

	<b>Proposed Work</b>	<b>Location of Proposed Work</b>	<b>Proposed Materials</b>
1	Repair/restore/replace existing awning structure as needed, including columns, per structural engineer to provide a safe, stable structure. Maintain appearance of current structure insofar as structurally feasible.	West elevation and west end of north elevation (San Bernard and E 13th Street)	Painted wood
2	Repair and paint existing wood siding.	All elevations of Giese-Stark store portion of structure	Maintain existing wood siding. Any siding removed from new openings to patch abandoned openings.
3	Infill existing window openings, pairs of period-appropriate double-hung windows, to include wire glass/antique wire glass; sizes to remain.	West elevation (San Bernard)	Clad wood windows, wire-glass glazing.
4	Infill existing door opening with new period-appropriate panel doors. Transoms as well as opening size to remain.	West elevation (San Bernard)	Painted wood double doors. Maintain existing transom.
5	Infill two existing door openings with new period-appropriate panel doors, to include antique wire. Transoms as well as opening sizes to remain.	North elevation (E 13th Street)	Painted fixed wood doors, glazed upper panels. Maintain existing transoms.
6	Remove two individual circa-2011 double-hung windows with a ganged pair of period-appropriate double-hung windows.	North elevation, east end (E 13th Street)	Clad wood windows. Any siding removed from new openings to be used to patch c.2011 openings.
7	Add new covered concrete porch.	East elevation (facing back yard)	Concrete porch, steel columns, hipped metal roof with similar pitch as historic west awning.
8	Replace/reconfigure circa-2011 window and door rough opening with new glazed double doors, transom above, flanked with period-appropriate double-hung windows.	East elevation (facing back yard)	Painted wood panel doors, glazed upper panels. Clad wood windows. Any siding removed from new openings to be used to patch c.2011 openings.
9	Replace/relocate circa-2011 window with new period-appropriate double-hung window.	South elevation (facing back yard)	Clad wood window. Any siding removed from new opening to be used to patch c.2011 opening.
10	New period-appropriate double-hung window.	South elevation (facing cottage front yard)	Clad wood window. Any siding removed from new opening to be used to patch c.2011 opening(s).
11	Extend existing north parapet cap around entire parapet perimeter per c.2000 photo	All four elevations of parapet wall	Metal roofing, painted wood trim.
12	Stucco replacing existing wood siding of circa-2011 upper floor addition.	Recessed existing c.2011 upper addition.	3-coat stucco system.
13	Add lightweight awning.	Recessed existing c.2011 upper addition, west elevation (San Bernard)	Lightweight metal frame and roofing.
14	Two new skylights (not visible from street).	Existing flat roof above store/ adjacent to circa-2011 upper addition.	Curbed fixed glass skylights.





