subsection (D) (1) does not apply to the Property.
- (4) Subsection (B) of Section 25-6-141 (*Action on Application*) is modified to read “The council or director may approve an application if the applicant has satisfactorily complied with the TIA as it may be administratively amended or updated.”
- (5) Subsection (A) of Section 25-6-171 (*Standards for Design and Construction*) is modified to require that a roadway, street, or alley be constructed in accordance with the Street Cross Section Table provided in **Exhibit “I” - Street Sections**. The Transportation Criteria Manual, City of Austin Standards and Standard Specifications shall apply to the extent they do not conflict with **Exhibit “I” - Street Sections**. The director may approve the use of an innovative roadway design not included in **Exhibit “I” - Street Sections**.
- (6) Section 25-6-172 (*Arterial Streets*) does not apply to the Property.
- (7) Section 25-6-173 (*Collector Streets*) does not apply to the Property.
- (8) Subsection (C) of Section 25-6-292 (*Design and Construction Standards*) is modified to remove requirement for city manager approval for access to a lot from an alley, noting that direct vehicular access from a lot to an alley is permitted and preferred.
- (9) Article 7, Section 25-6-471 and Appendix A (*Off-Street Parking and Loading*) does not apply to the Property. Parking and loading requirements shall be governed by **Exhibit “J” - Off-Street Loading and Parking Regulations and Ratios**.

(F) Drainage

- (1) Section 25-7-33 (*Floodplain Maps, Delineation and Depiction*). Subsections (D)(2) is modified to defer all drainage easements related to floodplain to be dedicated at subdivision construction plans or site plans instead of the final plat if the drainage easement area is located within the same area as the subdivision construction plan application.

- (2) Section 25-7-153 (*Detention Basin Maintenance and Inspection*) is modified to include Subsection (I) that states that the Landowner shall maintain all detention basins located in an open space land use area that has been dedicated to the City and any detention basins located within a residential development.

(G) Environmental

- (1) Subsection (B) of Section 25-8-92 (*Critical Water Quality Zones Established*) is modified to add Subsection (6) to reduce the Critical Water Quality Zones (CWQZ) within the Property to be as shown in **Exhibit "G" - Colony Park PUD Environmental** and to provide that development within the Property is not subject to any future CWQZ that may occur as a result of any currently unclassified waterways becoming classified waterways.
- (2) Section 25-8-231 (*Water Quality Control and Maintenance and Inspection*) is modified to include Subsection (I) that states that the Landowner shall maintain all water quality control facilities located in an open space land use area that has been dedicated to the City and any residential ponds located within a residential development.
- (3) Section 25-8-261 (*Critical Water Quality Zone Development*). Subsection (G) is modified to add Subsection (4) to state that floodplain modification restrictions only apply to Federal Emergency Management Agency (FEMA) and fully developed floodplains and not conveyance floodplains.
- (4) Section 25-8-261 (*Critical Water Quality Zone Development*). Subsection (H) is modified to add "Elements identified in PART 9(C) above and with public benefits including but not limited to community gardens, other forms of urban food production, sidewalks, trails and associated fitness equipment, and public access are allowed to locate within a Critical Water Quality Zone."
- (5) Section 25-8-262 (*Critical Water Quality Zone Mobility Crossings*). Subsection (C) is modified to clarify that development in compliance with this ordinance has been determined by the City to demonstrate no additional adverse impact from FEMA or fully-developed floodplain so that multi-use trails may cross any CWQZ on the Property.

- (6) Subsection (B) of Section 25-8-281 (*Critical Environmental Features*) is modified to read “A residential lot may not include a critical environmental feature or a critical environmental feature buffer zone and may not be located within 50 feet of a critical environmental feature except for a wetland CEF approved for removal as shown in **Exhibit “G” - Colony Park PUD Environmental**.
- (7) Subsection (C)(1)(a) of Section 25-8-281 (*Critical Environmental Features*) is modified to read “Except as provided in Subsection (C)(1)(b), the width of the buffer zone is 150 feet from the edge of the critical environmental feature except for wetland CEF buffers that have been modified as shown in **Exhibit “G” - Colony Park PUD Environmental**.
- (8) Subsection (C)(2)(a) of Section 25-8-281 (*Critical Environmental Features*) is modified to allow for the removal of invasive species and for the enhancement of wetland vegetation approved by a wetland biologist from the Watershed Protection Department, and Subsection (C)(2)(c) is modified to allow existing public wastewater infrastructure to remain within a buffer zone.
- (9) Section 25-8-282 (*Wetland Protection*) is modified to allow removal of wetlands, reduced setbacks, and add protections as shown in **Exhibit “G” - Colony Park PUD Environmental**.
- (10) Section 25-8-341 (*Cut Requirements*) shall not apply to the Property.
- (11) Section 25-8-342 (*Fill Requirements*) shall not apply to the Property.
- (12) Section 25-8-643 (*Land Use Commission Variance*) is modified to add “The City Arborist shall have administrative authority to consider and approve Heritage Tree removal, variance, or other tree requests based on the criteria in City Code Sections 25-8-642.”

(H) Water and Wastewater

- (1) Section 25-9-347 (*Exemption of Certain Affordable Housing*) is modified to exempt the Property from the 1,500 unit annual cap of affordable housing.

- (2) Section 25-9-411 (*Reclaimed Water Connection Requirements*) is modified to exclude the Property from reclaimed water SER and plan review in its entirety.

(I) Sign

- (1) Section 25-10-81 (*Sign Districts Described; Hierarchy Established*) is modified to provide that the Property is divided in the sign districts shown in **Exhibit “L” – Signage District**.
- (2) Section 25-10-129 (*Downtown Signage District Regulations*) is modified to provide that:
 - (a) In the LTC land use area, each unit may have a wall sign that is a projecting sign.
 - (b) LTC is considered one site for the purpose of signage;
 - (c) in LTC, one freestanding sign is permitted for each 250 feet of street frontage; and
 - (d) The Property is exempt from Subsection (D)(1) of Section 25-10-129.
- (3) Section 25-10-128 (*Neighborhood Commercial Sign District Regulations*) is modified to provide that:
 - (a) In the ETOD and MUR land use areas, each commercial unit may have a wall sign that is a projecting sign; and
 - (b) A projecting sign described in Subsection (3)(a) must comply with Subsection (D) of Section 25-10-129 (*Downtown Sign District Regulations*).

(J) Fire Protection

- (1) Section 25-12-173 (*Local Amendments to the International Fire Code*) is modified to adopt IFC2021 Subsection 503.2.1 (Dimensions) with modifications to read "Fire apparatus access roads shall have an unobstructed width of not less than 25 feet (7620 mm), except for approved security gates in accordance with Section 503.6 and the Fire Protection Criteria Manual, and an unobstructed vertical clearance of not less than 14 feet (4267 mm). Fire access dimensions for streets and alleys, and driveway approaches in public right-of-way shall follow dimensions in Transportation Criteria Manual unless an Alternative Method of Compliance is approved by the Austin Fire Department."
- (2) Section 25-12-173 (*Local Amendments to the International Fire Code*) is modified to adopt IFC2021 Subsection 903.3.1 (NFPA 13R Sprinkler Systems) with modifications to exempt attached or detached residential structures with no vertically stacked units from requirement Number 2 of this subsection regarding the floor level of the highest story.

PART 14. Except as otherwise provided for in this ordinance, the terms and conditions of the Original Ordinance remain in effect.

PART 15. This ordinance takes effect on December 11, 2023.

PASSED AND APPROVED

_____, November 30, 2023

§ _____
§ _____
§ _____
Kirk Watson
Mayor

APPROVED: _____
Anne L. Morgan
City Attorney

ATTEST: _____
Myrna Rios
City Clerk

EXHIBIT "A-1"

HOLT CARSON, INCORPORATED

PROFESSIONAL LAND SURVEYORS

Texas Licensed Surveying Firm Registration No. 10050700

1904 FORTVIEW ROAD

AUSTIN, TX 78704

TELEPHONE: (512) 442-0990

E-mail: hci@austin.rr.com

December 1, 2017

"TRACT 1"

FIELD NOTE DESCRIPTION OF 92.543 ACRES OF LAND OUT OF THE JAMES BURLESON SURVEY No. 19 ABSTRACT No. 4 IN TRAVIS COUNTY, TEXAS, BEING ALL OF THAT CERTAIN (92.468 ACRE) TRACT OF LAND AS CONVEYED TO THE CITY OF AUSTIN BY DEED RECORDED IN DOCUMENT No. 2001119347 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, SAME BEING A PORTION OF THAT CERTAIN (169.714 ACRE) TRACT OF LAND DESCRIBED AS "TRACT 1" AND AS CONVEYED TO JOHN SCARDINO AND HAYTHEM S. DAWLETT BY SPECIAL WARRANTY DEED RECORDED IN VOLUME 12136, PAGE 2467 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a ½" iron pipe found in the South line of that certain (2.51 acre) tract of land as conveyed to Southern Pacific Transportation Company by deed recorded in Volume 7743, Page 474 of the Deed Records of Travis County, Texas, same being the most Northeasterly corner of Lot 58, Block L, The Meadows of Walnut Creek Section Six, a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Volume 100, Page 210 of the Plat Records of Travis County, Texas, also being the Northwest corner of that certain (92.468 acre) tract of land as conveyed to the City of Austin by deed recorded in Document No. 2001119347 of the Official Public Records of Travis County, Texas and the Northwest corner and **PLACE OF BEGINNING** of the herein described tract;

THENCE with the common lines of said City of Austin (92.468 acre) tract and said Southern Pacific Transportation Company (2.51 acre) tract, the following two (2) courses;

- 1) **S 81 deg. 37' 28" E 1301.21 ft.** to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" found for a point of curvature;
- 2) along a curve to the left with a radius of 1242.20 ft. for an arc length of 293.29 ft. and which chord bears, **S 88 deg. 28' 10" E 292.61 ft.** to a ½" iron rod found at an angle corner of that certain (118.95 acre) tract of land as conveyed to Russell Parker and wife, Jeanne Parker by deed recorded in Document No. 2008202538 of the Official Public Records of Travis County, Texas, same being the most Easterly corner of said Southern Pacific Transportation Company (2.51 acre) tract, also being the Southeast corner of that certain (0.25 acre) tract of land as conveyed to Southern Pacific Transportation Company and also being an angle corner of said City of Austin (92.468 acre) tract and being an angle corner of the herein described tract, from which a ½" iron rod with a plastic cap imprinted "Brown and Gay" found at the Southwest corner of said Southern Pacific Transportation Company (0.25 acre) tract, same being an angle corner of said Southern Pacific Transportation Company (2.51 acre) tract bears, **N 60 deg. 22'36" W 112.98 ft.**;

THENCE with a Northerly line of said City of Austin (92.468 acre) tract and with a Southerly line of said Parker (118.95 acre) tract, **S 61 deg. 13' 40" E 1145.46 ft.** to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" found at an angle corner of said Parker (118.95 acre) tract, same being an angle corner of said City of Austin (92.468 acre) tract and an angle corner of the herein described tract;

THENCE with a Easterly line of said City of Austin (92.468 acre) tract and with a Westerly line of said Parker (118.95 acre) tract, **S 27 deg. 49' 50" W 310.46 ft.** to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" found at an angle corner of said Parker (118.95 acre) tract and for an angle corner of said City of Austin (92.468 acre) tract, and being an angle corner of this tract;

THENCE with a Northerly line of said City of Austin (92.468 acre) tract, which deviates from the South line of said Parker (118.95 acre) tract, the following seven (7) courses:

- 1) **S 62 deg. 24' 10" E 436.40 ft.** to a 60D nail found;
- 2) **S 61 deg. 29' 04" E 139.53 ft.** to a 60D nail found;
- 3) **S 59 deg. 11' 42" E 130.57 ft.** to a 60D nail found;
- 4) **S 62 deg. 45' 57" E 162.42 ft.** to a 60D nail found;
- 5) **S 57 deg. 25' 53" E 175.71 ft.** to a 60D nail found;
- 6) **S 60 deg. 25' 43" E 79.09 ft.** to a 60D nail found;
- 7) **S 67 deg. 30' 09" E 223.27 ft.** to a ½" iron rod found for the Northeast corner of said City of Austin (92.468 acre) tract, same being the Southeast corner of said Parker (118.95 acre) tract, also being the Northwest corner of that certain (9.930 acre) tract of land as conveyed to the City of Austin by deed recorded in Volume 5000, Page 1992 of the Deed Records of Travis County, Texas, and also being the Southwest corner of that certain (3.27 acre) tract of land as awarded to the City of Austin by Final Judgment recorded in Cause No. 224,674 of the District Court Records of Travis County, Texas and being the Northeast corner of the herein described tract;

THENCE with the common line of said City of Austin (92.468 acre) tract and said City of Austin (9.930 acre) tract, **S 71 deg. 05' 43" W 1485.94 ft.** to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" found in the North right-of-way line of Colony Loop Drive a dedicated public right-of-way as set forth on the plat of Colony Park Sustainable Community Initiative PUD Phase 1 Right-Of-Way, a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Document No. 201500116 of the Official Public Records of Travis County, Texas and being the Southeast corner of the herein described tract;

THENCE with the North right-of-way line of Colony Loop Drive and with the South line of said City of Austin (92.468 acre) tract, the following four (4) courses;

- 1) **N 45 deg. 59' 23" W 404.97 ft.** to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" found at a point of curvature;
- 2) along a curve to the left with a radius of 1037.40 ft. for an arc length of 463.40 ft. and which chord bears **N 58 deg. 47' 11" W 459.56 ft.** to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" found at a point of tangency;

3) **N 71 deg. 35' 00" W** at a distance of 190.59 ft. passing a ½" iron rod found, continuing along said bearing for a total distance of **561.26 ft.** to a ½" iron rod found at a point of curvature;
4) along a curve to the left with a radius of 842.66 ft. for an arc length of 707.28 ft. and which chord bears, **S 84 deg. 21' 49" W 686.70 ft.** to a ½" iron rod set at the Southwest corner of said City of Austin (92.468 acre) tract, same being the Southeast corner of Lot 1, Block P, The Meadows of Walnut Creek Section Five, a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Volume 86 Page 162D of the Plat Records of Travis County, Texas, and being the Southwest corner of the herein described tract;

THENCE with the Westerly line of said City of Austin (92.468 acre) tract, the following four (4) courses;

- 1) **N 28 deg. 23' 18" W 472.23 ft.** to a ½" iron rod found in the Easterly line of Lot 10, Block P, of said The Meadows of Walnut Creek Section Five;
- 2) **N 28 deg. 47' 10" W 247.37 ft.** to a ½" iron rod found in the Easterly line of Lot 15, Block P, of said The Meadows of Walnut Creek Section Five;
- 3) **N 11 deg. 12' 44" W 609.39 ft.** to a ½" iron rod found in the Easterly line of Lot 55, Block L, of said The Meadows of Walnut Creek Section Six;
- 4) **N 27 deg. 03' 35" E 308.01 ft.** to the **PLACE OF BEGINNING** and containing **92.543** acres of land.

SURVEYED: December 1, 2017.


Holt Carson

Registered Professional Land Surveyor No. 5166
reference map: B 652052

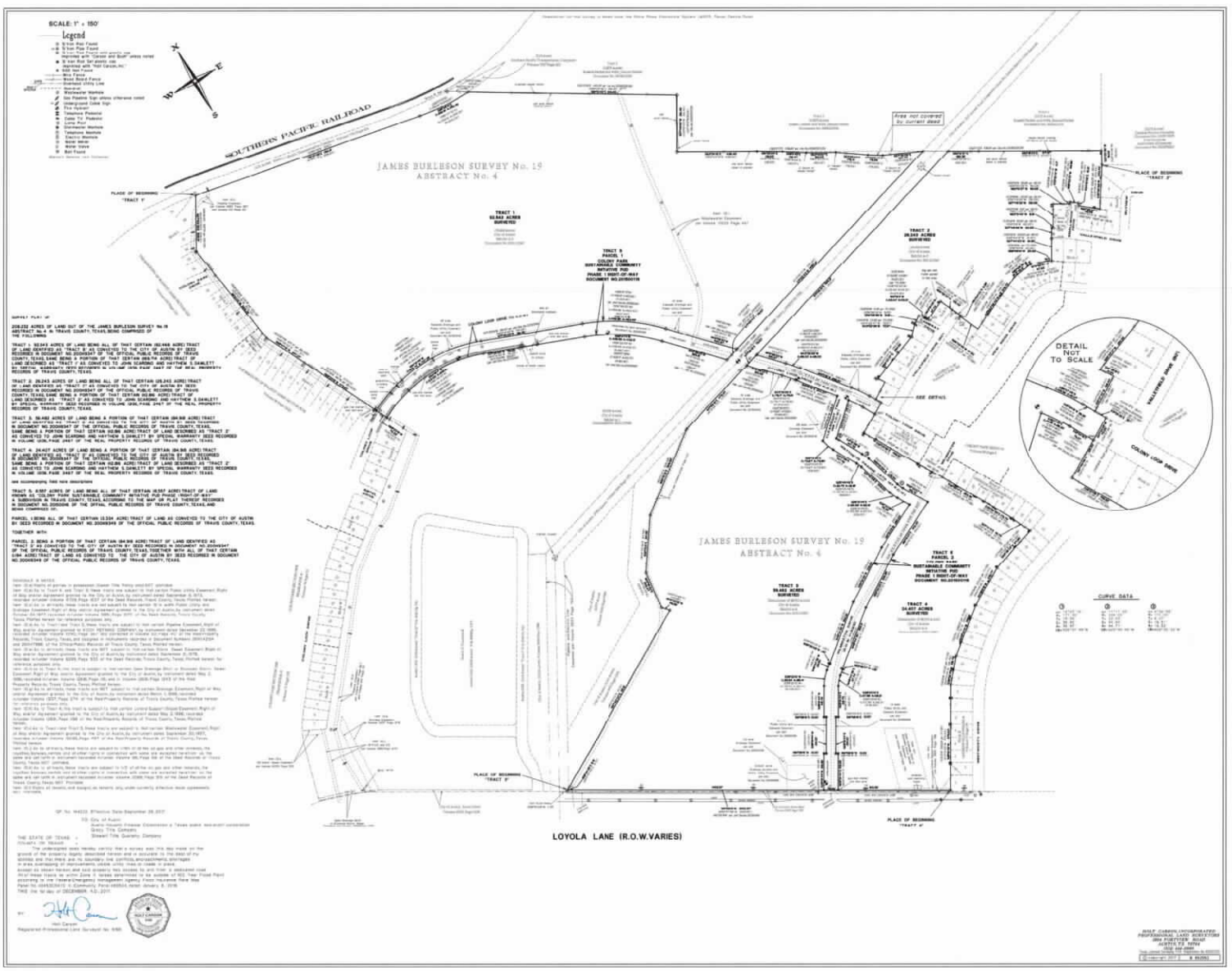


FIELD NOTES REVIEWED

BY: Mary Hawn DATE: 3/13/18

CITY OF AUSTIN

PUBLIC WORKS DEPARTMENT



SCALE: 1" = 150'

Legend

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PLATE OF RECORD

TRACT 1

TRACT 2

TRACT 3

TRACT 4

TRACT 5

TRACT 6

TRACT 7

TRACT 8

TRACT 9

TRACT 10

TRACT 11

TRACT 12

TRACT 13

TRACT 14

TRACT 15

TRACT 16

TRACT 17

TRACT 18

TRACT 19

TRACT 20

TRACT 21

TRACT 22

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TRACT 26

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TRACT 31

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TRACT 39

TRACT 40

TRACT 41

TRACT 42

TRACT 43

TRACT 44

TRACT 45

HOLT CARSON, INCORPORATED

PROFESSIONAL LAND SURVEYORS

Texas Licensed Surveying Firm Registration No. 10050700

1904 FORTVIEW ROAD

AUSTIN, TX 78704

TELEPHONE: (512) 442-0990

E-mail: hci@austin.rr.com

December 1, 2017

"TRACT 2"

FIELD NOTE DESCRIPTION OF 26.243 ACRES OF LAND OUT OF THE JAMES BURLESON SURVEY No. 19 ABSTRACT No. 4 IN TRAVIS COUNTY, TEXAS, BEING ALL OF THAT CERTAIN (26.243 ACRE) TRACT OF LAND AS CONVEYED TO THE CITY OF AUSTIN BY DEED RECORDED IN DOCUMENT No. 2001119347 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a ½" iron rod found for an angle corner in the Easterly line of that certain (26.243 acre) tract of land as conveyed to the City of Austin by deed recorded in Document No. 2001119347 of the Official Public Records of Travis County, Texas, same being the most Northerly or Northwest corner of Lot 10, Block 3, Colony Park Hills 1-A, a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Volume 68, Page 6 of the Plat Records of Travis County, Texas, also being the Southwest corner of that certain (3.279 acre) tract of land as conveyed to Cynthia Padilla-Gonzales by deed recorded in Document No. 2009070065 of the Official Public Records of Travis County, Texas and being an angle corner and the **PLACE OF BEGINNING** of the herein described tract;

THENCE with the common line of said City of Austin (26.243 acre) tract and said Colony Park Hills 1-A, the following ten (10) courses;

- 1) **S 30 deg. 26' 00" W 242.45 ft.** to a ½" iron rod found in the North line of Lot 6, Block 3 of said Colony Park Hills 1-A;
- 2) **N 52 deg. 55' 34" W 118.08 ft.** to a ½" iron rod found in the Easterly right-of-way line of Smallwood Drive;
- 3) **N 34 deg. 10' 00" E 15.01 ft.** to a ½" iron rod found at the point of termination of the Easterly right-of-way line of Smallwood Drive;
- 4) **N 56 deg. 02' 22" W 49.96 ft.** to a ½" iron rod found at the point of termination of the Westerly right-of-way line of Smallwood Drive;
- 5) **S 33 deg. 56' 41" W 11.17 ft.** to a ½" iron rod found in the Westerly right-of-way line of Smallwood Drive for the Northeast corner of Lot 17, Block 5, of said Colony Park Hills 1-A;
- 6) **N 62 deg. 10' 27" W 90.08 ft.** to a ½" iron rod found for the Northwesterly corner of said Lot 17, Block 5, Colony Park Hills 1-A;
- 7) **S 27 deg. 49' 32" W 130.05 ft.** to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" set in the North right-of-way line of Valleyfield Drive for the Southwesterly corner of said Lot 17, Block 5;
- 8) **N 62 deg. 31' 40" W 8.81 ft.** to a ½" iron rod found at the point of termination of the North right-of-way line of Valleyfield Drive;

- 9) S 27 deg. 48' 46" W 60.00 ft.** to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" found at the point of termination of the South right-of-way line of Valleyfield Drive for the Northwesterly corner of Lot 14, Block 6, of said Colony Park Hills 1-A;
- 10) S 27 deg. 44' 03" W 121.90 ft.** to a ½" iron rod found in the North line of Lot 19, Block 6, Lakeside "1-B", a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Volume 75, Page 206 of the Plat Records of Travis County, Texas, same being the Southwest corner of Lot 14, Block 6, Colony Park Hills 1-A, also being an angle corner of said City of Austin (26.243 acre) tract and an angle corner of the herein described tract;

THENCE with the common line of said City of Austin (26.243 acre) tract and said Lakeside "1-B" the following fourteen (14) courses;

- 1) N 59 deg. 09' 10" W 20.00 ft.** to a ½" iron rod found;
- 2) N 74 deg. 22' 07" W 97.65 ft.** to a ½" iron rod found;
- 3) S 80 deg. 08' 30" W 110.12 ft.** to a ½" iron rod found;
- 4) S 62 deg. 56' 42" W 349.75 ft.** to a point for the Easterly corner of Lot 4, Block 6, of said Lakeside "1-B";
- 5) N 26 deg. 42' 59" W 117.93 ft.** to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" found in the Southerly right-of-way line of Valleyfield Drive;
- 6) N 63 deg. 04' 02" E 6.89 ft.** to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" found at the point of termination of the Southerly right-of-way line of Valleyfield Drive;
- 7) N 26 deg. 52' 38" W 135.42 ft.** to a ½" iron rod found for the Northerly corner of Lot 17, Block 9, of said Lakeside "1-B";
- 8) S 63 deg. 10' 05" W 117.74 ft.** to a ½" iron rod found in the curving Northeasterly right-of-way line of Cambray Drive for the Southwesterly corner of said Lot 17, Block 9;
- 9) along a curve to the left with a radius of 271.35 ft. for an arc length of 53.51 ft. and which chord bears, N 41 deg. 01' 11" W 53.42 ft.** to a ½" iron rod found at the point of termination of the Northeasterly right-of-way line of Cambray Drive;
- 10) S 54 deg. 29' 58" W 51.19 ft.** to a ½" iron rod found at the point of termination of the Southwesterly right-of-way line of Cambray Drive;
- 11) S 42 deg. 02' 29" W 72.57 ft.** to a ½" iron rod found with a plastic cap imprinted with "Carson and Bush Professional Surveyors";
- 12) S 66 deg. 33' 37" W 294.55 ft.** to a ½" iron rod found for the Southwesterly corner of Lot 11, Block 8, of said Lakeside "1-B";
- 13) S 36 deg. 39' 18" E 41.93 ft.** to a point for the most Northerly corner of Lot 12, Block 8, of said Lakeside "1-B";
- 14) S 55 deg. 37' 42" W 108.40 ft.** to a ½" iron rod found in the North right-of-way line of Colony Loop Drive at the Southwesterly corner of said Lot 12, Block 8, same being an angle corner of said City of Austin (26.243 acre) tract and an angle corner of the herein described tract;

THENCE with the Southwest line of said City of Austin (26.243 acre) tract, the following five (5) courses;

- 1) N 32 deg. 24' 19" W 38.39 ft.** to a ½" iron rod set with a plastic cap imprinted with "Carson and Bush Professional Surveyors" for a point of curvature;
- 2) along a curve to the left with a radius of 718.00 ft. for an arc length of 110.07 ft. and which chord bears N 36 deg. 47' 48" W 109.96 ft.** to a ½" iron rod set with a plastic cap imprinted with "Carson and Bush Professional Surveyors" for a point of tangency;

- 3) **N 41 deg. 11' 18" W 298.94 ft.** to a ½" iron rod set with a plastic cap imprinted with "Carson and Bush Professional Surveyors" for a point of curvature;
- 4) along a curve to the left with a radius of 1015.00 ft. for an arc length of 85.05 ft. and which chord bears **N 43 deg. 35' 20" W 85.03 ft.** to a ½" iron rod set with a plastic cap imprinted with "Carson and Bush Professional Surveyors" for a point of tangency;
- 5) **N 45 deg. 59' 23" W 165.27 ft.** to a ½" iron rod set with a plastic cap imprinted with "Carson and Bush Professional Surveyors" in the common line of said City of Austin (26.243 acre) tract and that certain (9.930 acre) tract of land as conveyed to the City of Austin by deed recorded in Volume 5000 Page 1992 of the Deed Records of Travis County, Texas, and being the Southwesterly corner of this tract;

THENCE with the common line of said City of Austin (26.243 acre) tract and said City of Austin (9.930 acre) tract, **N 71 deg. 06' 15" E 1529.21 ft.** to a ½" iron rod found for a Northwesterly corner of said City of Austin (26.243 acre) tract and for the Northeasterly corner of said City of Austin (9.930 acre) tract and being the Northwesterly corner of this tract;

THENCE with the Northerly line of said City of Austin (26.243 acre) tract, the following two (2) courses;

- 1) **S 62 deg. 12' 57" E 166.36 ft.** to a ½" iron rod found;
- 2) **S 62 deg. 18' 05" E 671.97 ft.** to a ½" iron rod found for the Southeast corner of that certain (32 acre) tract of land as conveyed to Clarence E. Schieffer, et al, by deed recorded in Volume 1318 Page 20 of the Deed Records of Travis County, Texas, and for the Northeasterly corner of said City of Austin (26.243 acre) tract, and being the Northeasterly corner of this tract;

THENCE with the Easterly line of said City of Austin (26.243 acre) tract, **S 26 deg. 20' 50" W 78.05 ft.** to the **PLACE OF BEGINNING** containing **26.243** acres of land.

SURVEYED: December 1, 2017.


Holt Carson

Registered Professional Land Surveyor No. 5166
reference map: B 652052



FIELD NOTES REVIEWED

BY:  DATE: 3/13/18

CITY OF AUSTIN
PUBLIC WORKS DEPARTMENT

HOLT CARSON, INCORPORATED

PROFESSIONAL LAND SURVEYORS

Texas Licensed Surveying Firm Registration No. 10050700

1904 FORTVIEW ROAD

AUSTIN, TX 78704

TELEPHONE: (512) 442-0990

E-mail: hci@austin.rr.com

December 1, 2017

"TRACT 3"

FIELD NOTE DESCRIPTION OF 56.482 ACRES OF LAND OUT OF THE JAMES BURLESON SURVEY No. 19 ABSTRACT No. 4 IN TRAVIS COUNTY, TEXAS, BEING A PORTION OF THAT CERTAIN (84.918 ACRE) TRACT OF LAND AS CONVEYED TO THE CITY OF AUSTIN BY DEED RECORDED IN DOCUMENT No. 2001119347 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a ½" iron rod found in the Northeast right-of-way line of Loyola Lane at the Southwest corner of that certain (84.918 acre) tract of land as conveyed to the City of Austin by deed recorded in Document No. 2001119347 of the Official Public Records of Travis County, Texas, same being the Northwest corner of that certain tract of land as conveyed to the City of Austin by Street Deed recorded in Volume 12691, Page 1185 of the Real Property Records of Travis County, Texas, also being a point in the Southeast line of that certain (5.761 acre) tract of land as conveyed to the City of Austin by deed recorded in Volume 5000, Page 1992 of the Deed Records of Travis County, Texas and being the Southwest corner and the **PLACE OF BEGINNING** of the herein described tract, from which a bolt found for the most Southerly corner of said City of Austin (5.761 acre) tract bears, S 58 deg. 34' 29" W 11.35 ft.;

THENCE leaving the Northeast right-of-way line of Loyola Lane with the common line of said City of Austin (84.918 acre) tract and said City of Austin (5.761 acre) tract, the following six (6) courses;

- 1) **N 58 deg. 34' 29" E 8.41 ft.** to a ½" iron rod found;
- 2) **N 57 deg. 40' 44" E 1121.91 ft.** to a ½" iron rod found with a plastic cap imprinted with "Carson and Bush Professional Surveyors";
- 3) **N 44 deg. 42' 16" W 48.56 ft.** to a ½" iron rod found with a plastic cap imprinted with "Carson and Bush Professional Surveyors";
- 4) **N 04 deg. 16' 02" E 209.47 ft.** to a ½" iron rod found with a plastic cap imprinted with "Carson and Bush Professional Surveyors";
- 5) **N 32 deg. 13' 12" E 314.58 ft.** to a ½" iron rod found with a plastic cap imprinted with "Carson and Bush Professional Surveyors";
- 6) **N 50 deg. 51' 55" E 509.68 ft.** to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" found in the Southerly line of that certain (9.930 acre) tract of land as conveyed to the City of Austin by deed recorded in Volume 5000, Page 1992 of the Deed Records of Travis County, Texas, same being the most Northeasterly corner of said City of Austin (5.761 acre) tract, also being an angle corner of said City of Austin (84.918 acre) tract and an angle corner of the herein described tract;

THENCE with the common line of said City of Austin (84.918 acre) tract and said City of Austin (9.930 acre) tract, **N 71 deg. 06' 15" E 479.24 ft.** to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" found in the Southwest right-of-way line of Colony Loop Drive, a dedicated public right-of-way as set forth on the plat of Colony Park Sustainable Community Initiative PUD Phase 1 Right-Of-Way, a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Document No. 201500116 of the Official Public Records of Travis County, Texas, same being the most Northerly corner of said City of Austin (84.918 acre) tract and the most Northerly corner of the herein described tract;

THENCE with the Southwest right-of-way line of Colony Loop Drive and with the Northeast lines of said City of Austin (84.918 acre) tract the following three (3) courses;

- 1) S 45 deg. 59' 23" E 201.08 ft.** to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" found at a point of curvature;
- 2) along a curve to the right with a radius of 945.00 ft. for an arc length of 79.19 ft. and which chord bears, S 43 deg. 35' 20" E 79.17 ft.** to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" found at a point of tangency;
- 3) S 41 deg. 10' 10" E 244.07 ft.** to a ½" iron rod with a plastic cap imprinted with "Holt Carson, Inc." set at the intersection of the Southwest right-of-way line of Colony Loop Drive and the Northwest right-of-way line of Clearsight Trail, a dedicated public right-of-way as set forth on the plat of Colony Park Sustainable Community Initiative PUD Phase 1 Right-Of-Way and being an angle corner of the herein described tract;

THENCE leaving the Southwest right-of-way line of colony Loop Drive and entering the interior of said City of Austin (84.918 acre) tract, with the Northwest right-of-way line of Clearsight Trail, **S 45 Deg. 45' 19" W 258.19 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at the intersection of the Northwest right-of-way line of Clearsight Trail and the Northeast right-of-way line of Matthews Prairie Path, a dedicated public right-of-way as set forth on the plat of Colony Park Sustainable Community Initiative PUD Phase 1 Right-Of-Way and being an angle corner of the herein described tract;

THENCE with the Northeast right-of-way line of Matthews Prairie Path and continuing through the interior of said City of Austin (84.918 acre) tract, the following six (6) courses:

- 1) along a curve to the left with a radius of 232.00 ft. for an arc length of 73.98 ft. and which chord bears, S 22 deg. 13' 20" E 73.67 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at a point of tangency;
- 2) S 31 deg. 21' 28" E 147.76 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at a point of curvature;
- 3) Along a curve to the right with a radius of 168.00 ft. for an arc length of 32.80 ft. and which chord bears, S 25 deg. 45' 49" E 32.75 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at a point of tangency;
- 4) S 20 deg. 10' 09" E 209.93 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at a point of curvature;
- 5) Along a curve to the left with a radius of 232.00 ft. for an arc length of 50.16 ft. and which chord bears, S 26 deg. 21' 49" E 50.06 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at a point of tangency;

- 6) **S 32 deg. 33'28" E 76.49 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at the intersection of the Southwest right-of-way line of Matthews Prairie Path and the Northwest right-of-way line of Wilmington Drive, a dedicated public right-of-way as set forth on the plat of Colony Park Sustainable Community Initiative PUD Phase 1 Right-Of-Way and being an angle corner of the herein described tract;

THENCE with the Northwest right-of-way line of Wilmington Drive and continuing through the interior of said City of Austin (84.918 acre) tract, the following eleven (11) courses:

- 1) **S 61 deg. 15' 23" W 280.05 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 2) **S 55 deg. 22' 25" W 335.08 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 3) **S 48 deg. 44' 36" W 362.26 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 4) **N 39 deg. 55' 05" W 1.50 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 5) **S 48 deg. 44' 36" W 38.83 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at a point of curvature;
- 6) Along a curve to the left with a radius of 239.00 ft. for an arc length of 86.41 ft. and which chord bears, **S 38 deg. 23' 10" W 85.94 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at a point of tangency;
- 7) **S 28 deg. 01' 44" W 168.75 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 8) **S 61 deg. 58' 16" E 13.00 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 9) **S 28 deg. 01' 44" W 201.00 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 10) **N 61 deg. 58' 16" W 13.00 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 11) **S 28 deg. 01' 44" W 199.85 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at the intersection of the Northwest right-of-way line of Wilmington Drive and the Northeast right-of-way line of Loyola Lane, same being a point in the Southwest line of said City of Austin (84.918 acre) tract, also being a point in the Northeast line of said City of Austin Street Deed tract and a the most Southerly corner of the herein described tract;

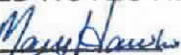
THENCE with the Southwest line of said City of Austin (84.918 acre) tract, same being the Northeast right-of-way line of Loyola Lane and the Northeast line of said City of Austin Street Deed tract, **N 61 deg. 58' 16" W 1402.57 ft.** to the **PLACE OF BEGINNING** and containing **56.482 acres** of land.

SURVEYED: December 1, 2017.


Holt Carson
Registered Professional Land Surveyor No. 5166
reference map: B 652052



FIELD NOTES REVIEWED

BY:  DATE: 3/13/18

CITY OF AUSTIN
PUBLIC WORKS DEPARTMENT

EXHIBIT "A-4"

HOLT CARSON, INCORPORATED

PROFESSIONAL LAND SURVEYORS

Texas Licensed Surveying Firm Registration No. 10050700

1904 FORTVIEW ROAD

AUSTIN, TX 78704

TELEPHONE: (512) 442-0990

E-mail: hci@austin.rr.com

December 1, 2017

"TRACT 4"

FIELD NOTE DESCRIPTION OF 24.407 ACRES OF LAND OUT OF THE JAMES BURLESON SURVEY No. 19 ABSTRACT No. 4 IN TRAVIS COUNTY, TEXAS, BEING A PORTION OF THAT CERTAIN (84.918 ACRE) TRACT OF LAND DESCRIBED AS CONVEYED TO THE CITY OF AUSTIN BY DEED RECORDED IN DOCUMENT No. 2001119347 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a bolt found in the Northeast right-of-way line of Loyola Lane at the Southeast corner of that certain (84.918 acre) tract of land as conveyed to the City of Austin by deed recorded in Document No. 2001119347 of the Official Public Records of Travis County, Texas, same being a point in the West line of Lot 1, Block B, Lakeside Hills Phase 3-A, a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Volume 77, Page 95 of the Plat Records of Travis County, Texas, also being the Northeast corner of that certain tract of land as conveyed to the City of Austin by Street Deed recorded in Volume 12691, Page 1185 of the Real Property Records of Travis County, Texas and the most Southerly or Southeast corner and **PLACE OF BEGINNING** of the herein described tract;

THENCE with the Southwest line of said City of Austin (84.918 acre) tract, same being the Northeast right-of-way line of Loyola Lane and the Northeast line of said City of Austin Street Deed tract, **N 61 deg. 58' 16" W 613.30 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at the intersection of the Northeast right-of-way line of Loyola Lane and the Southeast right-of-way line of Wilmington Drive, a dedicated public right-of-way as set forth on the plat of Colony Park Sustainable Community Initiative PUD Phase 1 Right-Of-Way, a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Document No. 201500116 of the Official Public Records of Travis County, Texas and being the Southwest corner of the herein described tract;

THENCE leaving the Northeast right-of-way line of Loyola Lane and crossing through the interior of said City of Austin (84.918 acre) tract with the Southeast right-of-way lines of Wilmington Drive, the following eleven (11) courses:

- 1) **N 28 deg. 01' 44" E 199.85 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 2) **N 61 deg. 58' 16" W 13.00 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 3) **N 28 deg. 01' 44" E 201.00 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 4) **S 61 deg. 55' 16" E 13.00 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 5) **N 28 deg. 01' 44" E 168.75 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at a point of curvature;

Tract 4 24.407 Acres

End of Page 1 of 3

- 6) along a curve to the right with a radius of 161.00 ft. for an arc length of 58.21 ft. and which chord bears, **N 38 deg. 23' 10" E 57.89 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at a point of tangency;
- 7) **N 48 deg. 44' 36" E 37.74 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 8) **N 50 deg. 18' 37" W 1.52 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 9) **N 48 deg. 44' 36" E 359.21 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 10) **N 55 deg. 22' 25" E 326.88 ft.** to a ½" iron rod set with a plastic cap imprinted "Holt Carson, Inc.";
- 11) **N 61 deg. 15' 23" E 342.33 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at the intersection of the Southeast right-of-way line of Wilmington Drive and the Northeast right-of-way line of Matthews Prairie Path, a dedicated public right-of-way as set forth on the plat of Colony Park Sustainable Community Initiative PUD Phase 1 Right-Of-Way and being an angle corner of the herein described tract;

THENCE with the Northeast right-of-way lines of Matthews Prairie Path and continuing through the interior of said City of Austin (84.918 acre) tract, the following six (6) courses:

- 1) **N 32 deg. 33' 27" W 155.72 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at a point of curvature;
- 2) Along a curve to the right with a radius of 171.00 ft. for an arc length of 36.97 ft. and which chord bears, **N 26 deg. 21' 49" W 36.90 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at a point of tangency;
- 3) **N 20 deg. 10' 09" W 209.93 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at point of curvature;
- 4) Along a curve to the left with a radius of 229.00 ft. for an arc length of 44.71 ft. and which chord bears, **N 25 deg. 45' 49" W 44.64 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at point of tangency;
- 5) **N 31 deg. 21' 28" W 147.76 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at point of curvature;
- 6) Along a curve to the right with a radius of 171.00 ft. for an arc length of 16.52 ft. and which chord bears, **N 28 deg. 35' 25" W 16.51 ft.** to a ½" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at a non-tangent point of intersection of the Northeast right-of-way line of Matthews Prairie Path and the Southeast right-of-way line of Clearlight Trail a dedicated public right-of-way as set forth on the plat of Colony Park Sustainable Community Initiative PUD Phase 1 Right-Of-Way and being an angle corner of the herein described tract;

THENCE with the East right-of-way line of Clearlight Trail and continuing through the interior of said City of Austin (84.918 acre) tract, **N 45 deg. 45' 19" E 218.34 ft.** to a 1/2" iron rod with a plastic cap imprinted "Holt Carson, Inc." set at the intersection of the Southeast right-of-way line of Clearlight Drive and the curving Southwest right-of-way line of Colony Loop Drive Trail, a dedicated public right-of-way as set forth on the plat of Colony Park Sustainable Community Initiative PUD Phase 1 Right-Of-Way, same being a point in the Northeast line of said city of Austin (84.918 acre) tract and being the most Northerly corner of the herein described tract;

THENCE with the Southwest right-of-way line of Colony Loop Drive and with the Northeast lines of said City of Austin (84.918 acre) tract, the following two (2) courses:

- 1) Along a curve to the right with a radius of 648.00 ft. for an arc length of 86.03 ft. and which chord bears, **S 36 deg. 12' 31" E 85.97 ft.** to a ½" iron rod with a plastic cap imprinted "Carson and Bush Professional Surveyors" found at a point of tangency;
- 2) **S 32 deg. 24' 18" E 75.27 ft.** to a ½" iron rod with a plastic cap imprinted "B&G" found at the most Northerly corner of Lot 3, Block 13, Lakeside "1-B" a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Volume 75, Page 206 of the Plat Records of Travis County, Texas, same being an angle corner of said City of Austin (84.918 acre) tract and an angle corner of the herein described tract;

THENCE S 57 deg. 40' 06" W 120.00 ft. to a ½" iron rod with a plastic cap imprinted with "Carson and Bush Professional Surveyors" found at the most Westerly corner of said Lot 3, Block 13, Lakeside "1-B";

THENCE S 32 deg. 23' 56" E 492.62 ft. to a ½" iron rod found at the point of termination of the Southeasterly right-of-way line of Wilmington Drive for the most Westerly corner of Lot 31, Block B, Lakeside Hills Phase 3-A, a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Volume 77, Page 95 of the Plat Records of Travis County, Texas and being an angle corner of the herein described tract;

THENCE with the common lines of said City of Austin (84.918 acre) tract and said Block B, of Lakeside Hills Phase 3-A, the following eight (8) courses;

- 1) **S 32 deg. 20' 17" E 265.36 ft.** to a ½" iron rod found;
- 2) **S 30 deg. 52' 30" E 179.75 ft.** to a ½" iron rod found;
- 3) **S 27 deg. 37' 11" E 115.79 ft.** to a ½" iron rod found;
- 4) **S 69 deg. 39' 33" W 271.86 ft.** to a ½" iron rod found;
- 5) **S 57 deg. 49' 18" W 235.77 ft.** to a ½" iron rod found;
- 6) **S 48 deg. 54' 14" W 298.16 ft.** to a ½" iron rod found;
- 7) **S 38 deg. 52' 49" W 156.79 ft.** to a ½" iron rod found;
- 8) **S 28 deg. 01' 35" W 579.63 ft.** to the **PLACE OF BEGINNING** and containing **24.407 acres** of land.

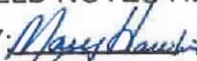
SURVEYED: December 1, 2017.


Holt Carson

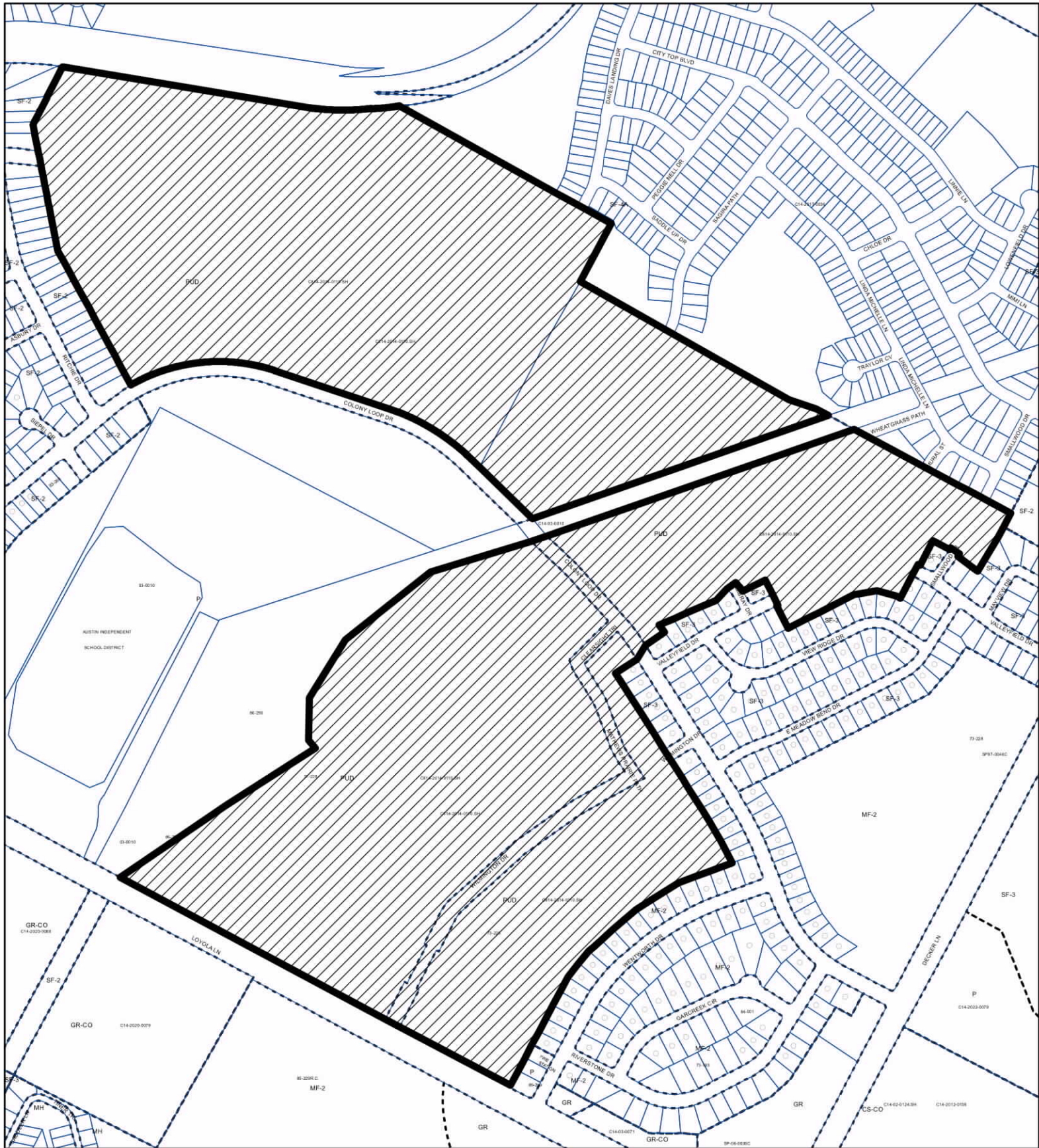
Registered Professional Land Surveyor No. 5166
reference map: B 652052