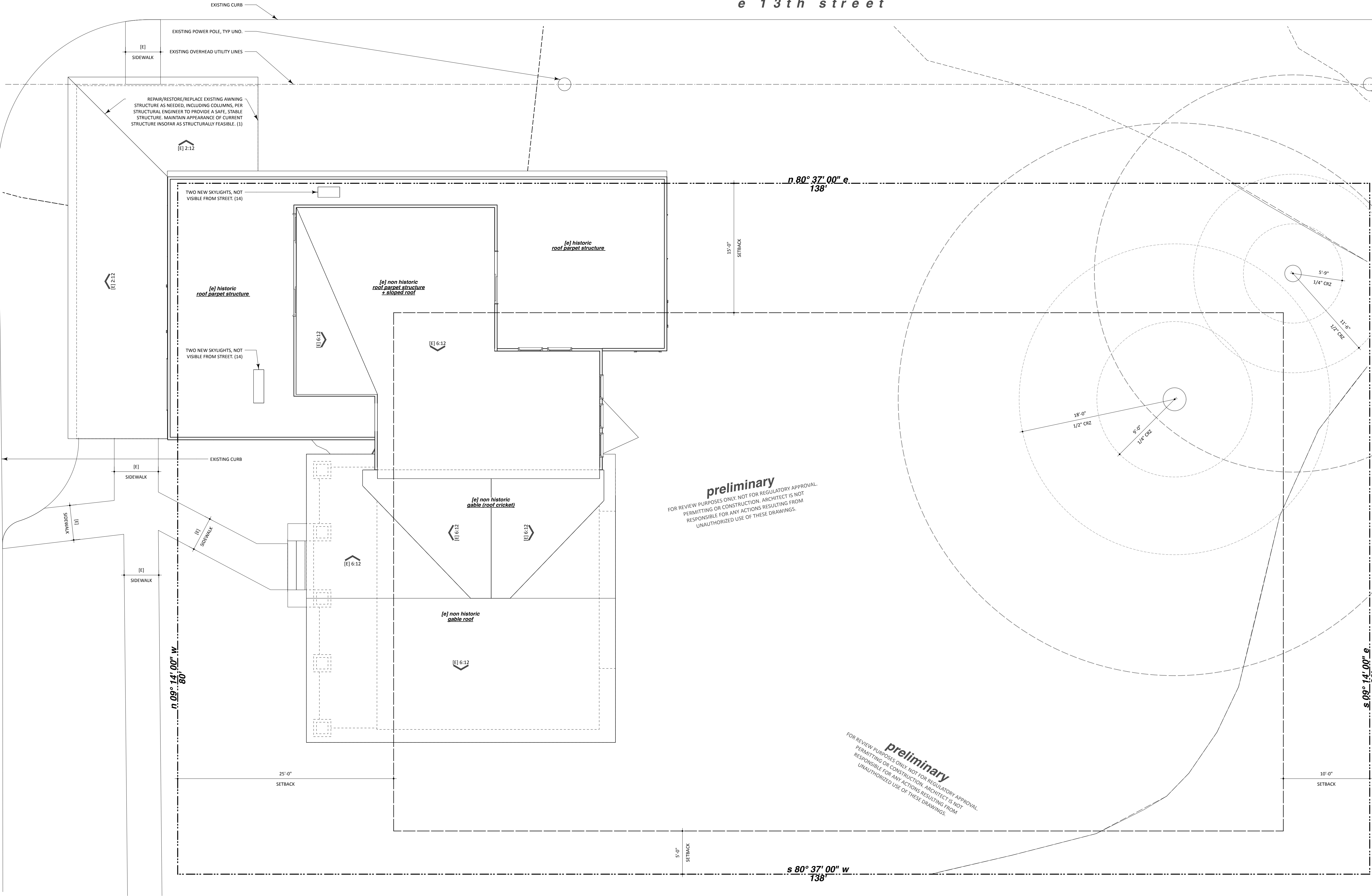






san bernard street

e 13th street



1

existing roof plan + site plan

Scale: 3/16" = 1'-0"  
(half scale on 11x17)



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existing roof plan  
+ site plan

DATE: 0 JAN 2024  
REVISIONS:

DRAWN BY:

CJB

giese-stark store  
1211 san bernard street / atx

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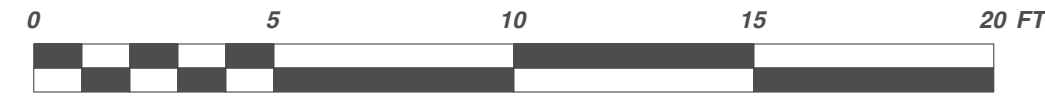
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**proposed ground floor plan**  
Scale: 1/4" = 1'-0"  
(half scale on 11x17)