FIELD NOTES REVIEWED

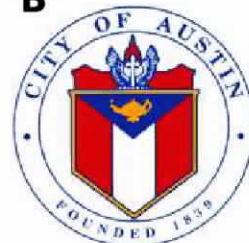
BY:  DATE: 3/13/18

CITY OF AUSTIN
PUBLIC WORKS DEPARTMENT



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

PLANNED UNIT DEVELOPMENT **EXHIBIT "B"** **ZONING CASE#: C814-2014-0110.02.SH**

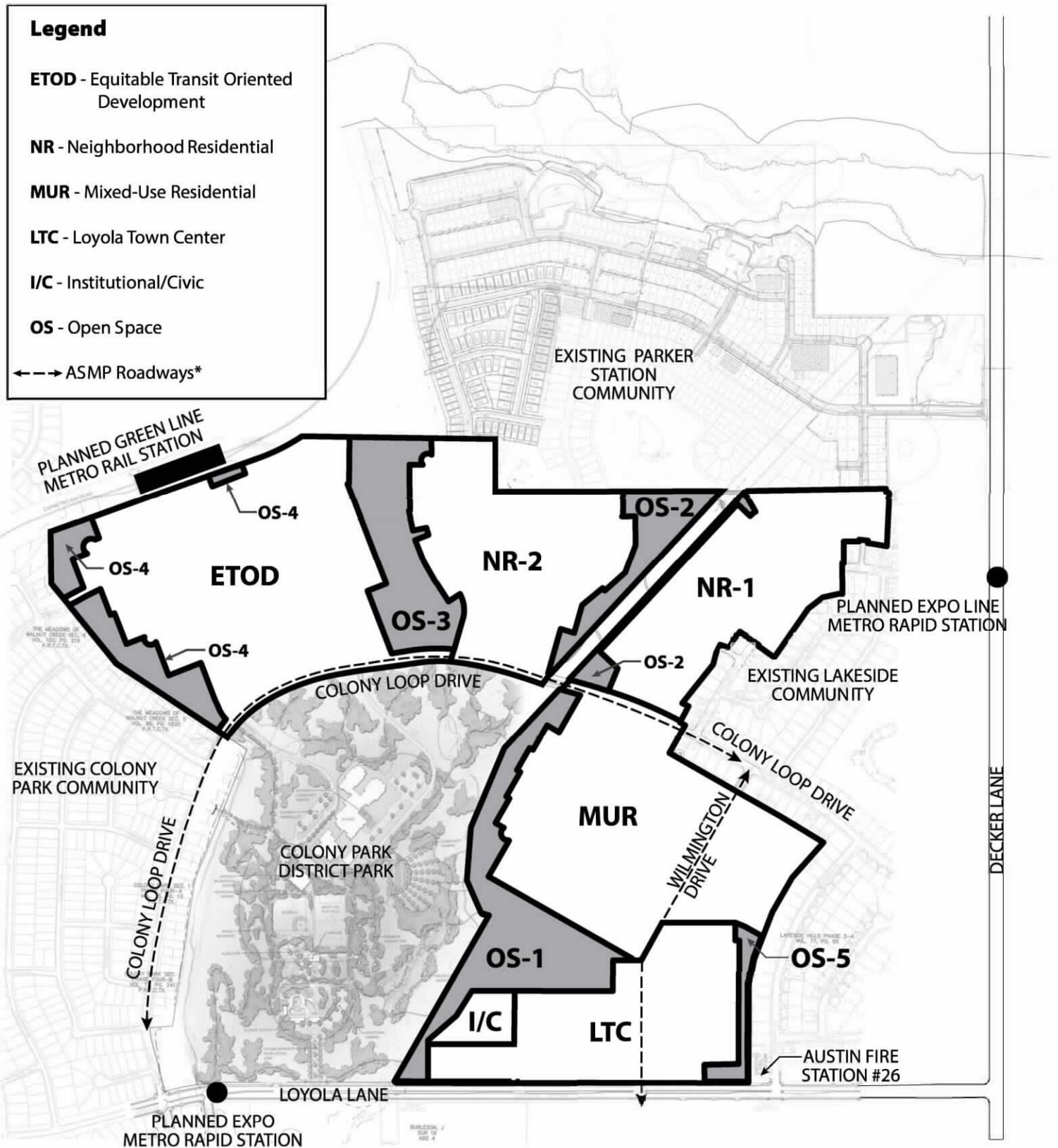


1" = 600'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Housing and Planning Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or

EXHIBIT C COLONY PARK P.U.D. LAND USE PLAN



*Alignments are conceptual and subject to future refinement.
Draft September 21, 2023

0 200 400 800 Feet



EXHIBIT D - (PAGE 1)

COLONY PARK P.U.D. ZONING USE SUMMARY TABLE

P= Permitted; NP = Not Permitted										
RESIDENTIAL USES	LTC	IC	MUR	ETOD	NR-1	NR-2	OS-1	OS-2	OS-3	OS-4
Bed & Breakfast (Group 1)	P	NP	P	P	P	P	NP	NP	NP	NP
Bed & Breakfast (Group 2)	P	NP	P	P	P	P	NP	NP	NP	NP
Condominium Residential	P	NP	P	P	P	P	NP	NP	NP	NP
Conservation Single Family Residential	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Cottage House ¹	NP	NP	P	P	P	P	NP	NP	NP	NP
Duplex Residential	P	NP	P	P	P	P	NP	NP	NP	NP
Group Residential	P	NP	P	P	P	P	NP	NP	NP	NP
Mobile Home Residential	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Multifamily Residential	P	NP	P	P	P	P	NP	NP	NP	NP
Retirement Housing (Small Site)	P	NP	P	P	P	P	NP	NP	NP	NP
Retirement Housing (Large Site)	P	NP	P	P	NP	NP	NP	NP	NP	NP
Row/Shop House ¹	P	NP	P	P	P	P	NP	NP	NP	NP
Single-Family Attached Residential	P	NP	P	P	P	P	NP	NP	NP	NP
Single-Family Residential	NP	NP	P	P	P	P	NP	NP	NP	NP
Small Lot Single-Family Residential	NP	NP	P	P	P	P	NP	NP	NP	NP
Small Site Condominium ¹	P	NP	P	P	P	P	NP	NP	NP	NP
Townhouse Residential	P	NP	P	P	P	P	NP	NP	NP	NP
Two-Family Residential	NP	NP	P	P	P	P	NP	NP	NP	NP
Two-Unit Residential (Attached) ¹	NP	NP	P	P	P	P	NP	NP	NP	NP
Two-Unit Residential (Detached) ¹	NP	NP	P	P	P	P	NP	NP	NP	NP
Yard House ¹	NP	NP	P	P	P	P	NP	NP	NP	NP
COMMERCIAL USES	LTC	IC	MUR	ETOD	NR-1	OS-1	OS-2	OS-3	OS-4	
Administrative and Business Offices	P	P*	P	P	NP	NP	NP	NP	NP	* Permitted with Approval of Land Developer.
Agricultural Sales and Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Alternative Financial Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Art Gallery	P	NP	P	P	P	P	NP	NP	NP	
Art Workshop	P	NP	P	P	P	P	NP	NP	NP	
Automotive Rentals	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Automotive Repair Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Automotive Sales	P*	NP	NP	NP	NP	NP	NP	NP	NP	*Permitted if limited to a showroom with no service or maintenance component or fleet storage and no more than 5 (five) surface parking spaces.
Automotive Washing (of any type)	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Bail Bond Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Building Maintenance Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Business or Trade School	P	NP	NP	P	NP	NP	NP	NP	NP	
Business Support Services	P	NP	NP	P	NP	NP	NP	NP	NP	
Campground	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Carriage Stable	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Cocktail Lounge	P	NP	P*	P*	NP	NP	NP	NP	NP	*Permitted up to 5,000 square feet.
Commercial Blood Plasma Center	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Commercial Off-Street Parking	P	NP	P	P	NP	NP	NP	NP	NP	
Communications Services	P	NP	P	P	NP	NP	NP	NP	NP	
Construction Sales and Services	P	NP	NP	P	NP	NP	NP	NP	NP	
Consumer Convenience Services	P	NP	P	P	P	P	NP	NP	NP	
Consumer Repair Services	P	NP	P	P	P	P	NP	NP	NP	
Convenience Storage	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Creative Space ¹	P	NP	P	P	P	P	NP	NP	NP	
Drop-Off Recycling Collection Facility	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Electronic Prototype Assembly	P	NP	NP	P	NP	NP	NP	NP	NP	
Electronic Testing	P	NP	NP	P	NP	NP	NP	NP	NP	
Equipment Repair Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Equipment Sales	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Exterminating Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
Financial Services	P	NP	P	P	NP	NP	NP	NP	NP	
Food Preparation	P	NP	P	P	NP	NP	NP	NP	NP	
Food Sales	P	NP	P	P	P	P	P	NP	NP	
Funeral Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	
General Retail Sales (Convenience)	P	P	P	P	NP	NP	NP	NP	NP	
General Retail Sales (General)	P	NP	P	P	NP	NP	NP	NP	NP	
Grocery Store ¹	P	NP	P	P	NP	NP	NP	NP	NP	
Hotel-Motel	P	NP	P	P	NP	NP	NP	NP	NP	
Indoor Entertainment	P	NP	P	P	NP	NP	NP	NP	NP	
Indoor Sports and Recreation	P	NP	P	P	NP	NP	NP	NP	NP	
Kennels	P*	NP	P*	P*	NP	NP	NP	NP	NP	* A kennel use must be conducted entirely within an enclosed structure.
Laundry Services	P	NP	P	P	NP	NP	NP	NP	NP	
Liquor Sales	P	NP	P	P	NP	NP	NP	NP	NP	
Live Music Venue ¹	P	NP	P	P	NP	NP	NP	NP	NP	
Medical Offices - Exceeding 5,000 sq. ft. gross floor area	P	P	P	P	NP	NP	NP	NP	NP	
Medical Offices - Not Exceeding 5,000 sq. ft. gross floor area	P	P	P	P	NP	NP	NP	NP	NP	

1) As defined in the Colony Park PUD Definitions

EXHIBIT D - (PAGE 2)

COLONY PARK P.U.D. ZONING USE SUMMARY TABLE

P= Permitted; NP = Not Permitted										
COMMERCIAL USES - continued	LTC	IC	MUR	ETOD	NR-1	NR-2	OS-1	OS-2	OS-3	OS-4
Microbrewery ¹⁾	P*	NP	P*	P*	NP	NP	NP	NP	NP	NP
Monument Retail Sales	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Off-Site Accessory Parking	P	NP	P	P	P	P	NP	NP	NP	NP
Outdoor Entertainment	NP	NP	NP	NP	NP	NP	P	P	P	P
Outdoor Sports and Recreation	NP	NP	NP	NP	NP	NP	P	P	P	P
Pawn Shop Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Pedicab Storage and Dispatch	P*	NP	NP	P*	NP	NP	NP	NP	NP	NP
Personal Improvement Services	P	NP	P	P	NP	NP	NP	NP	NP	NP
Pet Services	P	NP	P	P	NP	NP	NP	NP	NP	NP
Plant Nursery	P	NP	P	P	NP	NP	NP	NP	NP	NP
Printing and Publishing	P*	NP	P*	P*	NP	NP	NP	NP	NP	NP
Professional Office	P	NP	P	P	P	P	NP	NP	NP	NP
Recreational Equipment Maint. & Stor.	NP	NP	NP	P	NP	NP	NP	NP	NP	NP
Recreational Equipment Sales	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Research Assembly Services	P*	NP	P*	P*	NP	NP	NP	NP	NP	NP
Research Services	P*	NP	P*	P*	NP	NP	NP	NP	NP	NP
Research Testing Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Research Warehousing Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Restaurant (General)	P	NP	P	P	P	P	NP	NP	NP	NP
Restaurant (Limited)	P	NP	P	P	P	P	NP	NP	NP	NP
Scrap and Salvage	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Service Station	P*	NP	NP	NP	NP	NP	NP	NP	NP	NP
Software Development	P	NP	P	P	NP	NP	NP	NP	NP	NP
Special Use Historic	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Stables	NP	NP	NP	NP	NP	NP	P	P	P	P
Theater	P	NP	P	P	NP	NP	NP	NP	NP	NP
Vehicle Storage	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Veterinary Services	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
CIVIC USES										
Administrative Services	P	P	P	P	NP	NP	NP	NP	NP	NP
Adult Care Services (General)	P	P	P	P	P	P	NP	NP	NP	NP
Adult Care Services (Limited)	P	P	P	P	P	P	NP	NP	NP	NP
Aviation Facilities	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Camp	NP	NP	NP	NP	NP	NP	NP	NP	P	P
Cemetery	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Child Care Services (General)	P	P	P	P	P	P	NP	NP	NP	NP
Child Care Services (Limited)	P	P	P	P	P	P	NP	NP	NP	NP
Club or Lodge	P	NP	P	P	NP	NP	NP	NP	NP	NP
College and University Facilities	P	NP	P	P	NP	NP	NP	NP	NP	NP
Communication Service Facilities	P	NP	P	P	NP	NP	NP	NP	NP	NP
Community Events	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Community Recreation (Private)	P*	NP	P*	P*	P*	P*	P*	P*	P*	P*
Community Recreation (Public)	P	NP	P	P	P	P	P	P	P	P
Congregate Living	P	P	P	P	NP	NP	NP	NP	NP	NP
Convalescent Services	P	NP	P	P	NP	NP	NP	NP	NP	NP
Convention Center	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Counseling Services	P	P*	P	P	P	P	NP	NP	NP	NP
Cultural Services	P	NP	P	P	P	P	P	P	P	P
Detention Facilities	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Employee Recreation	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Family Home	NP	P	NP	NP	NP	NP	NP	NP	NP	NP
Group Home, Class I (General)	NP	P	NP	NP	NP	NP	NP	NP	NP	NP
Group Home, Class I (Limited)	NP	P	NP	NP	NP	NP	NP	NP	NP	NP
Group Home, Class II	NP	P	NP	NP	NP	NP	NP	NP	NP	NP
Guidance Services	P	P	P	P	NP	NP	NP	NP	NP	NP
Hospital Services (General)	P	P	NP	NP	NP	NP	NP	NP	NP	NP
Hospital Services (Limited)	P	P	P	P	NP	NP	NP	NP	NP	NP
Library, Museum, or Public Art Gallery	P	NP	P	P	NP	NP	NP	NP	NP	NP
Local Utility Services	P	P	P	P	P	P	P	P	P	P
Maintenance and Service Facilities	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Major Utility Facilities	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*
Military Installations	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
Park and Recreation Services (General)	P	NP	P	P	P	P	P	P	P	P
Park and Recreation Services (Special)	P	NP	P	P	NP	NP	P	P	P	P
Performance Venue/Theater	P	NP	P	P	NP	NP	NP	NP	NP	NP
Postal Facilities	P	NP	P	P	NP	NP	NP	NP	NP	NP

1) As defined in the Colony Park PUD Definitions

EXHIBIT D - (PAGE 3)

COLONY PARK P.U.D. ZONING USE SUMMARY TABLE

P= Permitted; NP = Not Permitted												
CIVIC USES - continued												
	LTC	IC	MUR	ETOD	NR-1	NR-2	OS-1	OS-2	OS-3	OS-4		
Private Primary Educational Facilities	P	NP	P	P	NP	NP	NP	NP	NP	NP		
Private Secondary Educational Facilities	P	NP	P	P	NP	NP	NP	NP	NP	NP		
Public Primary Educational Facilities	P	NP	P	P	NP	NP	NP	NP	NP	NP		
Public Secondary Educational Facilities	P	NP	P	P	NP	NP	NP	NP	NP	NP		
Railroad Facilities	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP		
Religious Assembly	P	P	P	P	P	P	NP	NP	NP	NP		
Residential Treatment	P	P	NP	NP	NP	NP	NP	NP	NP	NP		
Safety Services	P	NP	P	P	NP	NP	NP	NP	NP	NP		
Studio: Art, Dance, Martial Arts, Music ¹	P	NP	P	P	P	P	NP	NP	NP	NP		
Telecommunication tower -- subject to 25-2-839 (13-2-235 and 13-2-273)	P*	P*	P*	P*	NP	NP	NP	NP	NP	NP	* A telecommunications tower must be located on top of a building or be an architectural component of the building. Free standing towers are prohibited.	
Transitional Housing	NP	P	NP	NP	NP	NP	NP	NP	NP	NP		
Transportation Terminal	P	NP	NP	P	NP	NP	NP	NP	NP	NP		
INDUSTRIAL USES												
	LTC	IC	MUR	ETOD	NR-1	NR-2	OS-1	OS-2	OS-3	OS-4		
Basic Industry	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP		
Custom Manufacturing	P	NP	P	P	NP	NP	NP	NP	NP	NP	May not produce external noise, vibration, smoke, odor, heat, glare, fumes, electrical interference or waste runoff. Outdoor storage of materials and wholesale distribution of goods is prohibited.	
General Warehousing and Distribution	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP		
Light Manufacturing	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP		
Limited Warehousing and Distribution	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP		
Recycling Center	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP		
Resource Extraction	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP		
AGRICULTURAL USES												
	LTC	IC	MUR	ETOD	NR-1	NR-2	OS-1	OS-2	OS-3	OS-4		
Animal Production	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP		
Community Garden	P	NP	P	P	P	P	P	P	P	P		
Crop Production	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP		
Horticulture	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP		
Indoor Crop Production	P	NP	P	P	NP	NP	NP	NP	NP	NP	Restricted to hydroponic agriculture	
Support Housing	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP		
Urban Farm	NP	NP	NP	NP	NP	NP	P	P	P	P		
All Other Agricultural Uses	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP		

1) As defined in the Colony Park PUD Definitions

EXHIBIT E
COLONY PARK P.U.D. DENSITY TABLE

LAND USE	MAXIMUM ALLOWABLE DENSITIES^{1, 2, 3}
TOTAL MAXIMUM RESIDENTIAL ALLOWED ^{2, 3, 4}	<ul style="list-style-type: none"> 3,000 Dwelling Units (Subject to Traffic Impact Analysis)
TOTAL MAXIMUM COMMERCIAL/CIVIC ALLOWED ³	<ul style="list-style-type: none"> 960,000 Square Feet (Subject to Traffic Impact Analysis)

LAND USE AREA	LAND AREA (acres)⁴	% OF TOTAL	ESTIMATED DENSITIES^{1, 2, 3}
LOYOLA TOWN CENTER (LTC)	24.397	11.72%	<ul style="list-style-type: none"> Approximately 500,000 gsf of commercial/civic uses Approximately 700 dwelling units
INSTITUTIONAL/CIVIC (I/C)	2.280	1.10%	<ul style="list-style-type: none"> Approximately 60,000 gsf of institutional/civic uses
MIXED USE RESIDENTIAL (MUR)	42.147	20.25%	<ul style="list-style-type: none"> Approximately 700 dwelling units, Approximately 200,000 gsf of commercial/civic uses
EQUITABLE TRANSIT ORIENTED DEVELOPMENT (ETOD)	45.804	22.00%	<ul style="list-style-type: none"> Approximately 1,000 dwelling units Approximately 240,000 gsf of commercial/civic uses
NEIGHBORHOOD RESIDENTIAL 1 (NR-1)	24.767	11.90%	<ul style="list-style-type: none"> Approximately 300 dwelling units Approximately 10,000 gsf of commercial/civic uses
NEIGHBORHOOD RESIDENTIAL 2 (NR-2)	27.110	13.02%	<ul style="list-style-type: none"> Approximately 300 dwelling units Approximately 10,000 gsf of commercial/civic uses
OPEN SPACE/COMMUNITY FACILITIES (OS)	41.652	20.01%	<ul style="list-style-type: none"> Approximately 20,000 gsf of park-related ancillary structures
TOTAL P.U.D. AREA	208.157	100.0%	

Notes:

1. So long as uses are permitted in a land use area, densities may be transferred administratively from one land use area to another provided that the overall project maximums for density are not exceeded.
2. The maximum allowable number of Dwelling Units may be increased by 1 unit for every 1,000 sf reduction in allowable commercial/civic development.
3. The maximum number of Dwelling Units, as it may be adjusted per Note 2, does not include any Accessory Dwelling Units (ADUs).
4. Land areas may be adjusted provided that the total open space is not less than 41.6 acres or 20% of the total site area.

EXHIBIT F - (PAGE 1)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

MIXED USE RESIDENTIAL (MUR) AND EQUITABLE TRANSIT ORIENTED DEVELOPMENT (ETOD) AREAS										
	YARD HOUSE	ZERO LOT LINE	ROW/SHOP HOUSE	TWO-UNIT RESIDENTIAL		COTTAGE HOUSE	SMALL SITE CONDOMINIUM	MULTI-FAMILY	CIVIC	COMMERCIAL ³
				ATTACHED	DETACHED					
Minimum Lot Size	1,200 SF 1,400 SF on corner lots	1,200 SF 1,400 SF on corner lots	600 SF 800 SF on corner lots	2,400 SF		See Exhibit F Page 15	2,700 SF	12,500 SF	2,500 SF	2,500 SF
Minimum Lot Width	20 FT. 25 FT. on corner lots	20 FT. 25 FT on corner	14 FT. 19 FT. on corner lots	28 FT. 33 FT. on corner lots		See Exhibit F Page 15	30 FT.	70 FT.	25 FT.	25 FT.
Maximum Height	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories		See Exhibit F Page 15	45 FT. ⁶ 4 stories	85 FT. ⁶	85 FT. ⁶	85 FT. ⁶
Minimum Front Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	5 FT.	5 FT.	5 FT.
Minimum Street Side Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	5 FT.	0 FT.	0 FT.
Minimum Interior Side Yard Setback	3 FT.-1 IN. ¹ OR 0 FT. ²	0 FT. OR 5 FT. ²	0 FT. ⁴	3 FT.-1 IN. ¹ OR 0 FT. ²		See Exhibit F Page 15	3 FT.-1 IN. ¹ OR 0 FT. ²	5 FT.	0 FT.	0 FT.
Minimum Rear Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	5 FT.	0 FT.	0 FT.
Maximum Impervious Cover	75%	95%	95%	95%		See Exhibit F Page 15	90%	90%	100%	100%
Common Courtyard Setback ⁵	0 FT.	0 FT.	0 FT.	0 FT.		See Exhibit F Page 15	N/A	N/A	N/A	N/A
Building Separation ⁷	0 FT.	N/A	0 FT.	0 FT.	5 FT. ⁷	0 FT.	0 FT.	0 FT.	0 FT.	0 FT.

Footnotes:

1. A minimum side yard setback of 3'-1" is permitted (measured from face of building to the property line) provided that the adjoining side yard setback is a minimum of 3'-11" to create a face-of-building to face-of-building space of at least seven (7) feet.
2. One side of a yard house, zero lot line, two-unit residential, or condominium exterior wall may be located on one of the lots' side property lines, however the exterior side yard-facing building walls of adjoining lots must be separated by a minimum of five (5) feet. (Access and/or maintenance easements may need to be created by individual builders or property owners to facilitate maintenance of buildings and/or areas that are located on or very close to an interior side yard property line).
3. Commercial site development standards apply to Custom Manufacturing.
4. The minimum interior side yard setback for residential row houses and shop houses is 0 feet. This includes side yards along alleys and chamfered corners at alley intersections.
5. Common Courtyard Lot Lines are adjacent to common courtyard spaces.
6. Refer to compatibility standards in Colony Park PUD Part 13 - B. (15).
7. Minimum dimension between the Main and Secondary building on a Two-Unit Detached Lot.

General Notes:

- Mixed-use multi-family buildings with ground floor commercial uses shall follow commercial site development regulations.
- Covered steps or a covered porch or stoop with or without columns may project 2.5 feet into a required street yard setback, not including Cottage Houses.
- Bay windows or other architectural projections (either cantilevered or extension of the floor surface) may project into a required yard up to 2 feet.
- For parks, see site development regulations under Open Space.

EXHIBIT F - (PAGE 2)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

	NEIGHBORHOOD RESIDENTIAL (NR) AREAS								
	YARD HOUSE	ZERO LOT LINE	ROW/SHOP HOUSE	TWO-UNIT RESIDENTIAL		COTTAGE HOUSE	SMALL SITE CONDOMINIUM	CIVIC	COMMERCIAL ³
Minimum Lot Size	1,200 SF 1,400 SF on corner lots	1,200 SF 1,400 SF on corner lots	600 SF 800 SF on corner lots	2,400 SF		See Exhibit F Page 15	2,700 SF	2,500 SF	2,500 SF
Minimum Lot Width	20 FT.	20 FT. 25 FT on corner	14 FT. 19 FT. on corner lots	28 FT. 33 FT. on corner lots		See Exhibit F Page 15	30 FT.	25 FT.	25 FT.
Maximum Height	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories	45 FT. ⁶ 4 stories		See Exhibit F Page 15	45 FT. ⁶ 4 stories	65 FT. ⁶	65 FT. ⁶
Minimum Front Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	5 FT.	5 FT.
Minimum Street Side Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	0 FT.	0 FT.
Minimum Interior Side Yard Setback	3 FT.-1 IN. ¹ OR 0 FT. ²	0 FT. or 5 FT. ²	0 FT. ⁴	3 FT.-1 IN. ¹ OR 0 FT. ²		See Exhibit F Page 15	3 FT.-1 IN. ¹ OR 0 FT. ²	0 FT.	0 FT.
Minimum Rear Yard Setback	5 FT.	5 FT.	5 FT.	5 FT.		See Exhibit F Page 15	5 FT.	0 FT.	0 FT.
Maximum Impervious Cover	75%	95%	95%	95%		See Exhibit F Page 15	90%	100%	100%
Common Courtyard Setback ⁵	0 FT.	0 FT.	0 FT.	0 FT.		See Exhibit F Page 15	N/A	N/A	N/A
Building Separation ⁷	0 FT.	N/A	0 FT.	0 FT.	5 FT. ⁷	0 FT.	0 FT.	0 FT.	0 FT.

Footnotes:

1. A minimum side yard setback of 3'-1" is permitted (measured from face of building to the property line) provided that the adjoining side yard setback is a minimum of 3'-11" to create a face-of-building to face-of-building space of at least seven (7) feet.
2. One side of a yard house, two-unit residential, or condominium exterior wall may be located on one of the lots' side property lines, however the exterior side yard-facing building walls of adjoining lots must be separated by a minimum of five (5) feet. (Access and/or maintenance easements may need to be created by individual builders or property owners to facilitate maintenance of buildings and/or areas that are located on or very close to an interior side yard property line).
3. Commercial site development standards apply to Custom Manufacturing.
4. The minimum interior side yard setback for residential row houses and shop houses is 0 feet. This includes side yards along alleys and chamfered corners at alley intersections.
5. Common Courtyard Lot Lines are adjacent to common courtyard spaces.
6. Refer to compatibility standards in Colony Park PUD Part 13 - B. (15).
7. Minimum dimension between the Main and Secondary building on a Two-Unit Detached Lot.

General Notes:

- Covered steps or a covered porch or stoop with or without columns may project 2.5 feet into a required street yard setback, not including Cottage Houses.
- Bay windows or other architectural projections (either cantilevered or extension of the floor surface) may project into a required yard up to 2 feet.
- For parks, see site development regulations under Open Space.

EXHIBIT F - (PAGE 3)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

	LOYOLA TOWN CENTER MIXED USE (LTC)			
	ROW/SHOP HOUSE	MULTI-FAMILY	COMMERCIAL ^{1, 3}	INSTITUTIONAL/CIVIC
Minimum Lot Size	600 SF 800 SF on corner lots	12,500 SF	2,500 SF	2,500 SF
Minimum Lot Width	14 FT. 19 FT. on corner lots	70 FT.	25 FT.	25 FT.
Maximum Height ²	45 FT. 4 stories	85 FT. 7 stories	85 FT. 7 stories	85 FT. 7 stories
Minimum Front Yard Setback	5 FT.	0 FT.	0 FT.	0 FT.
Minimum Street Side Yard Setback	5 FT.	5 FT.	0 FT.	0 FT.
Minimum Interior Side Yard Setback	0 FT. ⁴	5 FT.	0 FT.	0 FT.
Minimum Rear Yard Setback	5 FT.	0 FT.	0 FT.	0 FT.
Maximum Impervious Cover	95%	90%	100%	100%

Footnotes:

1. A shared parking facility may be constructed to serve multiple uses within the Loyola Town Center (e.g., commercial, retail, civic, residential), which can satisfy the minimum parking requirements for each use.
2. Refer to compatibility standards in Colony Park PUD Part 13 - B. (15).
3. Commercial site development standards apply to Custom Manufacturing
4. The minimum interior side yard setback for residential row houses and shop houses is 0 feet. This includes side yards along alleys and chamfered corners at alley intersections.

General Notes:

- Mixed-use multi-family buildings with ground floor commercial uses shall follow commercial site development regulations.
- Uncovered steps of a porch or stoop may project into a required yard.
- Covered steps or a covered porch or stoop with or without columns may project 2.5 feet into a required street yard setback, not including Cottage Houses.
- Bay windows or other architectural projections (either cantilevered or extension of the floor surface) may project into a required yard up to 2 feet.

EXHIBIT F - (PAGE 4)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

	INSTITUTIONAL/CIVIC (I/C)
	INSTITUTIONAL/CIVIC ¹
Minimum Lot Size	2,500 SF
Minimum Lot Width	25 FT.
Maximum Height	65 FT.
Minimum Front Yard Setback	0 FT.
Minimum Front Property Line Coverage ²	70%
Minimum Street Side Yard Setback	5 FT.
Minimum Interior Side Yard Setback	0 FT.
Minimum Rear Yard Setback	10 FT.
Maximum Impervious Cover	95%
Parking	4 spaces per 1,000 SF

Footnotes:

1. Includes Central Health Community Wellness Center
2. Maximum of two (2) Driveways on Street Frontage where no alleys serve the parcel.

EXHIBIT F - (PAGE 5)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

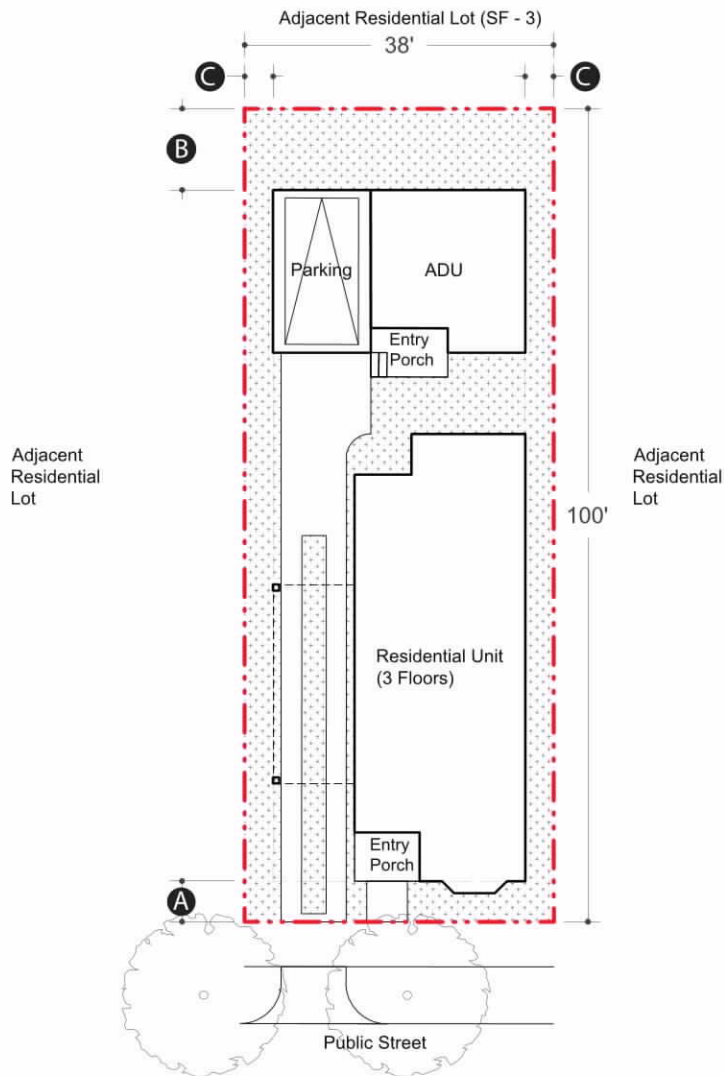


Diagram is illustrative only. Table shall govern.

		Yard House
	Minimum Lot Size	1200 SF 1400 SF on corner lots
	Minimum Lot Width	20 FT 25 FT on corner lots
	Maximum Height ¹	45 FT 4 Stories
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
	Maximum Impervious Cover	75%

FOOTNOTES:

1. Compatibility Height - 3 Stories within 50' of shared property line with SF-3 zoned property
2. ADU may be joined to Main building, subject to building and fire codes.

38' Yard House (Front Loaded) with ADU - Single Driveway

Prepared by McCann Adams Studio for Catellus - DRAFT September 7, 2023

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EXHIBIT F - (PAGE 6) COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

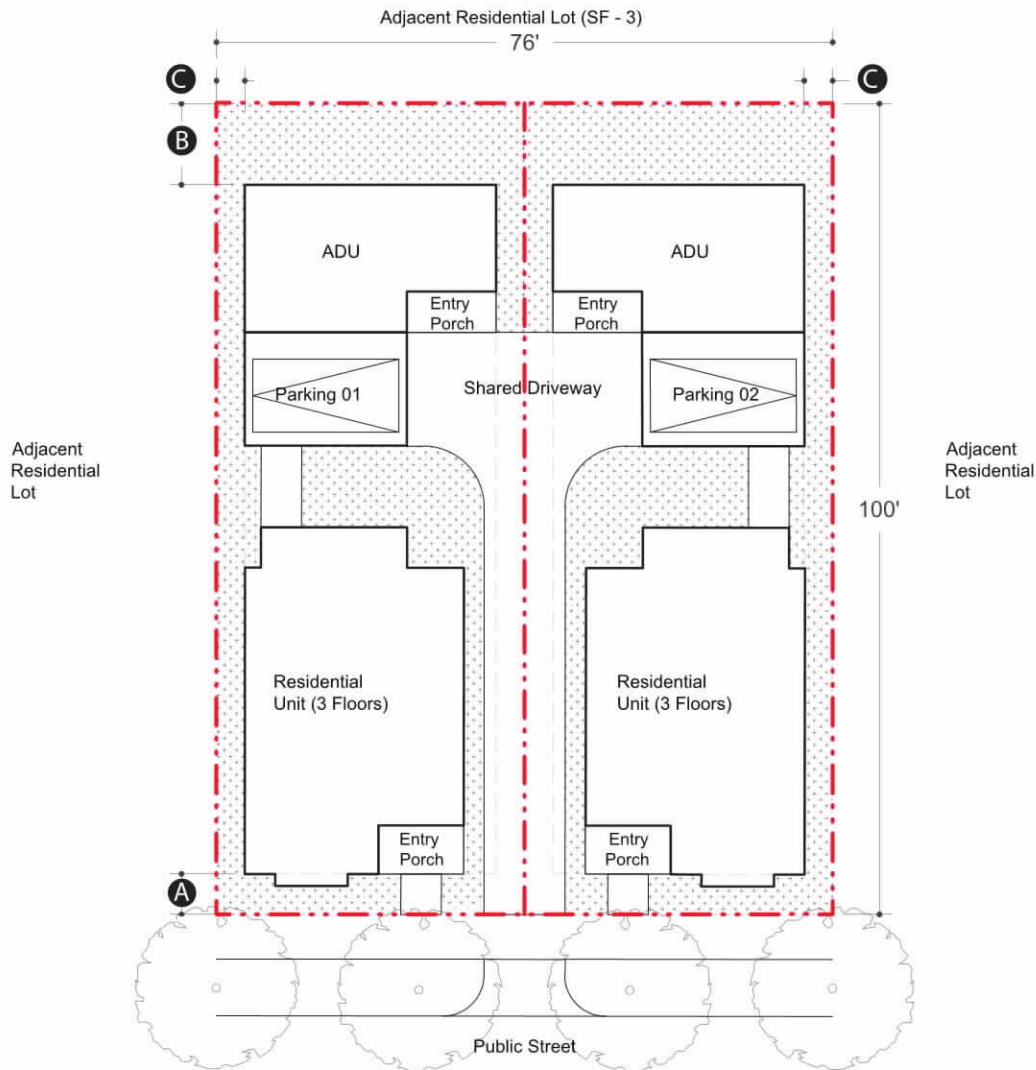


Diagram is illustrative only. Table shall govern.

		Yard House
	Minimum Lot Size	1200 SF 1400 SF on corner lots
	Minimum Lot Width	20 FT 25 FT on corner lots
	Maximum Height ¹	45 FT 4 Stories
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
	Maximum Impervious Cover	75%

FOOTNOTES:

1. Compatibility Height - 3 Stories within 50' of shared property line with SF-3 zoned property
2. ADU may be joined to Main building, subject to building and fire codes.
3. This configuration requires two adjoining lots, with a joint easement for the shared driveway and is only intended for interior lots.

38' Yard House (Front Loaded) with ADU - Shared Driveway

Prepared by McCann Adams Studio for Catellus - DRAFT September 7, 2023

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EXHIBIT F - (PAGE 7)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

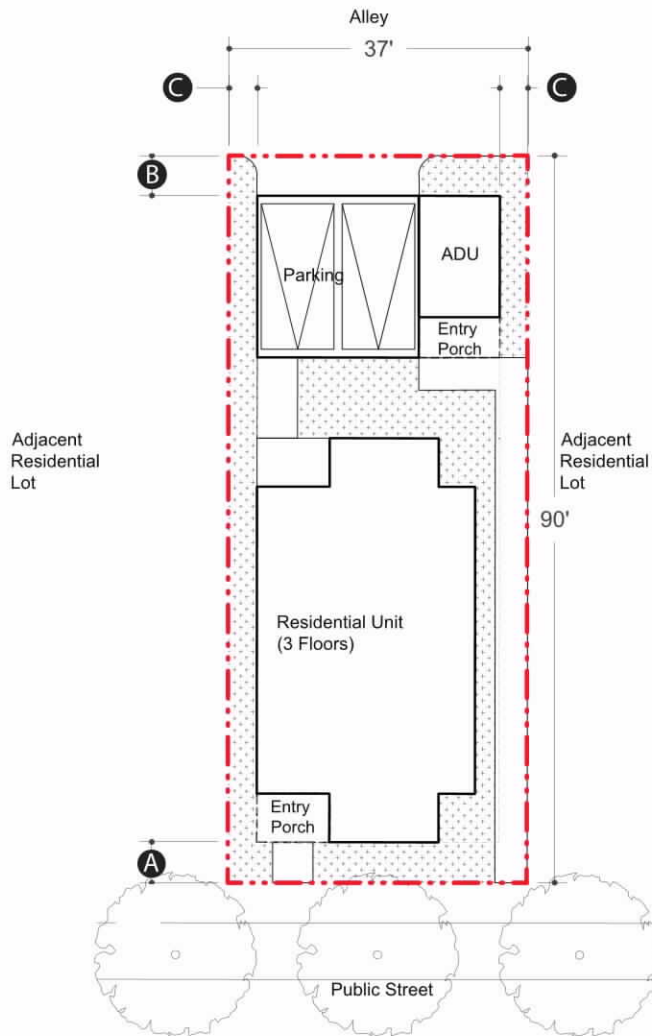


Diagram is illustrative only. Table shall govern.

		Yard House
	Minimum Lot Size	1200 SF 1400 SF on corner lots
	Minimum Lot Width	20 FT 25 FT on corner lots
	Maximum Height	45 FT - 4 Stories ADU - 3 floors max. (35ft)
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
	Maximum Impervious Cover	75%
	Common Courtyard Setback	0 FT

FOOTNOTES:

1. ADU may be joined to Main building, subject to building and fire codes.
1. This building type is intended for interior lots only.

37' Yard House (Rear Loaded) with ADU

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EXHIBIT F - (PAGE 8)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

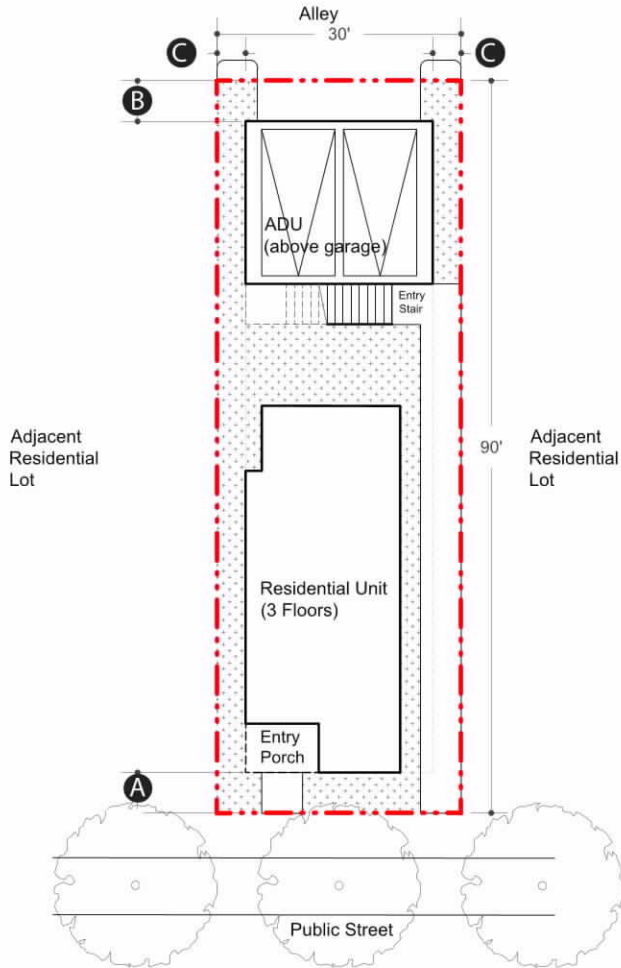


Diagram is illustrative only. Table shall govern.

		Yard House
	Minimum Lot Size	1200 SF
	Minimum Lot Width	20 FT 25 FT on corner lots
	Maximum Height	45 FT - 4 Stories ADU - 3 floors max (35FT)
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback (Alley)	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
	Maximum Impervious Cover	75%
	Common Courtyard Setback	0 FT

FOOTNOTES:

1. ADU may be joined to Main building, subject to building and fire codes.

30' Yard House with ADU (Rear Loaded)

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EXHIBIT F - (PAGE 9)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

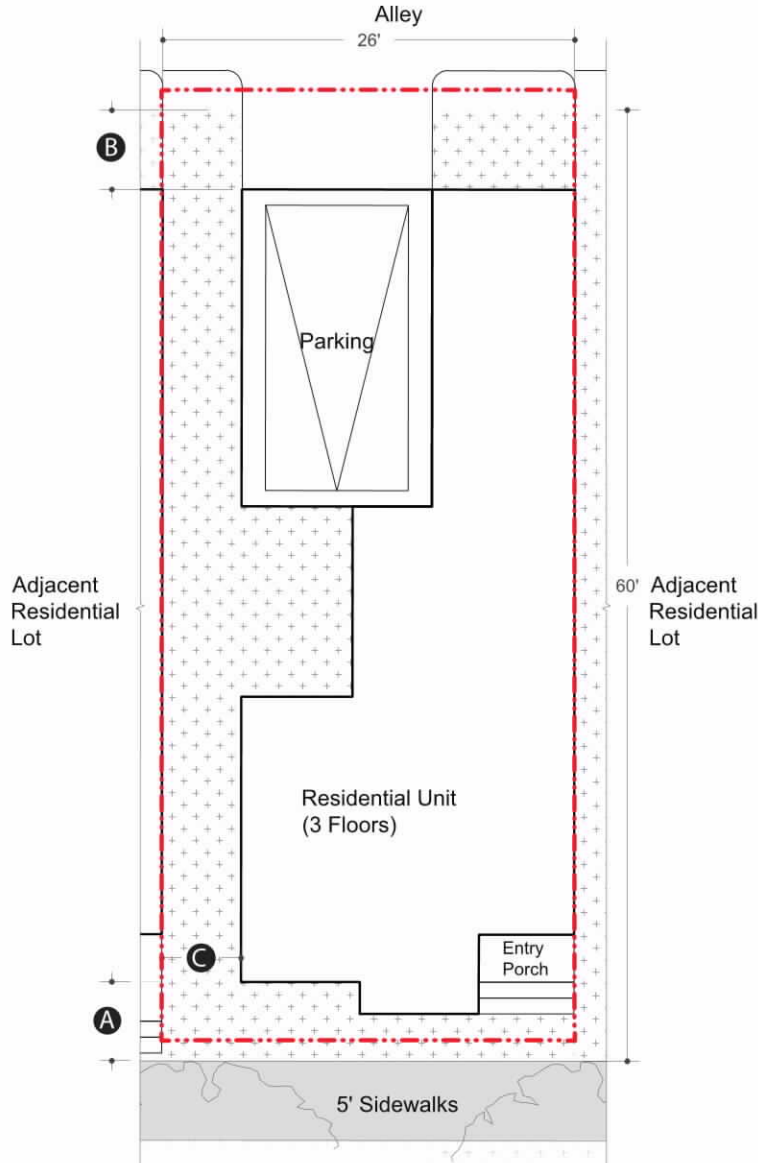


Diagram is illustrative only. Table shall govern.

	Zero Lot-Line Residential
Minimum Lot Size	1200 SF, 1400 SF on corner lots
Minimum Lot Width	20 FT
Maximum Height	45 FT 4 Stories
A Minimum Street Front Setback	5 FT
B Minimum Rear Yard Setback (Alley)	5 FT
C Minimum Interior Side Yard Setback	0' FT
Maximum Impervious Cover	95%

FOOTNOTES:

1. One side of a Zero Lot-Line house exterior wall may be located on the lot's interior side yard property line, however the exterior sideyard-facing building wall of adjoining lots must be separated by a minimum of five (5) feet. (Access and/or maintenance easements may need to be created by individual builders or property owners to facilitate maintenance of buildings and/or areas that are located on or very close to an interior sideyard property line.)

26' Zero Lot-Line (Rear loaded) - 1 Car Garage

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EXHIBIT F - (PAGE 10)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

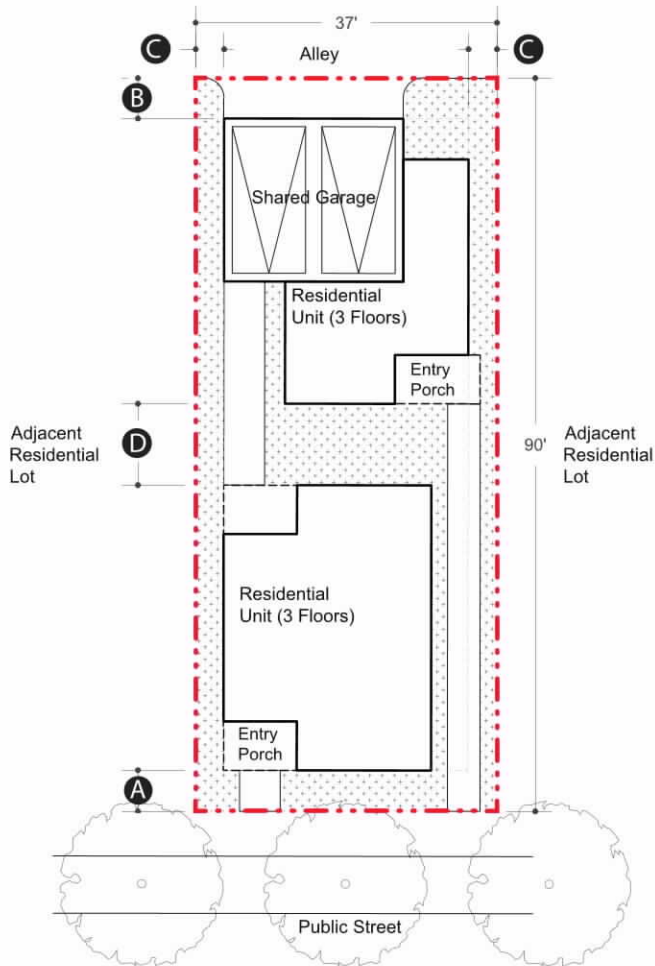


Diagram is illustrative only. Table shall govern.

		Two-Unit Residential
	Minimum Lot Size	2400 SF
	Minimum Lot Width	28 FT 33 FT on corner lots
	Maximum Height	45 FT 4 Stories
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback (Alley)	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
D	Minimum Separation between Units ¹	5 FT
	Maximum Impervious Cover	95%
	Common Courtyard Setback	0 FT

FOOTNOTES:

1. Second Residential Unit may be attached to the Main building.

37' Two-Unit Residential Detached - Rear Loaded
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EXHIBIT F - (PAGE 11)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

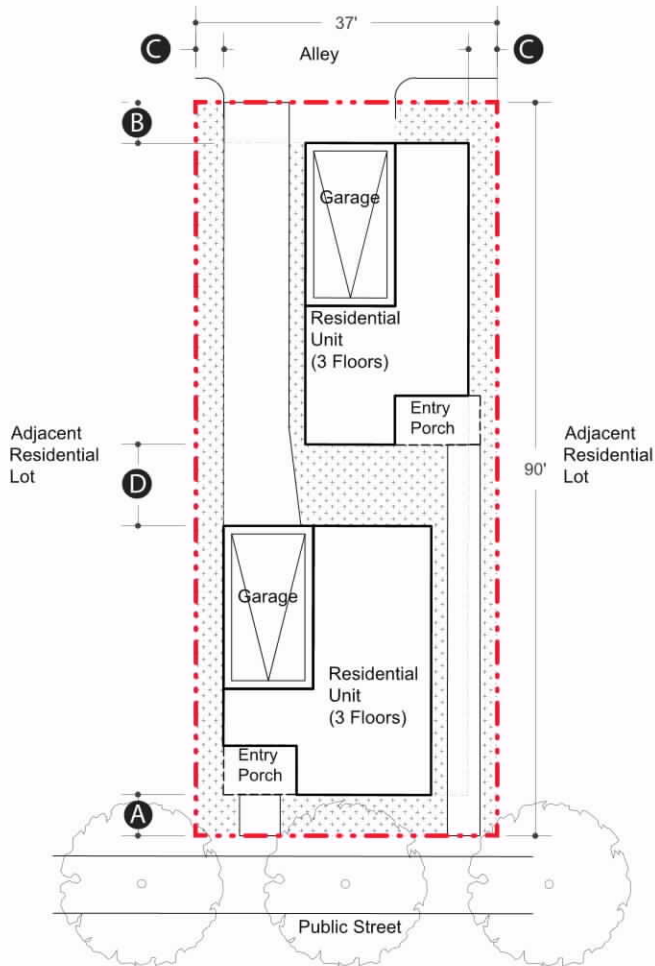


Diagram is illustrative only. Table shall govern.

	Two-Unit Residential
Minimum Lot Size	2400 SF
Minimum Lot Width	28 FT 33 FT on corner lots
Maximum Height	45 FT 4 Stories
A Minimum Street Front Setback	5 FT
B Minimum Rear Yard Setback (Alley)	5 FT
C Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
D Minimum Separation between Units	5 FT
Maximum Impervious Cover	95%
Common Courtyard Setback	0 FT

37' Two-Unit Residential Detached - Rear Loaded with Driveway

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EXHIBIT F - (PAGE 12)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

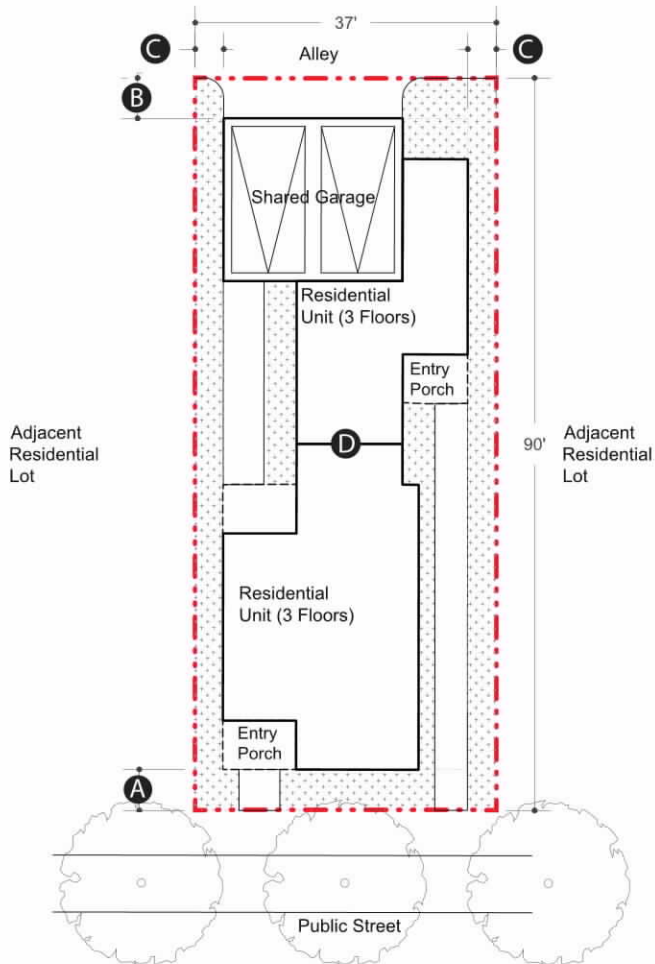


Diagram is illustrative only. Table shall govern.

		Two-Unit Residential
	Minimum Lot Size	2400 SF
	Minimum Lot Width	28 FT 33 FT on corner lots
	Maximum Height	45 FT 4 Stories
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback (Alley)	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
D	Maximum Separation between Units ¹	0 FT
	Maximum Impervious Cover	95%
	Common Courtyard Setback	0 FT

37' Two-Unit Residential Attached - Rear Loaded

Prepared by McCann Adams Studio for Catellus - DRAFT July 31, 2023

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EXHIBIT F - (PAGE 13)
COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

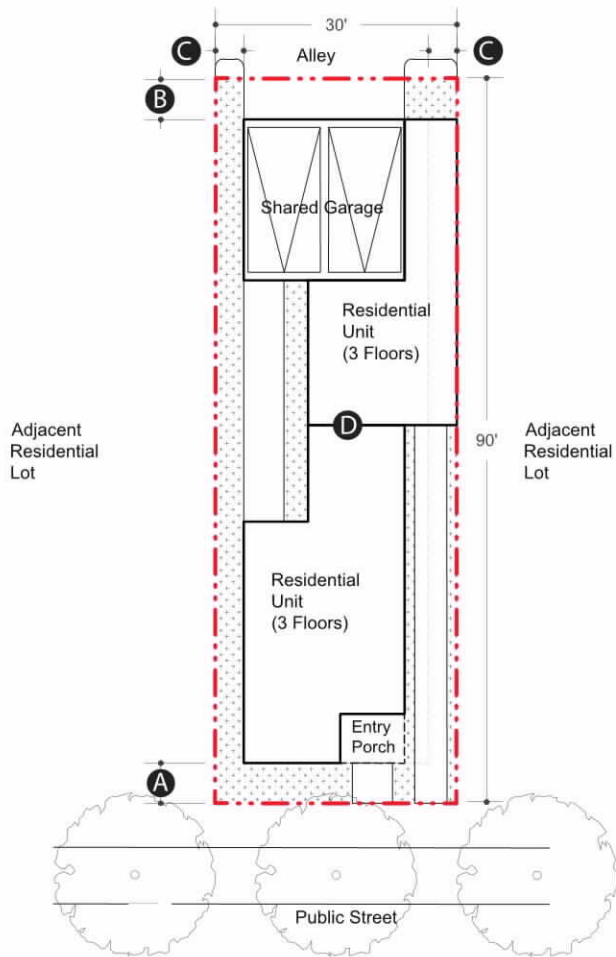


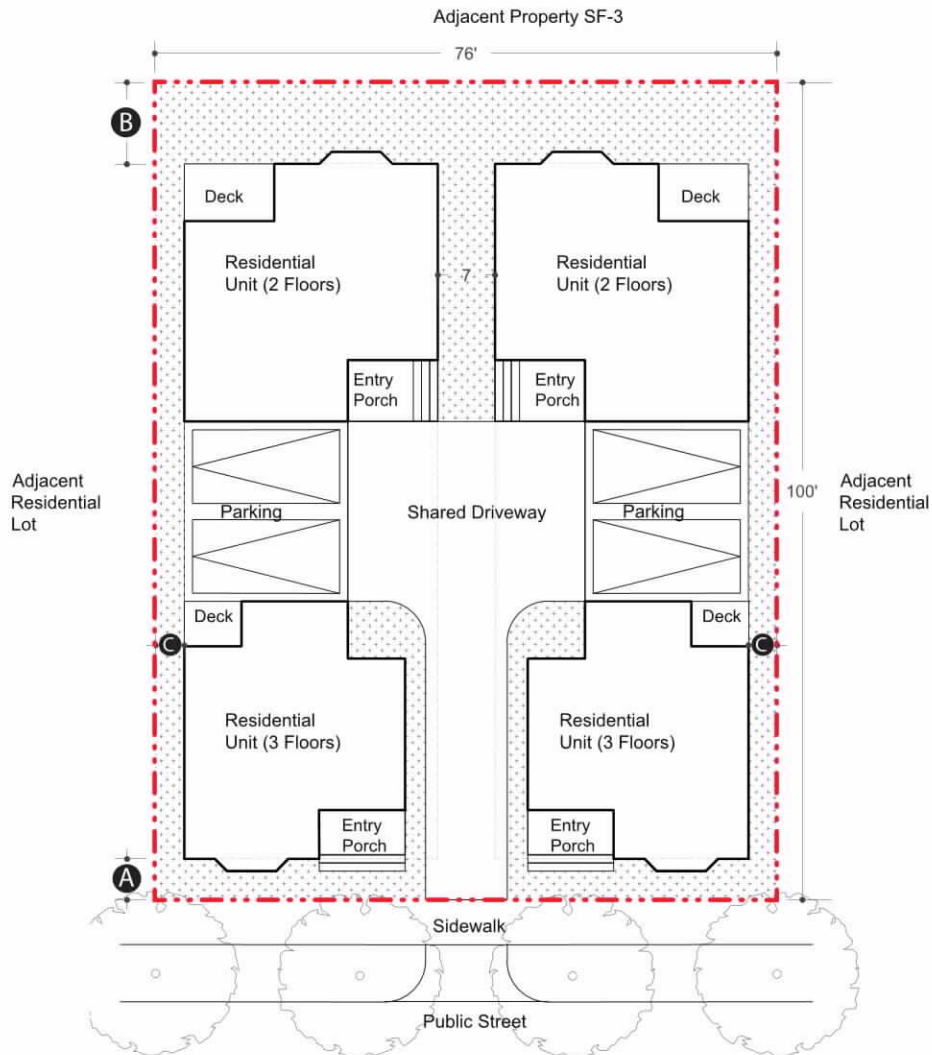
Diagram is illustrative only. Table shall govern.

		Two-unit Residential
	Minimum Lot Size	2400 SF
	Minimum Lot Width	28 FT 33 FT on corner lots
	Maximum Height	45 FT 4 Stories
A	Minimum Street Front Setback	5 FT
B	Minimum Rear Yard Setback (Alley)	5 FT
C	Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
D	Minimum Separation between Units	0 FT
	Maximum Impervious Cover	95%
	Common Courtyard Setback	0 FT

30' Two-Unit Residential Attached (Rear Loaded)
 Prepared by McCann Adams Studio for Catellus - DRAFT July 31, 2023

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EXHIBIT F - (PAGE 14) COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS



Small Site Condominium	
Minimum Lot Size	2700 SF on corner lots
Minimum Lot Width	30 FT
Maximum Height	45 FT 4 Stories
Minimum Street Front Setback	5 FT
Minimum Rear Yard Setback	5 FT
Minimum Interior Side Yard Setback	3 FT-1 IN or 0 FT
Maximum Impervious Cover	90%
Common Courtyard Setback	0 FT

Small Site Condominium

Prepared by McCann Adams Studio for Catellus - DRAFT September 7, 2023

EXHIBIT F - (PAGE 15)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

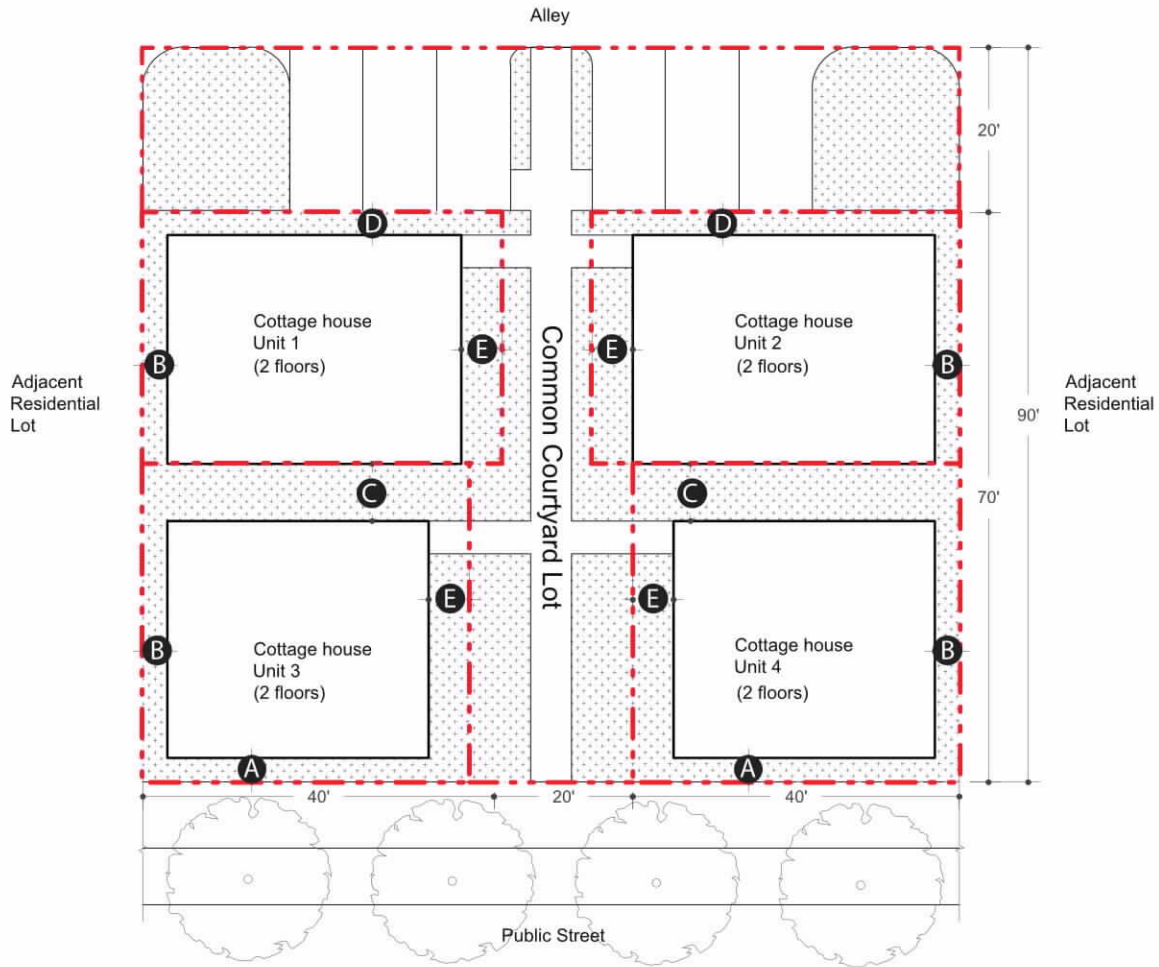


Diagram is illustrative only. Table shall govern.

		Cottage House Court
	Minimum Lot Size	800 SF
	Minimum Lot Width	20 FT
	Maximum Height	35 FT 2 Stories
A	Minimum Street Front Yard Setback	3 FT
B	Minimum Interior Side Yard Setback	3 FT-1 IN ¹
C	Minimum Interior Rear Yard Setback	0 FT ²
D	Minimum Rear Yard Setback	3 FT
	Maximum Impervious Cover	95%
E	Common Courtyard Setback	3 FT

FOOTNOTES:

1. A minimum side yard setback of 3'-1" is permitted (measured from face of building to property line) provided that the adjoining side yard setback is a minimum of 3'-11" to create a face-of-building to face-of-building space of at least seven (7) feet.
2. One side of a cottage house exterior wall may be located on the lot's interior rear yard property line, however the exterior sideyard-facing building walls of adjoining lots must be separated by a minimum of five (5) feet. (Access and/or maintenance easements may need to be created by individual builders or property owners to facilitate maintenance of buildings and/or areas that are located on or very close to an interior sideyard property line).
3. Refer to compatibility standards in Colony Park PUD Part 11-B. (15)

4-Unit Cottage House Court

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EXHIBIT F - (PAGE 16)

COLONY PARK P.U.D. SITE DEVELOPMENT REGULATIONS

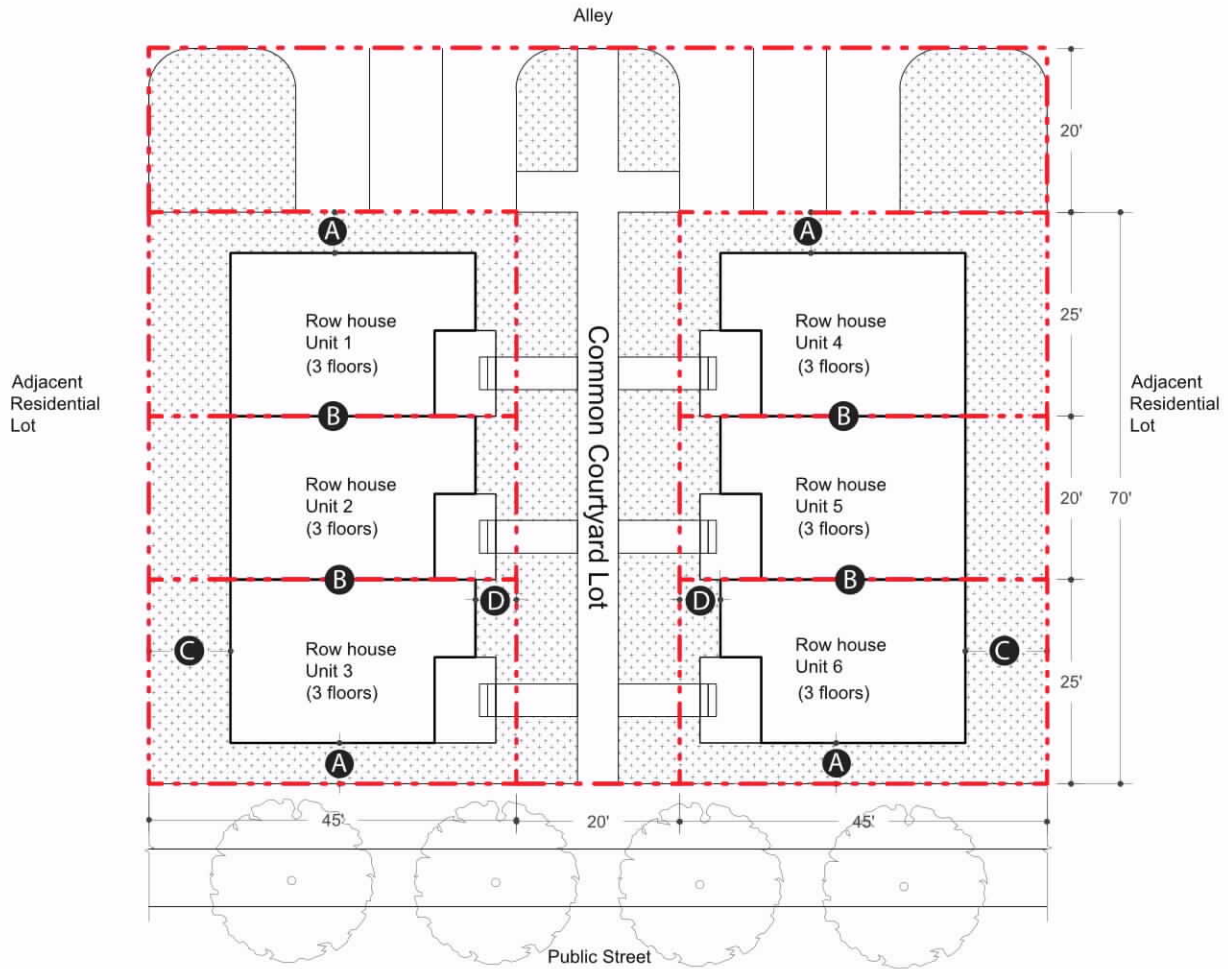


Diagram is illustrative only. Table shall govern.

		Row House Court
A B C D	Minimum Lot Size	600 SF, 800 SF on corner lots
	Minimum Lot Width	20 FT
	Maximum Height	45 FT 4 Stories
	Minimum Street and Alley Setback	3 FT
	Minimum Interior Side Yard Setback	0 FT
	Minimum Rear Yard Setback	5 FT
	Maximum Impervious Cover	95%
	Common Courtyard Setback	5 FT

6-Unit Row House Court

Prepared by McCann Adams Studio for Catellus - DRAFT September 7, 2023

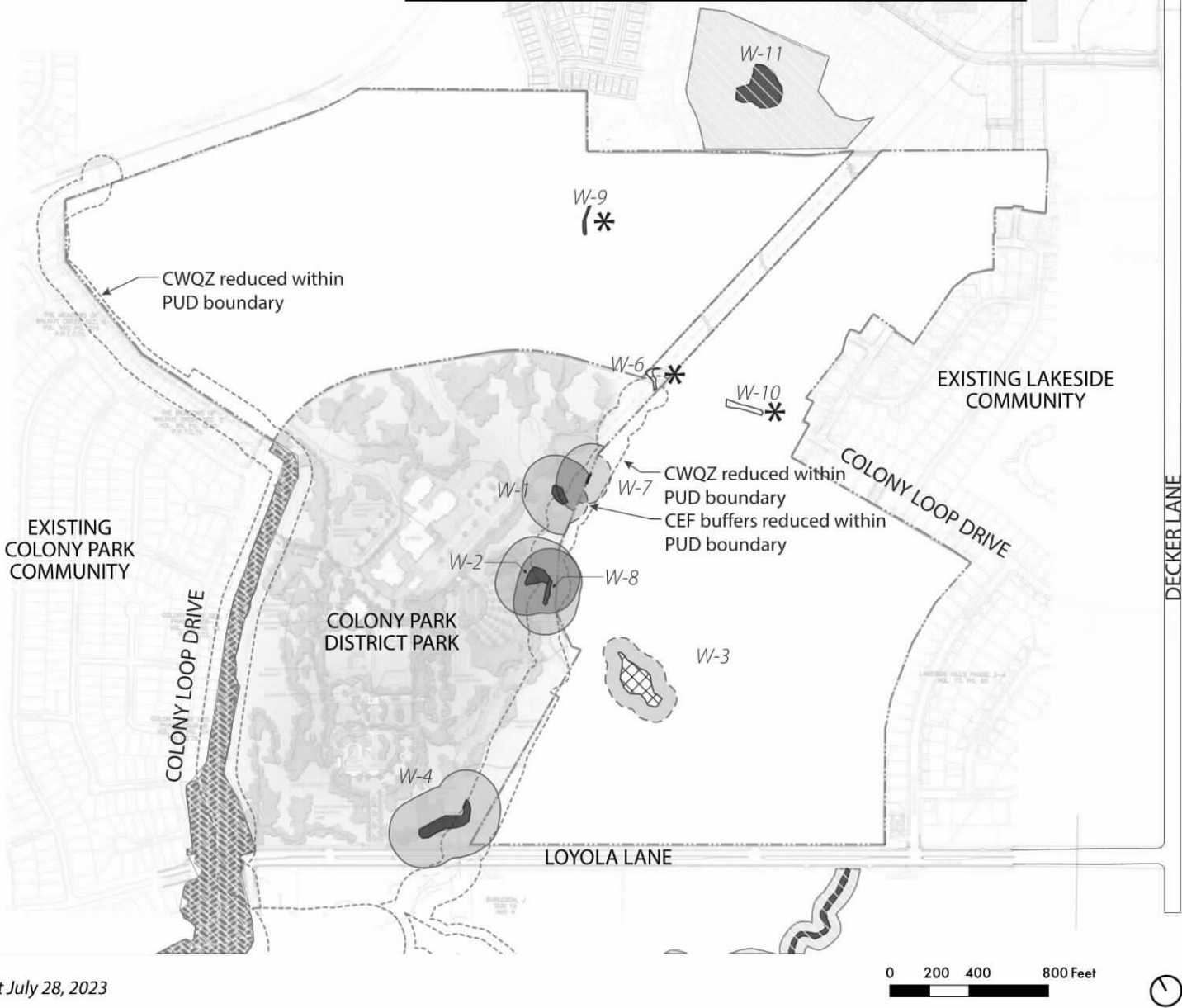
EXHIBIT G (PAGE 1) COLONY PARK P.U.D. ENVIRONMENTAL

LEGEND

- Critical Environmental Features (CEFs)
- 150' CEF Buffer
- Modified CEF Buffer (See Table)
- CEF to be Enhanced as Part of Water Quality Infrastructure
- 100-Year Floodplain
- Floodplain Critical Water Quality Zone (CWQZ)
- Wetlands within the Colony Loop Dr ROW
- CEF to be Removed
- Off-Site CEFs
- Off-Site CEF Buffer

CEF	MINIMUM BUFFER
W-1	100'
W-2	150'
W-3	75'
W-4	100'
W-5	(Offsite)
W-6	To be removed. ROW previously mitigated in C814-2014-0110.SH
W-7	100'
W-8	100'
W-9	To be removed & mitigated as part of this project.
W-10	To be removed. ROW previously mitigated in C814-2014-0110.SH
W-11	(Offsite)

Notes:
1. Reductions are for the buffer portion within Colony Park PUD boundaries only.



Draft July 28, 2023

EXHIBIT G (PAGE 2)

COLONY PARK P.U.D. ENVIRONMENTAL

General Notes

- Additional Protected Headwater and Wetland CEF buffer areas for mitigation are shown approximately. Exact configurations will be developed at Preliminary Plan and finalized at subdivision construction plans.
- Temporary construction activities shall be allowed within the additional Protected Headwater and Wetland CEF buffer areas.
- Mitigation and enhancement strategies may include:
 - Removal of invasive species and plant approved wetland species in existing CWQZ areas and additional Protected Headwater and wetland CEF buffer areas.
 - Explore drainage, soil, and plant design strategies that enhance linkages between creeks and wetlands along the central green spine.
 - Utilize biofiltration design with native species for all water quality ponds.
- Proposed Modifications, Mitigation and Enhancement Concepts are listed on Exhibit G , Page 3.

Legend

	OPEN SPACE*
	EX 100-YR FEMA FLOODPLAIN
	CWQZ & EHZ
	CEF-BUFFER
	EX WETLAND
	REDUCED WETLAND CEF BUFFER
	ADDED WETLAND CEF BUFFER
	REDUCED CWQZ
	ADDITIONAL PROTECTED HEADWATER AREA
	ADDED WETLAND CEF
	WETLAND NUMBER
	REDUCED WETLAND AREA
	ADDED WETLAND AREA

* Note: Precise delineation of open spaces and trails will be finalized at Preliminary Plan and will be at least 41.62 acres (20% of Total Site Area).

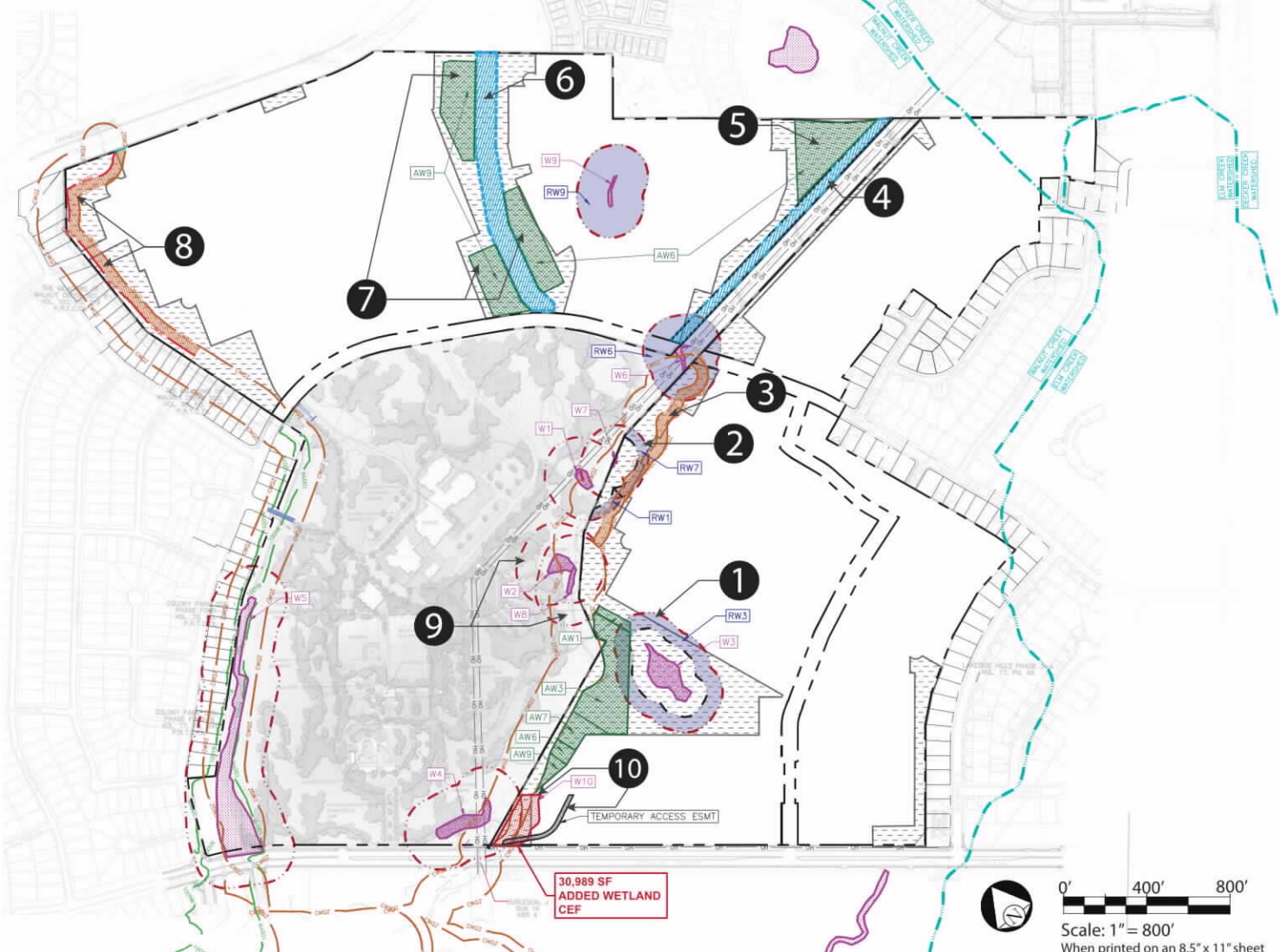


EXHIBIT G (PAGE 3)

COLONY PARK P.U.D. ENVIRONMENTAL

Modifications, Mitigation and Enhancement Concepts

- 1 Reduce CEF buffer to enable additional housing in town center. Added additional buffer downstream to connect to green spine. Within the reduced setback open space elements and biofiltration ponds are still allowed within the buffer per Colony Park PUD Criteria Manual.
- 2 Reduce CEF buffer within PUD boundary to enable additional housing in MUR district.
- 3 Reduce CWQZ within PUD boundary to enable additional housing in MUR district. Reduced CWQZ still meets 50' minimum from creek centerline per Colony Park PUD Criteria Manual.
- 4 Additional Protected Headwater Area to offset the reduction of CWQZ downstream.
- 5 Additional Wetland CEF Buffer with wetland vegetation to be planted after grading & infrastructures are constructed to enhance linkage between wetlands throughout the green spine.
- 6 Additional Protected Headwater Area to offset the reduction of CWQZ in ETOD district.
- 7 Additional Wetland CEF Buffer with wetland vegetation to be planted after grading, biofiltration ponds and infrastructures are constructed.
- 8 Reduce CWQZ within PUD boundary to enable additional housing in ETOD district. Reduced CWQZ still meets 50' minimum from creek centerline per Colony Park PUD Criteria Manual. Allow temporary encroachments, street crossing and trail encroachments.
- 9 Temporary construction activities are allowed to encroach up to 50' into buffers of CEFs W2 and W8 with approved vegetation restoration.
- 10 W10 is added to account for mosaic wetland pockets near Loyola Ln. This wetland shall have a 0' setback. Maintenance and improvements of existing wastewater main is allowed to disturb this wetland with an approved restoration plan. Temporary Access within the easement for the Central Health site during construction is allowed with approved restoration plan.
- 11 Maximum 2 bike/pedestrian crossings are allowed along the length of the waterway between Loyola Ln and Colony Loop Dr (excluding the roadway crossings themselves).
- 12 Changes in drainage conveyance outside of the existing condition floodplain that result in modification of the vertical or horizontal extent of the floodplain, if approved by Floodplain Review, will be supportable from an environmental perspective as long as the project restores the upstream channels that serve as a part of the "green spine" and designates as additional buffer as shown. The restoration would at a minimum need to provide grade control structures that stabilize the channels and include the installation of check dams, cobble riffles, seepage berms, and in-stream installation of root wads and large woody debris.
- 13 Additional Wetland CEF buffer or additional Protected Headwater areas shown in Exhibit G Page 2 should be assessed using the Zone 2 functional assessment methodology described in Appendix X of the ECM. Any portions of these areas found to be in "Poor (1)" or "Fair (2)" condition shall be restored to at least a "Good (3)" condition.
- 14 Parks amenities contemplated are allowed by right within the open space areas, CEF buffer areas, additional Protected Headwater Areas, and CWQZ, with the exception of the actual wetland CEF area identified by Exhibit G.

Wetland & Critical Water Quality Zone Modifications

Wetland#	Reduced	Added	Net
W1	—	—	—
W2	—	—	—
W3	—	—	—
W4	—	—	—
W5	—	—	—
W6	0.05	—	-0.05
W7	—	—	—
W8	—	—	—
W9	0.04	—	-0.04
W10 (PROPOSED)	—	0.71	0.71
Total	0.10	0.71	0.61

Wetland Buffer	Reduced	Added	Net
W1 Buffer	0.20	0.16	-0.04
W2 Buffer	—	—	—
W3 Buffer	2.55	2.07	-0.48
W4 Buffer	—	—	—
W5 Buffer	—	—	—
W6 Buffer	2.71	3.27	0.56
W7 Buffer	0.43	0.45	0.02
W8 Buffer	—	—	—
W9 Buffer	2.73	2.83	0.10
W10 Buffer	—	—	—
Total	8.62	8.78	0.16

CWQZ & Protected Headwater Areas	Reduced CWQZ	Added Protected Headwater Areas	Net
MUR District	1.26	1.65	0.38
ETOD District	1.57	3.00	1.44
Total	2.83	4.65	1.82

EXHIBIT G (PAGE 4)
COLONY PARK P.U.D. ENVIRONMENTAL

Fiscal for Tree Removal & Mitigation Notes

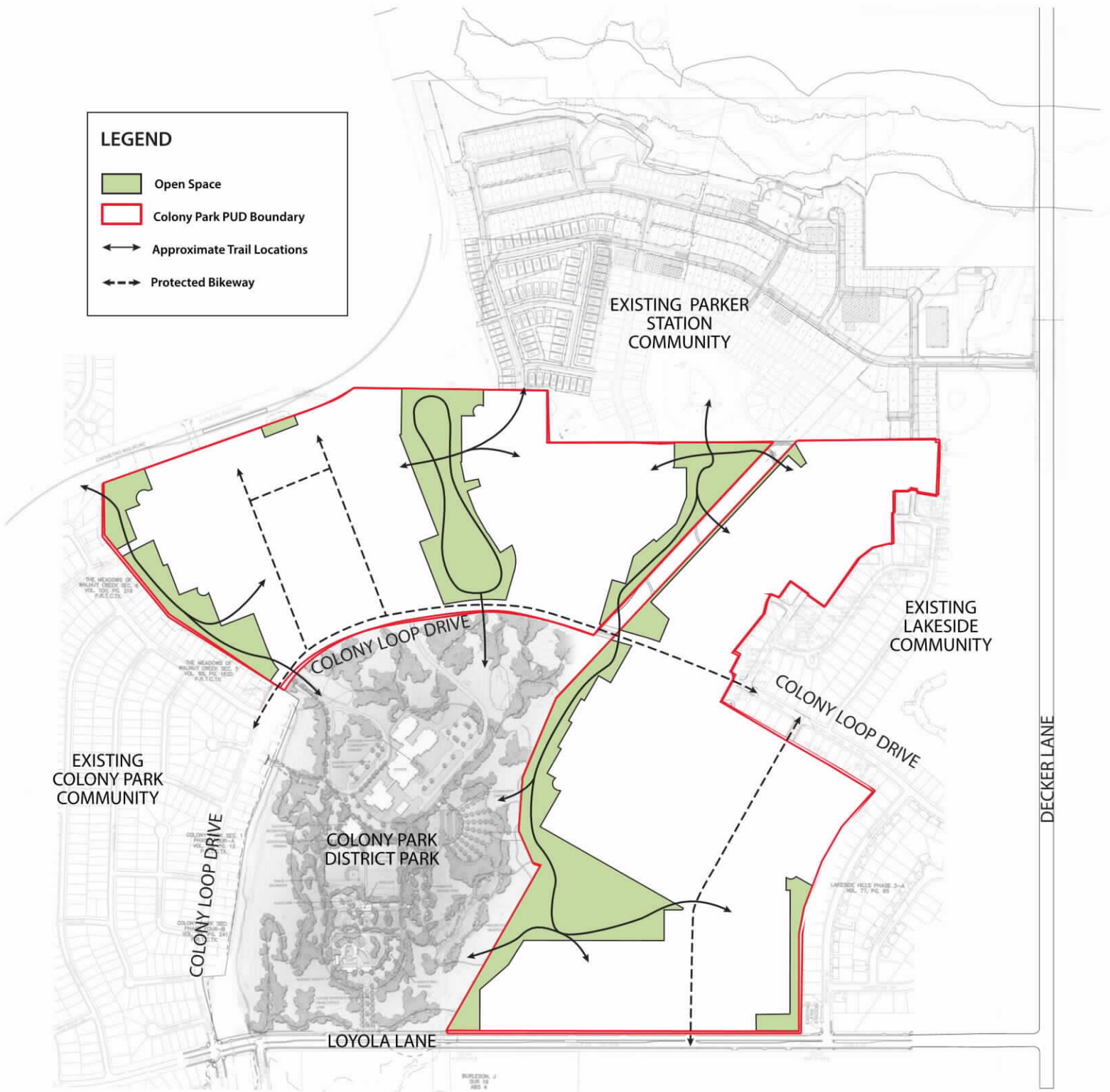
- ① A tree fiscal table showing inches caliper proposed to be removed and inches to be planted in the right-of-way & open space for the entire PUD to be provided at Preliminary Plan. The PUD as a whole shall have equal or more inches planted than removed.
- ② Each subsequent subdivision construction plan case shall have the most up to date tree fiscal table on the cover sheet showing the exact inches planted and removed within the limit of construction of that case.
- ③ If there is a negative deficit between planted vs removed within a subdivision construction case, the fiscal instrument approved to be used for the project shall be posted to cover the deficit.
- ④ When a deficit is reduced in subsequent subdivision construction cases, the posted fiscal can be released accordingly.
- ⑤ Once the planted inches for the PUD as a whole exceeds the removed number, no further tree mitigation review shall be required.
- ⑥ A site development permit can either use planted inches from the row and open space to satisfy tree removal mitigation requirement or plant additional inches on site.

Environmental Notes

- ① Major water crossing on Colony Loop Drive between ETOD and NR-2 shall be designed with open bottom culverts or approved equivalent.
- ② The city arborist shall have administrative authority to consider and approve heritage tree removal, variances, relocation, mitigation, and other tree related requests based on the criteria in §§ 25-8-642 and 25-8-643.
- ③ The CWQZ related to existing classified waterways has been modified as shown in Exhibit G. Additional Protected Headwater Areas have been added. These mitigate for CWQZ reductions (as shown in Exhibit G) by providing protections for currently unclassified waterways as Additional Protected Headwater Areas. Additional Protected Headwaters shall not be subjected to CWQZ regulations. Additional Protected Headwater Areas (designated in Exhibit G) are vegetated drainage conveyance areas draining less than 64 acres that promote healthy soils and vegetation along the creek corridor and allow the stream adequate space to migrate over time, thus controlling flood impacts, promoting water quality, and providing multiple community benefits. Permitted activities and development in these areas are limited to grading with revegetation, limited roadway crossings, trails and park amenities, utilities and utility crossings, and water quality facilities, to be designed in a manner that minimizes impact to these areas to the greatest extent feasible.
- ④ Developer intends to consider one or more of the following low impact development strategies to the extent possible on a site-by-site basis: (i) increase the number of tree plantings (which intercept and retain rainfall otherwise converted to runoff); (ii) disconnect impervious cover by designing roofs and paved areas to drain to adjacent landscaped areas; (iii) add soil amendments to improve the infiltration capacity of soils in pervious areas (thereby allowing more infiltration, healthier plant growth, and reduced irrigation requirements); and (iv) install porous pavement for pedestrian or vehicular use where feasible without seeking an impervious cover credit (with logical locations for porous pavement being adjacent to significant, existing trees to be preserved on the site, thereby preserving infiltration of water into the soil near the trees' root zones. On sites where the strategies are implemented, developer may consider one or more of the strategies, and need not implement all of them.
- ⑤ The design team will work with Watershed Protection Staff to develop project Design Guidelines that incorporate Light Pollution Reduction, Bird Strike Deterrence and Functional Green standards and criteria to the maximum extent feasible and to the extent contextually appropriate based on Council established priorities for the project.
- ⑥ As part of the site plan or subdivision construction plan review, Developer will provide to Watershed Protection Department a natural areas management plan, including an Integrated Pest Management Plan, for the restoration of the wetland CEF and the existing creek that establishes baseline maintenance practices to support a healthy riparian habitat.

EXHIBIT H

COLONY PARK P.U.D. OPEN SPACE PLAN



Draft September 19, 2023

Notes:

1. Precise delineation of open spaces and trails will be finalized at Preliminary Plan. Open space will be at least 41.65 acres (20% of Total Site Area).
2. Austin Energy will be included in the review and approval process of trails within or crossing or the tract of land that encumbers the transmission easement

0 200 400 800 Feet



EXHIBIT I - (PAGE 1)
COLONY PARK P.U.D. STREET SECTIONS

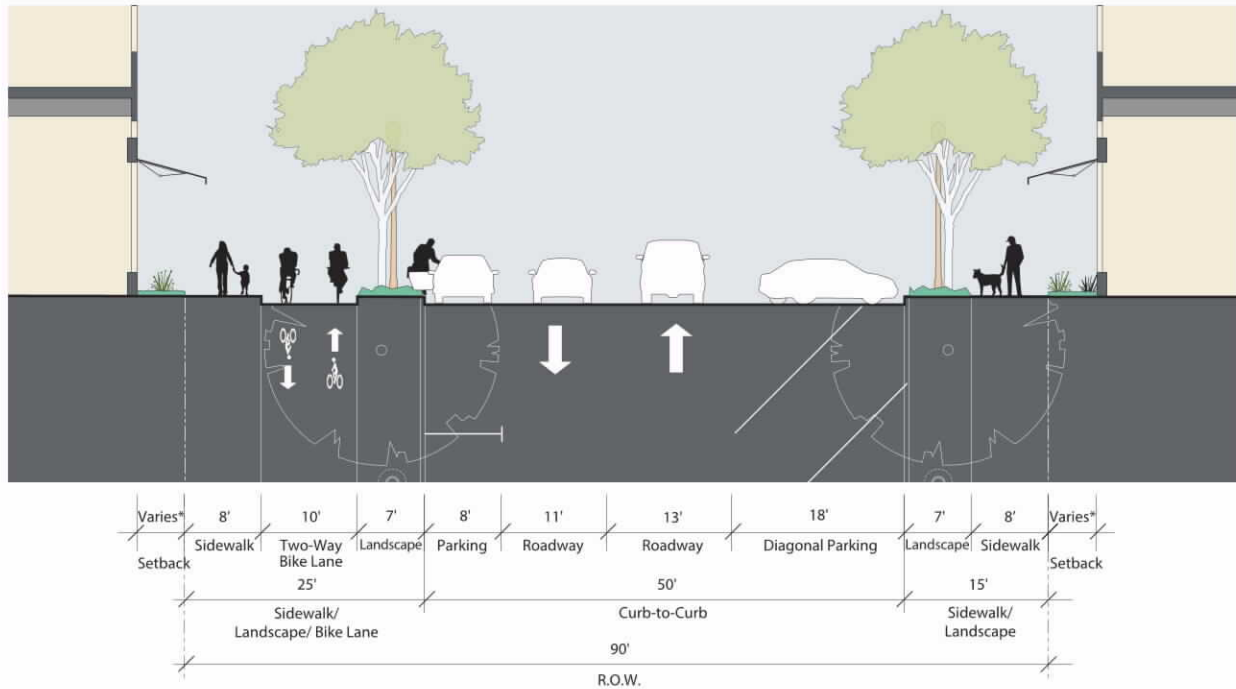
ROADWAY TYPE	ROW	NO. OF LANES	CURB BASIS	SIDEWALK	PAVING	PARKING	BIKE FACILITY	STREET CLASSIFICATION <small>PER AUSTIN TRANSPORTATION CRITERIA MANUAL</small>
Wilmington Street (Retail Emphasis)	90'	2	25', 15'	Yes	50'	2-sides parallel and diagonal	Protected 2-Way	Level 2
Wilmington Street (Mixed-Use Emphasis)	75'	2	23', 14'	Yes	38'	2-sides parallel	Protected 2-Way	Level 2
Colony Loop Drive	70'	2	14' 14'	Yes	42'	1-side parallel	Protected 2-Way	Level 2
Connector Street w/ Bikeway	70'	2	15', 25'	Yes	30'	1-side parallel	Protected 2-Way	Level 2
Connector Street w/ Shared Use Path	70'	2	15', 19'	Yes	36'	2-sides parallel	Shared Use Path	Level 2
Connector Street	66'	2	15'	Yes	36'	2-sides parallel	No	Level 2
Neighborhood Street	53'	2	12.5'	Yes	28'	1-side Parallel ¹	No	Level 1
Residential Alley	20'	1 (shared for 2-way traffic)	2.5' ¹	No	15'	No	No	Level 0

Notes:

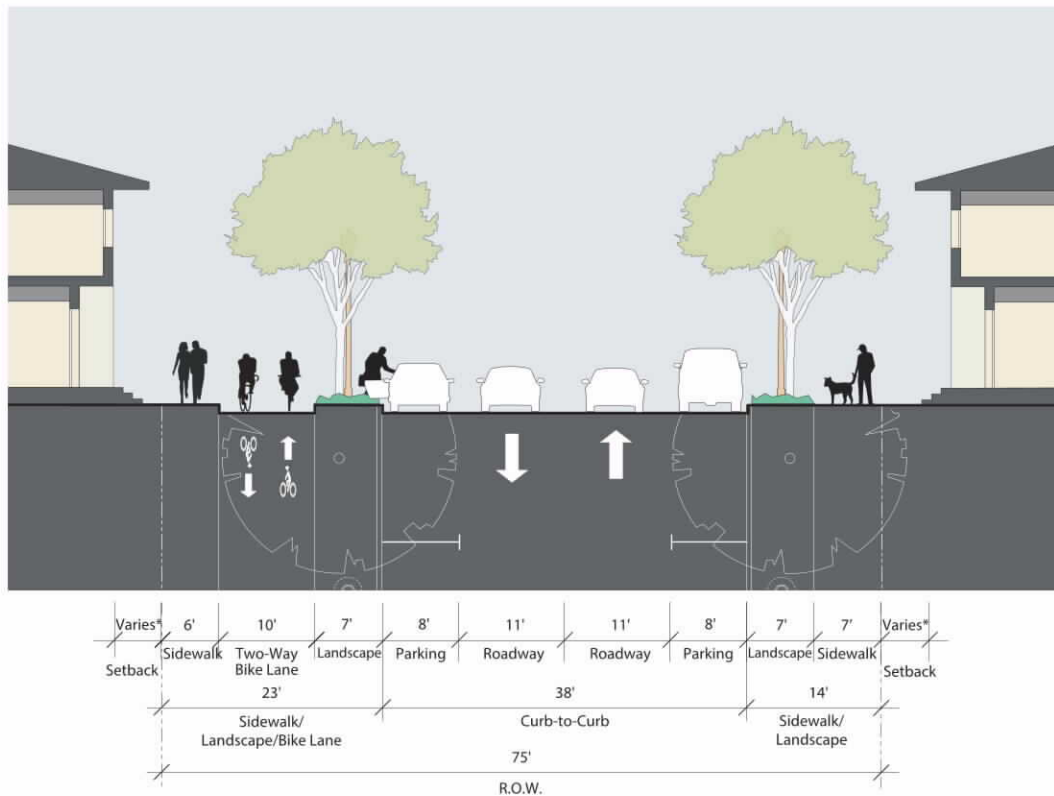
- Street trees shall be spaced at average intervals of 30 feet.
- Street sections may be modified with the mutual approval of the Land Developer, Austin Transportation and Public Works Department and Watershed Protection Department or their successors.
- Street Classifications are based on the Street Level Descriptions outlined in Section 2.4 of the City of Austin Transportation Criteria Manual and on the Austin Strategic Mobility Plan (ASMP) Street Network Map (Amended June 9, 2022).
- The Wilmington Street (Retail Emphasis) cross-section may be replaced with the Wilmington Street (Mixed-Use Emphasis) cross-section.

1. Curbs are not constructed on residential alleys.

EXHIBIT I - (PAGE 2)
COLONY PARK P.U.D. STREET SECTIONS



Wilmington Street (Retail Emphasis)



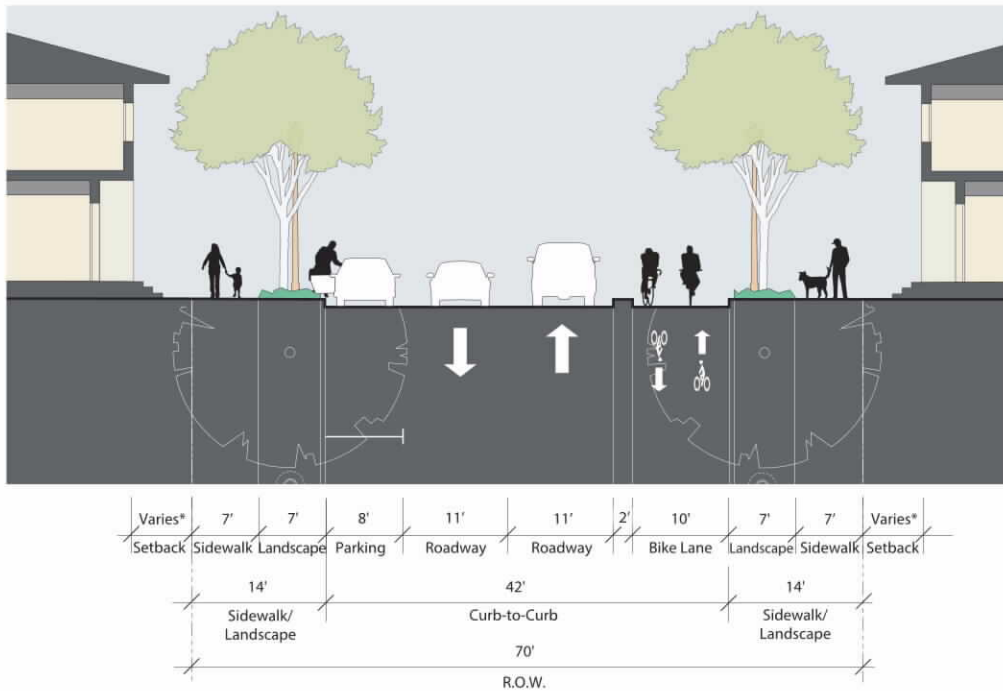
Wilmington Street (Mixed-Use Emphasis)

*See Exhibit F for setback dimensions

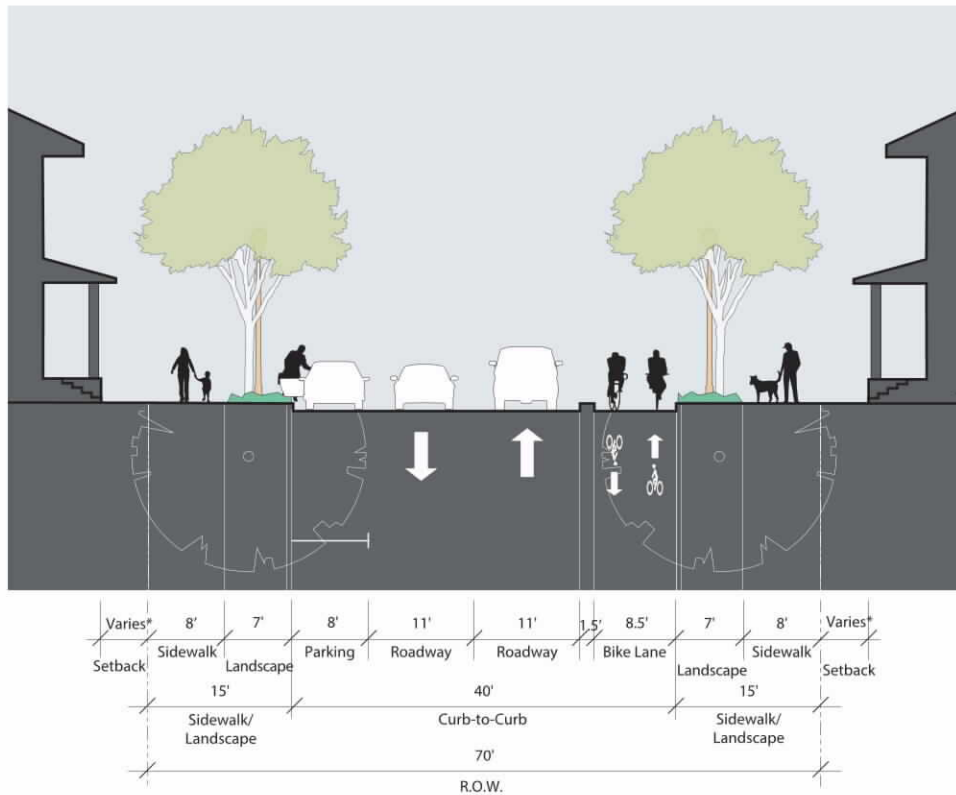
0' 5' 10' ft.

EXHIBIT I - (PAGE 3)

COLONY PARK P.U.D. STREET SECTIONS



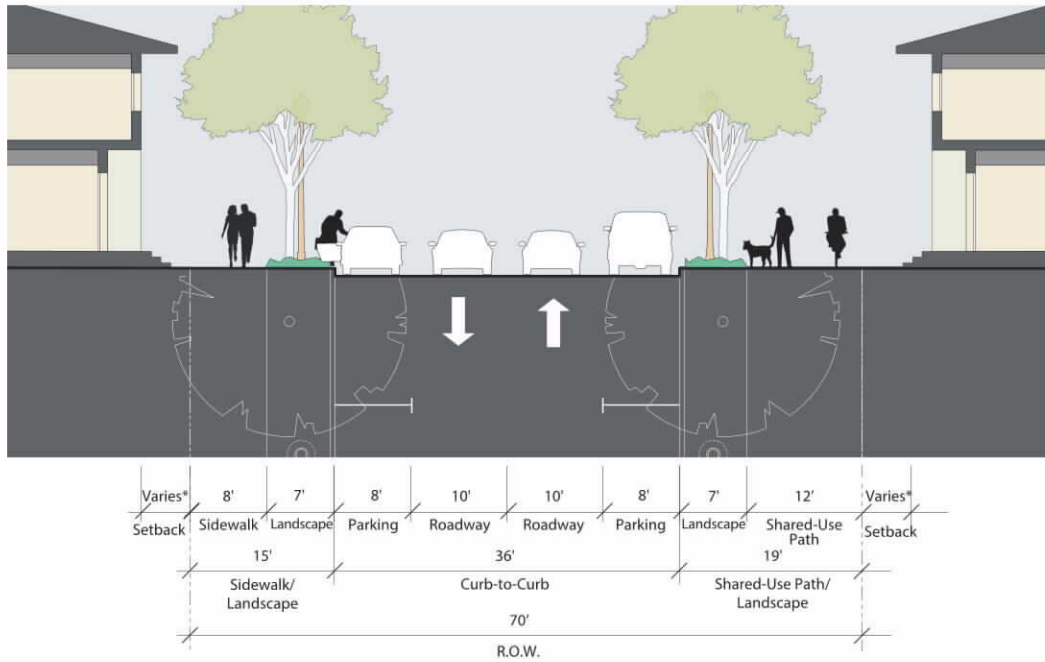
Colony Loop Drive



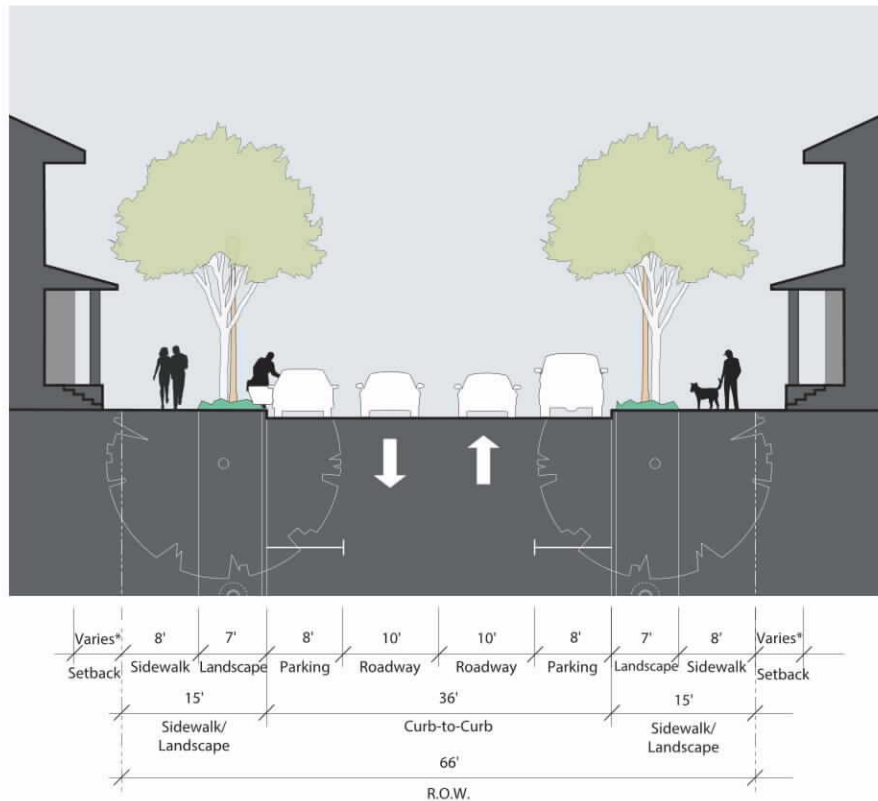
Connector Street with Bikeway

*See Exhibit F for setback dimensions

EXHIBIT I - (PAGE 4)
COLONY PARK P.U.D. STREET SECTIONS



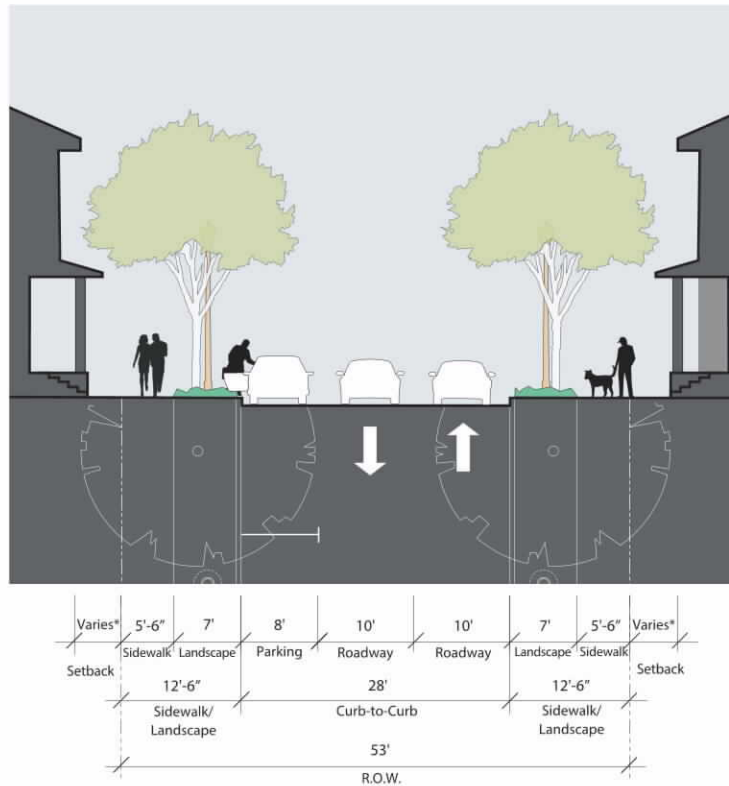
Connector Street with Shared-Use Path



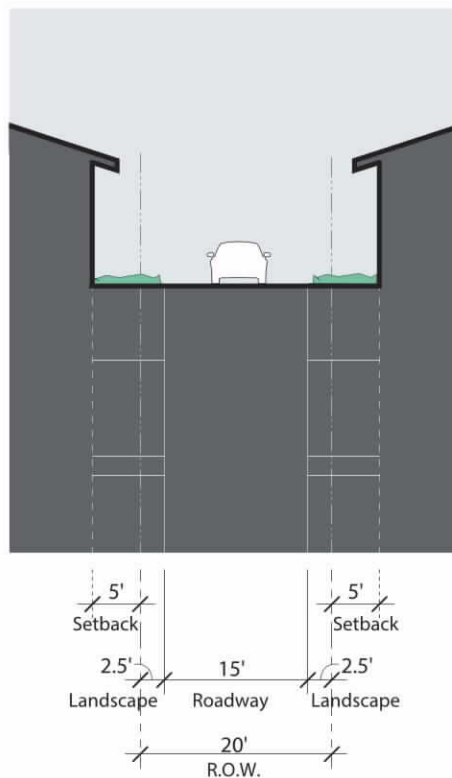
Connector Street

*See Exhibit F for setback dimensions

EXHIBIT I - (PAGE 5)
COLONY PARK P.U.D. STREET SECTIONS



Neighborhood Street



Residential Alley

*See Exhibit F for setback dimensions

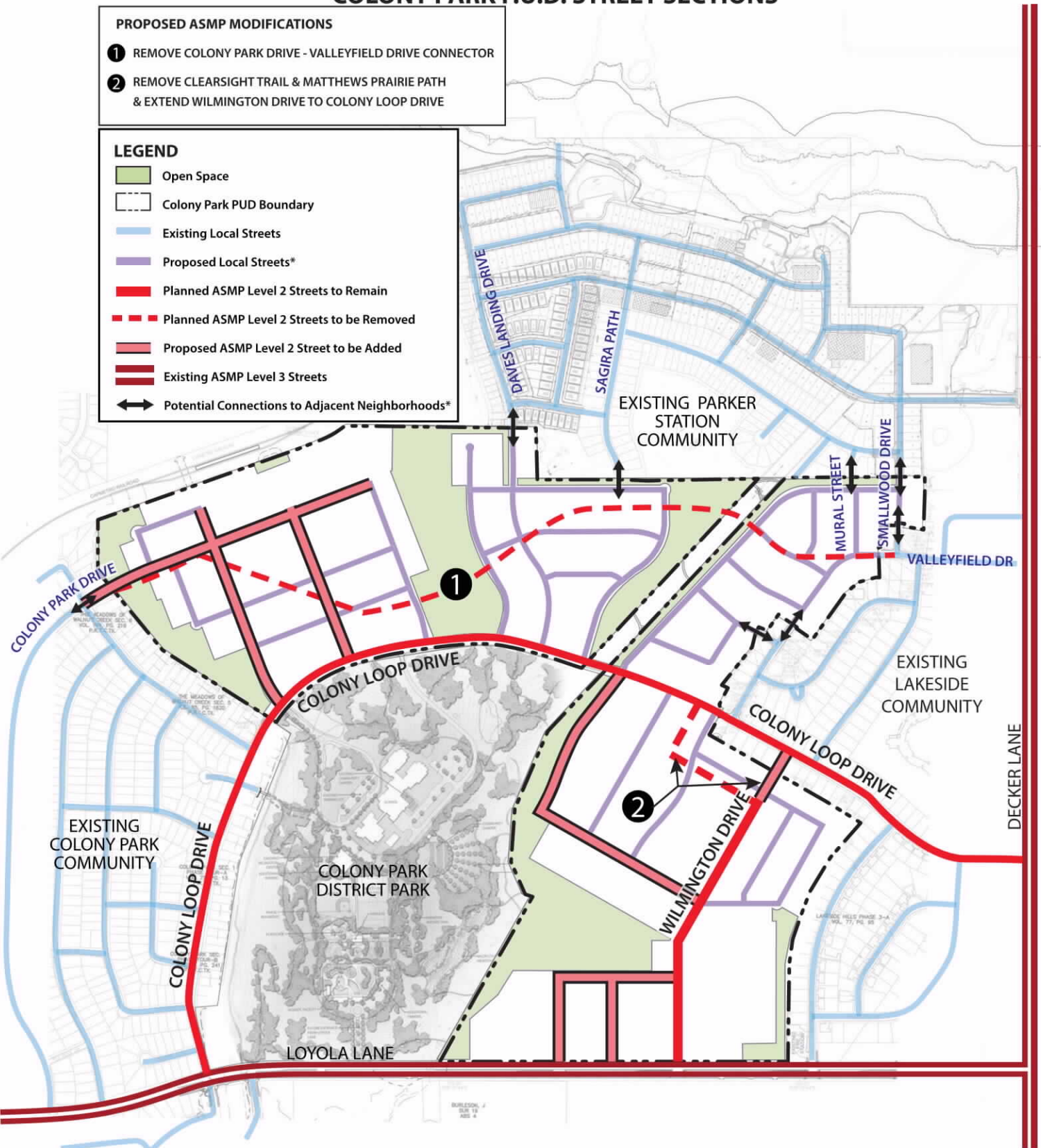
COLONY PARK P.U.D. STREET SECTIONS

PROPOSED ASMP MODIFICATIONS

- 1 REMOVE COLONY PARK DRIVE - VALLEYFIELD DRIVE CONNECTOR
- 2 REMOVE CLEARSIGHT TRAIL & MATTHEWS PRAIRIE PATH & EXTEND WILMINGTON DRIVE TO COLONY LOOP DRIVE

LEGEND

- Open Space
- Colony Park PUD Boundary
- Existing Local Streets
- Proposed Local Streets*
- Planned ASMP Level 2 Streets to Remain
- Planned ASMP Level 2 Streets to be Removed
- Proposed ASMP Level 2 Street to be Added
- Existing ASMP Level 3 Streets
- Potential Connections to Adjacent Neighborhoods*



Draft November 21, 2023

*Proposed Local Streets and Potential Connections to Adjacent Neighborhoods are in approximate locations and are subject to change.

Information based on the Austin Strategic Mobility Plan (ASMP) (Amended June 9, 2022)

Colony Park PUD - Amendment Exhibits - November 27, 2023

0 200 400 800 Feet



EXHIBIT J

COLONY PARK P.U.D. OFF-STREET LOADING AND PARKING REGULATIONS AND RATIOS

- (1) There is no off-street loading requirement for a building with less than 10,000 square feet of gross building area. The director shall determine the location, number, and dimensions of the off-street loading for a larger building.
- (2) Except as provided by the director, parking in alleys is prohibited.
- (3) This section establishes minimum vehicular parking requirements:
 - (a) Except as otherwise provided in this subsection, a commercial use shall provide one parking space for every 500 square feet of gross building area.
 - (b) An office use shall provide one parking space for every 500 square feet of gross building area.
 - (c) A condominium residential, multi-family residential, group residential and retirement housing use shall provide one parking space for each unit.
 - (d) A yard house, row house, shop house, zero lot line, two-unit residential, small-site condominium, cottage court, row house court, duplex, and group home (Class I General, Class I Limited, and Class II) shall provide one parking space for each dwelling unit.
 - (e) A yard house or row house is not required to provide additional parking for an accessory dwelling unit.
 - (f) A shop house is not required to provide additional parking for a commercial use if the commercial use does not exceed 750 square feet.
 - (g) A daycare service (commercial, general and limited), primary educational facility (private and public), or secondary educational facilities (public and private) use shall provide one parking space for each employee.
 - (h) An indoor entertainment use shall provide one parking space for every 15 seats.
 - (i) Off-street parking is not required for park and recreational facilities, community recreation facilities (private and public), community events facilities and outdoor sports and recreational facilities (such as neighborhood parks, pavilions, picnic shelters or tables, playgrounds, swimming pools, basketball/sport courts, amphitheaters, or bike rental facilities).
- (4) City of Austin parking requirements can supersede the standards listed in (3) above if they are less restrictive.
- (5) Except as otherwise provided in this section, bicycle parking shall be provided in accordance with Chapter 25-6, Appendix A of the City Code. A commercial use parking lot or garage shall provide not less than one bicycle parking space for every 20 motor vehicle parking spaces.
- (6) Within the LTC and ETOD land use areas, the required parking for a use may be located anywhere in the land use areas. Community and shared parking facilities are encouraged.

EXHIBIT K - (PAGE 1)
COLONY PARK P.U.D. CRITERIA MANUAL

A. GENERAL

1. The following versions of the City of Austin's criteria manuals are adopted for Colony Park PUD unless otherwise superseded by the modifications listed in this Exhibit. To the extent of any conflicts, this Exhibit K shall govern.
 - a. Building Criteria Manual
 - b. Drainage Criteria Manual
 - c. Environmental Criteria Manual
 - d. Fire Protection Criteria Manual RESERVED for future version to be updated for IFC2021
 - e. Transportation Criteria Manual
 - f. Utilities Criteria Manual
 - g. Standards Manual
 - h. Standard Specifications Manual
2. Colony Park PUD shall be subject to those rules and regulations in effect as follows, until November 30, 2053.
3. Unless maximum allowable densities as shown in PUD Exhibit E are exceeded, all future updates to the Colony Park's Traffic Impact Analysis (TIA) for the Colony Park PUD shall be done administratively using the 11th edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual Applicable trip reductions to reflect pass by, internal capture, transit, and TDM reductions will applied to develop the adjusted peak hour trips. The critical peak hour trip (PHT) for this development occurs during the PM peak and therefore, all evaluations will be based on PM Peak Hour Trip (PHT) trip rates. The PHT trip rates are shown in the Colony Park's TIA (as it may be administratively amended updated) and will be used as development occurs.
4. The Colony Park PUD Design Guidelines (the "Design Guidelines") referenced in this Criteria Manual will be those design guidelines approved by the City.

B. DRAINAGE CRITERIA MANUAL MODIFICATIONS

1. DCM 1.2.4 (Drainage System) subsection (A) is modified to add "Within the Colony Park PUD, ponds located in parks and open spaces to be conveyed to the City of Austin will be designed to City's standards of public ponds in this section, as modified, even though they will be maintained by the Land Developer for the entire project (Catellus or its designated entity). Ponds that are located within private parcels will be designed to Commercial Development standards."
2. DCM 1.2.4 (Drainage System) subsection (E) is modified to remove ramps into

EXHIBIT K - (PAGE 2)

COLONY PARK P.U.D. CRITERIA MANUAL

basins and drainage easements from the list of items to provide at Preliminary Plan and Final Plat. These items shall be addressed at Site Plan or Subdivision Construction Plan stage.

3. DCM 1.2.4 (Drainage System) subsection (E) subitem 5.a. (Fencing) is modified to read "A six (6) foot high fence or a combination of retaining wall and decorative fences that add up to at least six (6) feet above adjacent ground is required[...]"
4. DCM 1.2.6 (Floodplain Delineations) subsection (A) subitem 1. (Fencing) is modified to read "For purposes of this Drainage Criteria Manual, a drainage area of 64 acres or greater in the proposed conditions is required [...]"

C. ENVIRONMENTAL CRITERIA MANUAL MODIFICATIONS

1. ECM 1.3.0 (Environmental Resource Inventory) subsection (A) is modified to allow the 2023 ERI report for Colony Park PUD to be valid until November 30, 2053.
2. ECM 1.5.2 (Buffer Geometry) subsection (B) is modified to allow a minimum 50' and 100' maximum for Critical Water Quality zone in Minor Waterway.
3. ECM 1.5.2 (Buffer Geometry) subsection (D) is modified to delete the following restrictions: "The area proposed for reduction in width should not contain critical environmental feature (CEF) setbacks or priority or other significant woodlands and prairies as identified by the Environmental Resource Inventory." and "If proposing to use buffer averaging on a minor waterway, the applicant will need to perform an Erosion Hazard Zone analysis in accordance with Chapter 25-7 of the Land Development Code and the Drainage Criteria Manual. The area proposed for reduction in width should not be located within the Erosion Hazard Zone."
4. ECM 1.6.3 (Maintenance and Construction Requirements) subsection (A) is modified to add "Within the Colony Park PUD, water quality facilities located in parks and open spaces to be conveyed to the City of Austin will be designed to City's standards as described in this PUD Criteria Manual and maintained by the Land Developer. Ponds that are located within private parcels will be designed to Commercial Development standards as described in this PUD Criteria Manual."
5. ECM 1.6.5 subsection (A) Design Guidelines for Sedimentation/Filtration Systems is modified to add the following allowance "Within the Colony Park PUD, water quality facilities located in parks and open spaces with public access can be designed using partial sedimentation/biofiltration configuration to treat runoff including but not limited to public streets."
6. ECM 1.10.4 (Determining Size of Critical Environmental Feature Protective Buffers) subsection (D) for Wetlands subitem 1 is modified to read "Standard Setback - The standard setback for a wetland CEF is a 50-foot CEF buffer around the outside edge of the wetland area, except for wetland CEF within Creek Buffer which will have standard setback of 150-foot. The protection of the Standard Setback may be appropriate to maintain the source water which supports saturation, or to maintain the surrounding physical or biological characteristics which support the wetland. The Standard Setback should be applied and preserved for wetlands that are fed by sheet flow from multiple directions,

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wetlands with pronounced diversity and vigor, or wetlands located in ecologically significant or sensitive areas.”

7. ECM 1.10.4 (Determining Size of Critical Environmental Feature Protective Buffers) subsection (D) for Wetlands subitem 2 is modified to become subitem 3 and read “Administratively approved modified setback - The standard setback may be modified so that the same square footage as the standard setback is applied to the natural drainage patterns above and below the wetland, or to adjacent surface water resources that would not otherwise be protected. The minimum setback average width should not be less than 50 ft from centerline except for wetlands that are approved for removal. An administratively approved modified setback may be applied based on the source of water supporting the wetland, the biological characteristics of the wetland and the physical characteristics of the area around the wetland.”
8. ECM 1.10.4 (Determining Size of Critical Environmental Feature Protective Buffers) subsection (D) for Wetlands subitem 3 is modified to become subitem 4 to add subitem f & g below:
 - f) Elements that meet Sustainability criteria from LEED Cities & Communities
 - g) Within Loyola Town Center: Design elements with minimal environmental impacts such as green roof, pervious sidewalk, boardwalk and natural wood decking are allowed inside modified CEF buffers without impacting the wetlands themselves as long as impacts are mitigated with 1:1 ratio.
9. ECM 2.4.1 (Street Yard) subsection (A) is modified to remove reference to “Preferred Plant List (see Appendix N)” and replace it with “PUD Plant List in the Design Guidelines”.
10. ECM 2.4.1 (Street Yard) subsection (D) is modified to read “Within the area described as street yard in Section 2.4.0 the Colony Park PUD Design Guidelines shall govern all tree and planting requirements. No City’s review of street yard requirement is required for site permit.”
11. ECM 2.4.2 (Landscape in Parking Lots) subsection (B) subitem (2) is modified to read “Grasses not listed on the PUD Plant List in the Design Guidelines cannot be planted on islands, medians, or peninsulas. At least 80% of the required landscape area must be selected from the PUD Plant List and there is no limit on the percentage of plants that are the same species.”
12. ECM 2.4.2 (Landscape in Parking Lots) subsection (B) subitem (3) is modified to read “To provide significant space for the growth of trees planted within these areas, the minimum width for landscaped Islands, medians or peninsulas which contain new trees is six (6) feet and six (6) inches measured from the inside of the curb. Figure 2-4 in Appendix V shall be modified accordingly.”
13. ECM 2.4.3 (Buffering) is modified to read “Plants and trees used as buffering elements shall be planted in a permeable landscape area at least six (6) feet and six (6) inches wide, measured from inside of curb or pavement to the property

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line. The quantity of elements to be included in the buffer shall follow PUD Plant List in the Design Guidelines. No more than 80% of the trees or shrubs shall be from the same species.”

14. ECM 2.4.4 (Landscape of Other Areas) is modified to remove reference to “Preferred Plant List (see Appendix N)” and replace it with “PUD Plant List in the Design Guidelines”.
15. ECM 3.5.4 (Mitigation) is modified to add “All new trees planted within the PUD boundaries including but not limited to parks and open space with public access as well as public rights-of-way can be used for the purpose of minimum mitigation compliance calculations.”
16. ECM Appendix O (Landscape/Irrigation Notes) subitem (1)(b) is modified to read “spray irrigation systems are allowed for landscape areas greater than six (6) feet wide (such as medians, buffer strips, and parking lot islands)”.

D. TRANSPORTATION CRITERIA MANUAL MODIFICATIONS

1. TCM 2.8.2.2 (Level 1 Streets) is modified to include Neighborhood Streets with ROW 53’ as defined in PUD Exhibit I as Level 1 streets.
2. TCM 2.8.2.3 (Level 2 Streets) is modified to include Collector Streets with ROW 66’ and 70’, Colony Loop Drive (70’ ROW), Wilmington Street (75’ & 90’ ROW) as defined in PUD Exhibit I as Level 2 streets.
3. TCM 10.2.0 (Traffic Impact Analysis Determination) subsection (A) is modified to remove all other sources for unadjusted trip generation data except for the 11th edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual.
4. TCM 10.3.2 (Applicability) is modified so that the approved Traffic Demand Management (TDM) plan for the Colony Park PUD shall be valid until November 30, 2053.
5. TCM 10.4.3 (Generalized Study Contents And Valid Period) is modified so that the approved Traffic Impact Analysis (TIA) for the Colony Park PUD shall be valid until November 30, 2053.

DI. UTILITY CRITERIA MANUAL MODIFICATIONS

1. UCM 1.10.10.4 (Trees in Proximity to Electric Utility Infrastructure) subsection (iv) is modified to read “A tree may not be placed within 3 lateral feet of any underground electric equipment.” and “Any trees planted within 10 lateral feet of underground electric equipment must install root barriers between the tree and the equipment with a minimum installation of 4 feet deep and a minimum one foot between the root barrier and the equipment. See Special Detail 01 in this Exhibit subsection F.”
2. UCM 1.10.10.4 (Trees in Proximity to Electric Utility Infrastructure) subsection (iv) Table is modified to add “All large shade trees are allowed within three (3) lateral feet or more from underground electric duct bank with approved root barrier.”
3. UCM 1.10.10.4 (Trees in Proximity to Electric Utility Infrastructure) subsection (iv) is modified to add “See Street Tree Placement & Allowable Clearance from Underground Electric Special Detail 01 in this Exhibit subsection F”.

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4. UCM 2.9.1 (General Criteria for Water, Reclaimed Water, and Wastewater Systems) subsection (C) is modified to remove the following paragraph *"Where Street Trees are placed within the right-of-way, root barriers shall be placed on all sides of the planting zone where AW mains and/or services are located. Root barriers shall be installed no closer than 7 feet from the tree trunk. Utilities shall be placed no closer than 2 feet from the root barrier. In no circumstances shall utility infrastructure be placed within the planting zone. Where "Street Tree Utility Gaps" are located between planting zones, the gap shall be a minimum of 8 feet wide between root barriers. Additional width will be required to allow for multiple utilities to be placed within the "utility gap"."* and replaced with *"AW mains and/or services shall be located no less than 5 feet from the center of Street Trees. AW mains and/or services located closer than 8 feet from a Street Tree (measured center line to center line) shall have a root barrier installed between the Street Tree and AW main and/or service. Root barriers shall be placed at least 2 feet from the center of the main and/or service and run at least the full root zone."*
5. UCM 2.9.2 (Water Systems) subsection (E) for Services, subitem (8) is modified to read *"Individual water meter services shall not cross a highway or exceed a length of 80 feet or 100-gallon distance whichever is shorter from the water main to the water meter."*
6. UCM 2.9.4 (Wastewater Systems) subsection (G) for Service Lines, subitem (6) is modified to read *"Wastewater clean-outs are not allowed in sidewalks, paved areas, load bearing pavement, or driveways except for residential driveway aprons from Alley with traffic rated lids."*

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F. SPECIAL DETAILS

Special Detail 01 - Street Tree Installation within Public R.O.W.

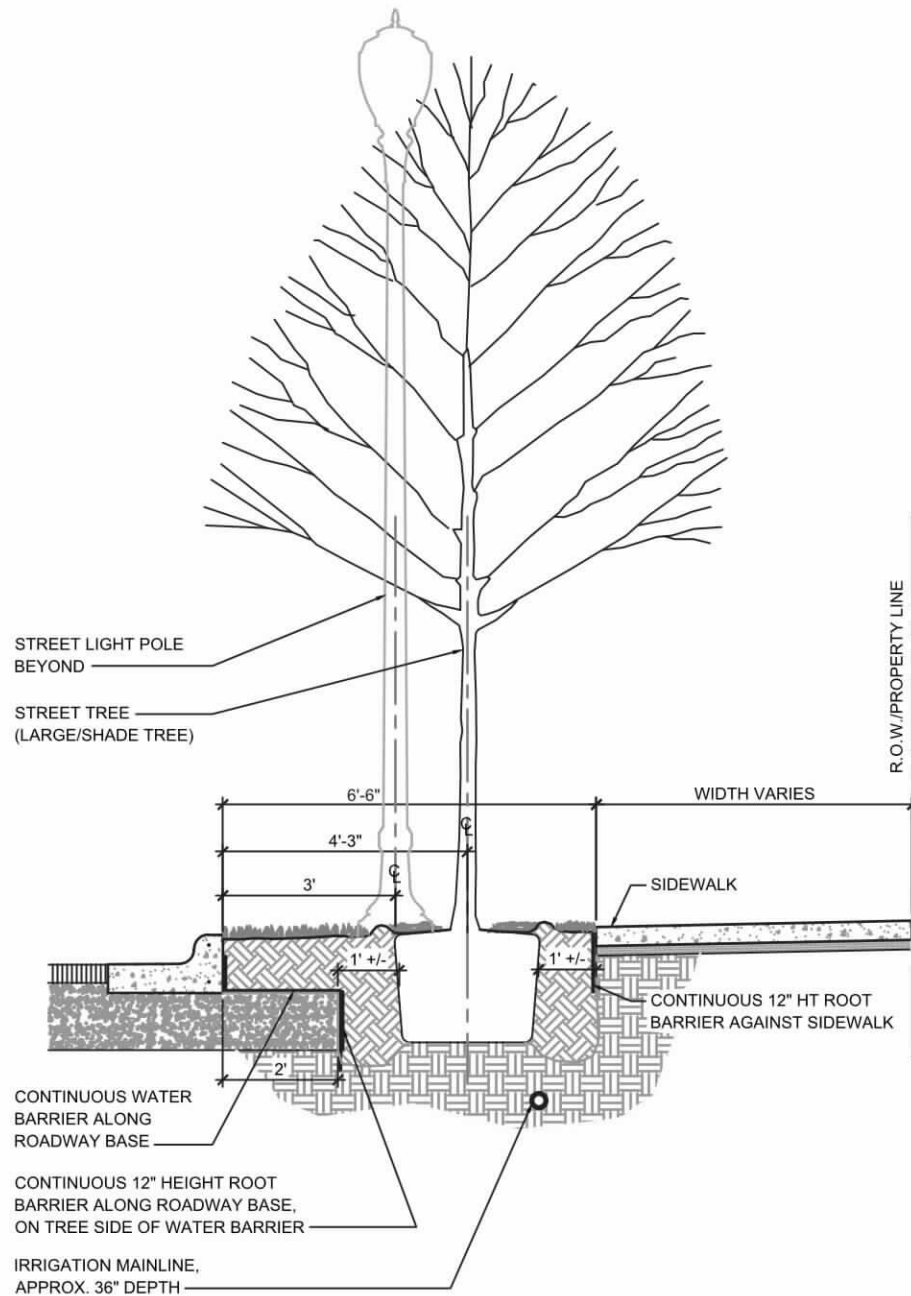
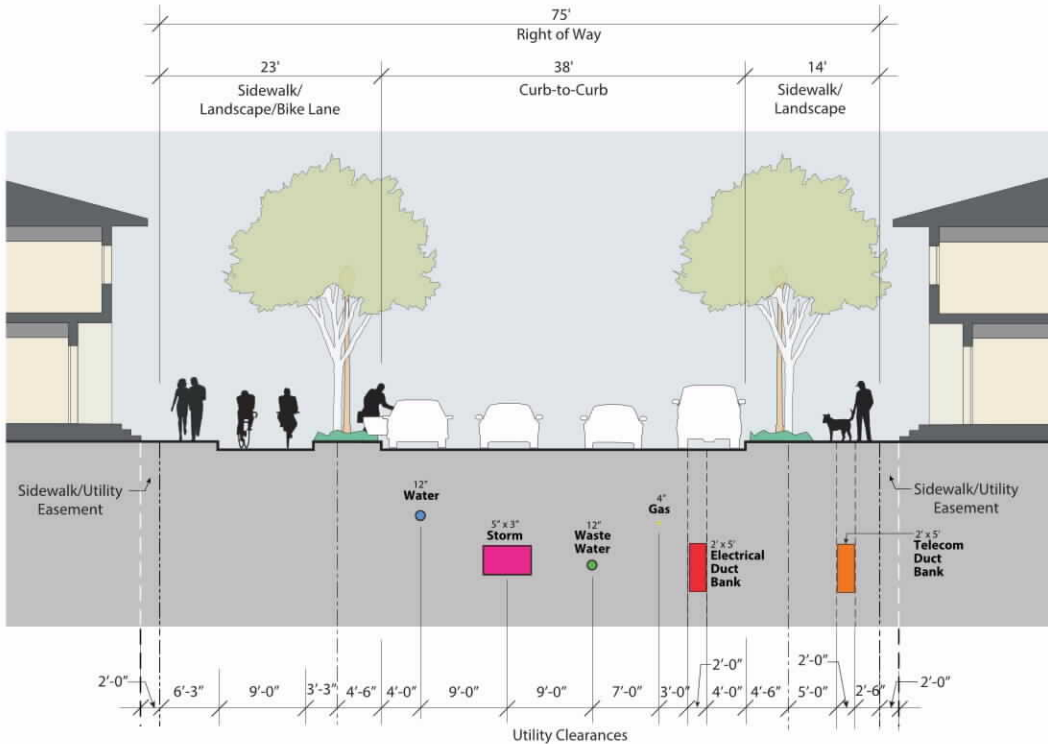


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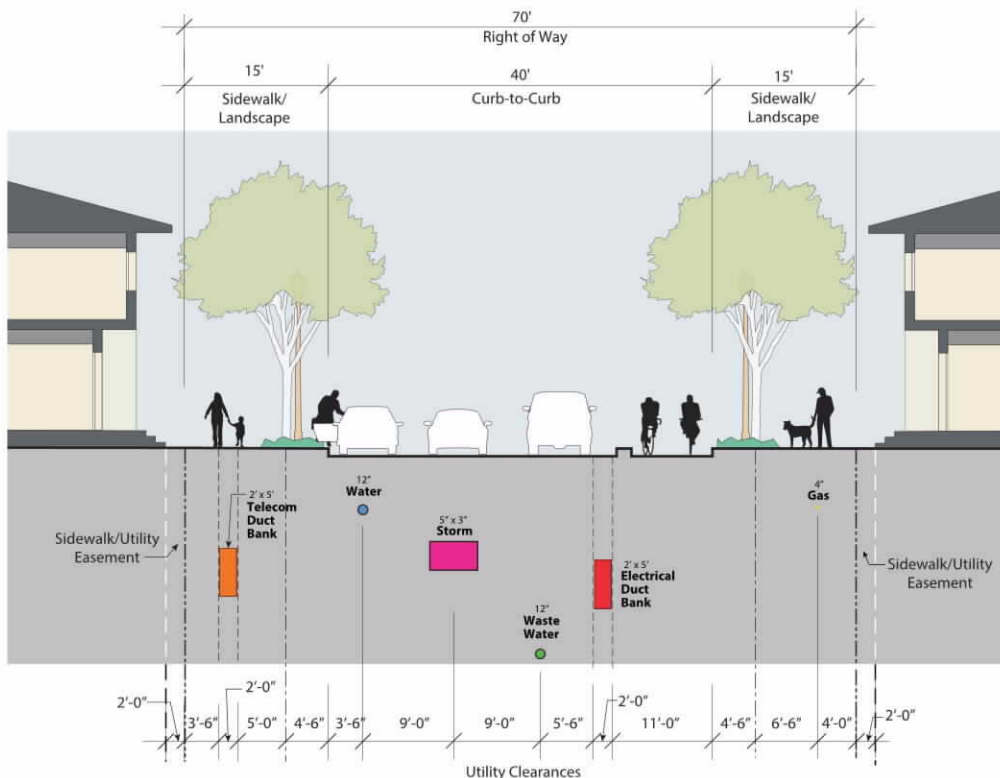
Wilmington Street - Utility Section



Notes:

- 1 Utilities to be placed generally in the locations as shown in this exhibit to ensure street trees can be installed as required by the Colony Park Development Plan.
- 2 Utility installation shall comply with the City of Austin Utilities Criteria Manuals as modified by Colony Park PUD Exhibit K.
- 3 Austin Energy electrical duct bank shall be placed under pavement, and not behind curb.
- 4 Texas Gas line can be placed under pavement with minimum 2' clear from electrical duct bank & 5' clear from water & wastewater utilities.
- 5 Wastewater mains and services are allowed to cross below electrical duct bank and will cross above electrical duct bank when possible. All other utilities are allowed to cross above electrical duct bank.

Colony Loop Drive - Utility Section



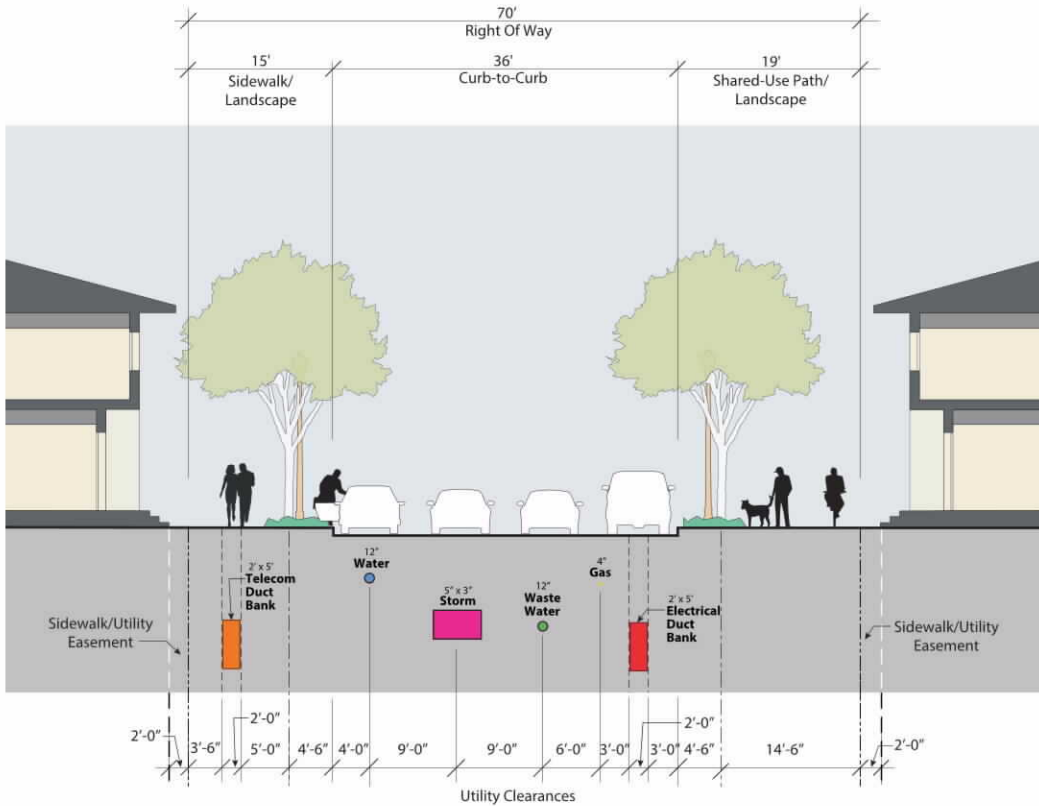
Notes:

- 1 Utilities to be placed generally in the locations as shown in this exhibit to ensure street trees can be installed as required by the Colony Park Development Plan.
- 2 Utility installation shall comply with the City of Austin Utilities Criteria Manuals as modified by Colony Park PUD Exhibit K.
- 3 Austin Energy electrical duct bank shall be placed under pavement, and not behind curb.
- 4 Texas Gas line can be placed under pavement with minimum 2' clear from electrical duct bank & 5' clear from water & wastewater utilities.
- 5 Wastewater mains and services are allowed to cross below electrical duct bank and will cross above electrical duct bank when possible. All other utilities are allowed to cross above electrical duct bank.

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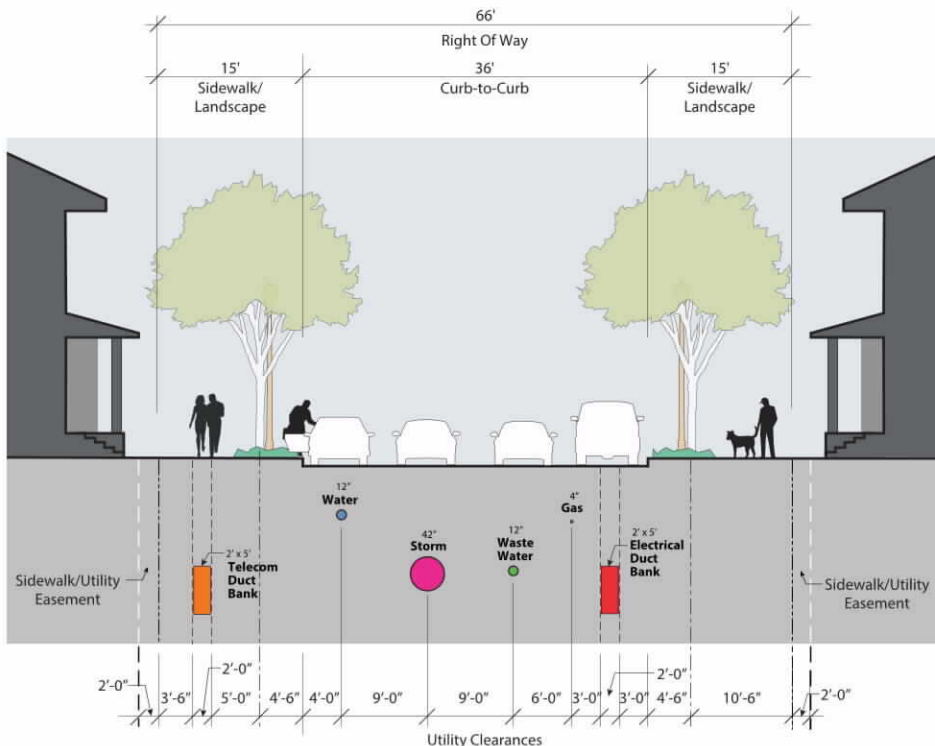
Connector Street with Shared-Use Path - Utility Section



Notes:

- 1 Utilities to be placed generally in the locations as shown in this exhibit to ensure street trees can be installed as required by the Colony Park Development Plan.
- 2 Utility installation shall comply with the City of Austin Utilities Criteria Manuals as modified by Colony Park PUD Exhibit K.
- 3 Austin Energy electrical duct bank shall be placed under pavement, and not behind curb.
- 4 Texas Gas line can be placed under pavement with minimum 2' clear from electrical duct bank & 5' clear from water & wastewater utilities.
- 5 Wastewater mains and services are allowed to cross below electrical duct bank and will cross above electrical duct bank when possible. All other utilities are allowed to cross above electrical duct bank.

Connector Street - Utility Section



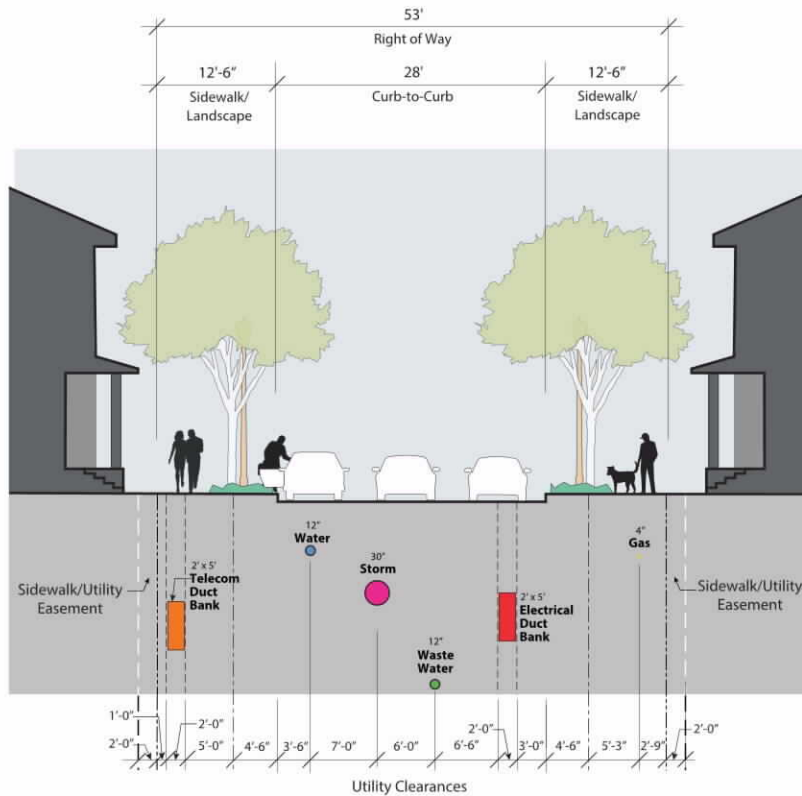
Notes:

- 1 Utilities to be placed generally in the locations as shown in this exhibit to ensure street trees can be installed as required by the Colony Park Development Plan.
- 2 Utility installation shall comply with the City of Austin Utilities Criteria Manuals as modified by Colony Park PUD Exhibit K.
- 3 Austin Energy electrical duct bank shall be placed under pavement, and not behind curb.
- 4 Texas Gas line can be placed under pavement with minimum 2' clear from electrical duct bank & 5' clear from water & wastewater utilities.
- 5 Wastewater mains and services are allowed to cross below electrical duct bank and will cross above electrical duct bank when possible. All other utilities are allowed to cross above electrical duct bank.

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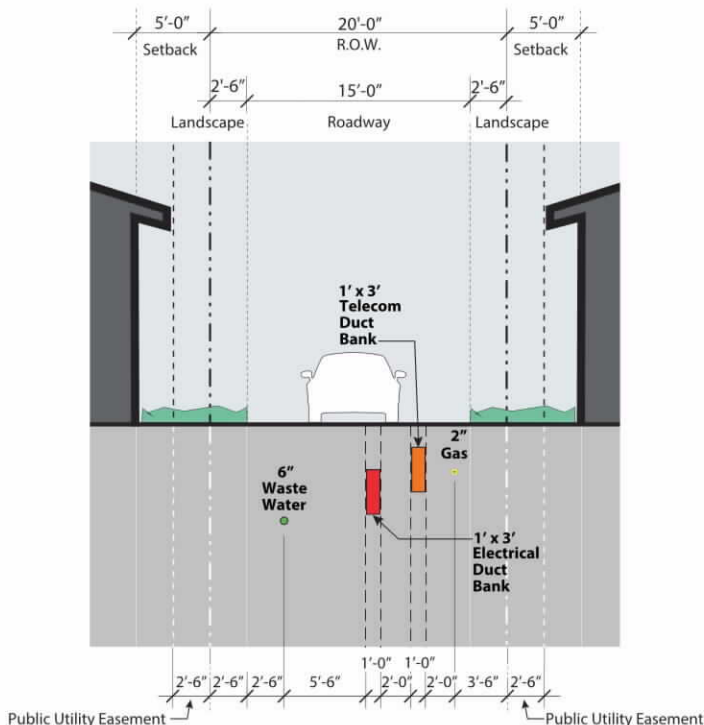
Neighborhood Street - Utility Section



Notes:

- 1 Utilities to be placed generally in the locations as shown in this exhibit to ensure street trees can be installed as required by the Colony Park Development Plan.
- 2 Utility installation shall comply with the City of Austin Utilities Criteria Manuals as modified by Colony Park PUD Exhibit K.
- 3 Austin Energy electrical duct bank shall be placed under pavement, and not behind curb.
- 4 Texas Gas line can be placed under pavement with minimum 2' clear from electrical duct bank & 5' clear from water & wastewater utilities.
- 5 Wastewater mains and services are allowed to cross below electrical duct bank and will cross above electrical duct bank when possible. All other utilities are allowed to cross above electrical duct bank.

Residential Alley - Utility Section



Notes:

- 1 Utilities to be placed generally in the locations as shown in this exhibit to ensure street trees can be installed as required by the Colony Park Development Plan.
- 2 Utility installation shall comply with the City of Austin Utilities Criteria Manuals as modified by Colony Park PUD Exhibit K.
- 3 Austin Energy electrical duct bank shall be placed under pavement, and not behind curb.
- 4 Texas Gas line can be placed under pavement with minimum 2' clear from electrical duct bank & 5' clear from water & wastewater utilities.
- 5 Wastewater mains and services are allowed to cross below electrical duct bank and will cross above electrical duct bank when possible. All other utilities are allowed to cross above electrical duct bank.

EXHIBIT L

COLONY PARK P.U.D. SIGNAGE DISTRICTS