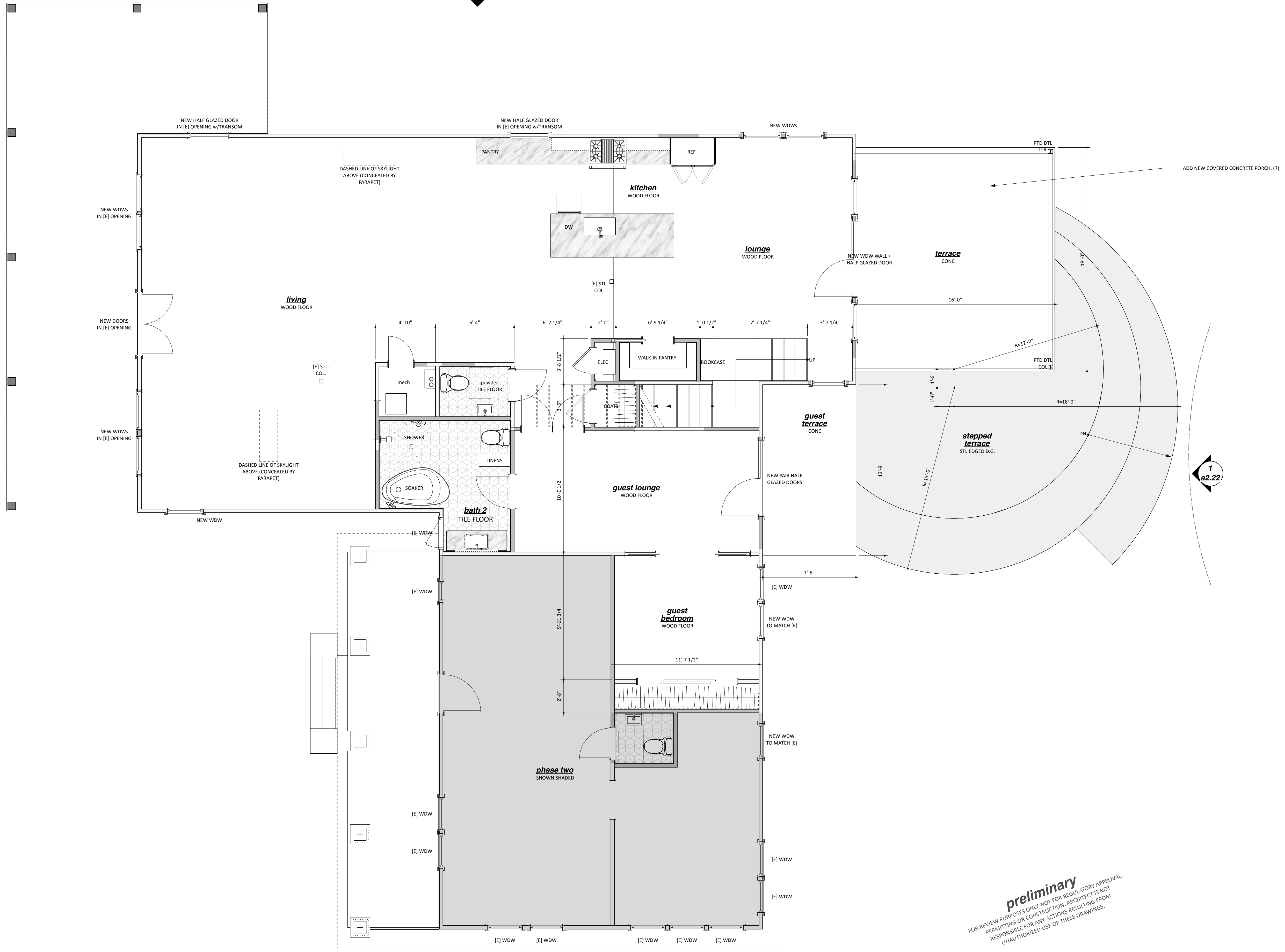


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**giese-stark store**  
1211 san bernard street / atx

DATE: 0 JAN 2024  
REVISIONS:

**proposed ground floor plan**  
DRAWN BY: FL

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1

proposed upper floor plan

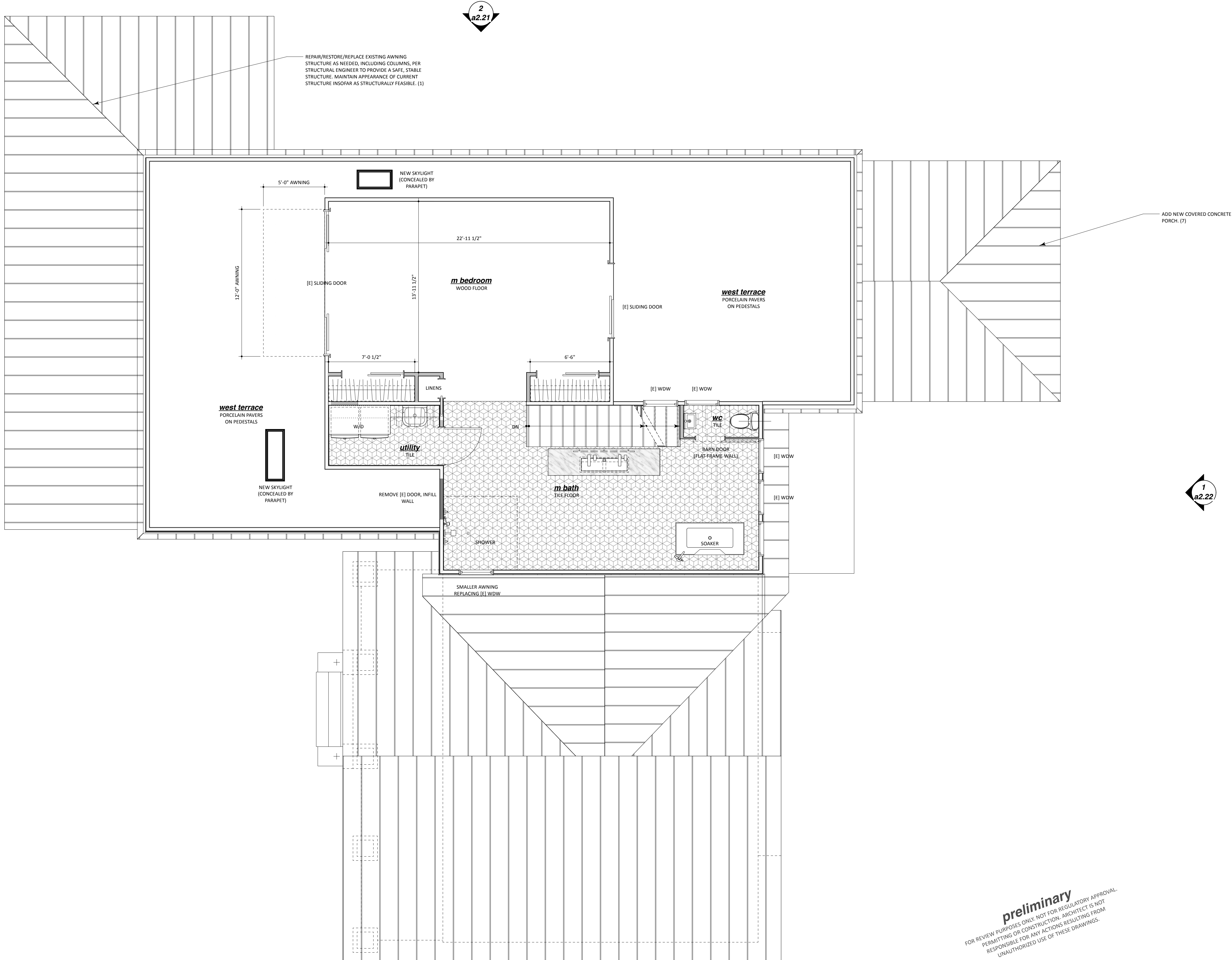
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proposed upper  
floor plan

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FL

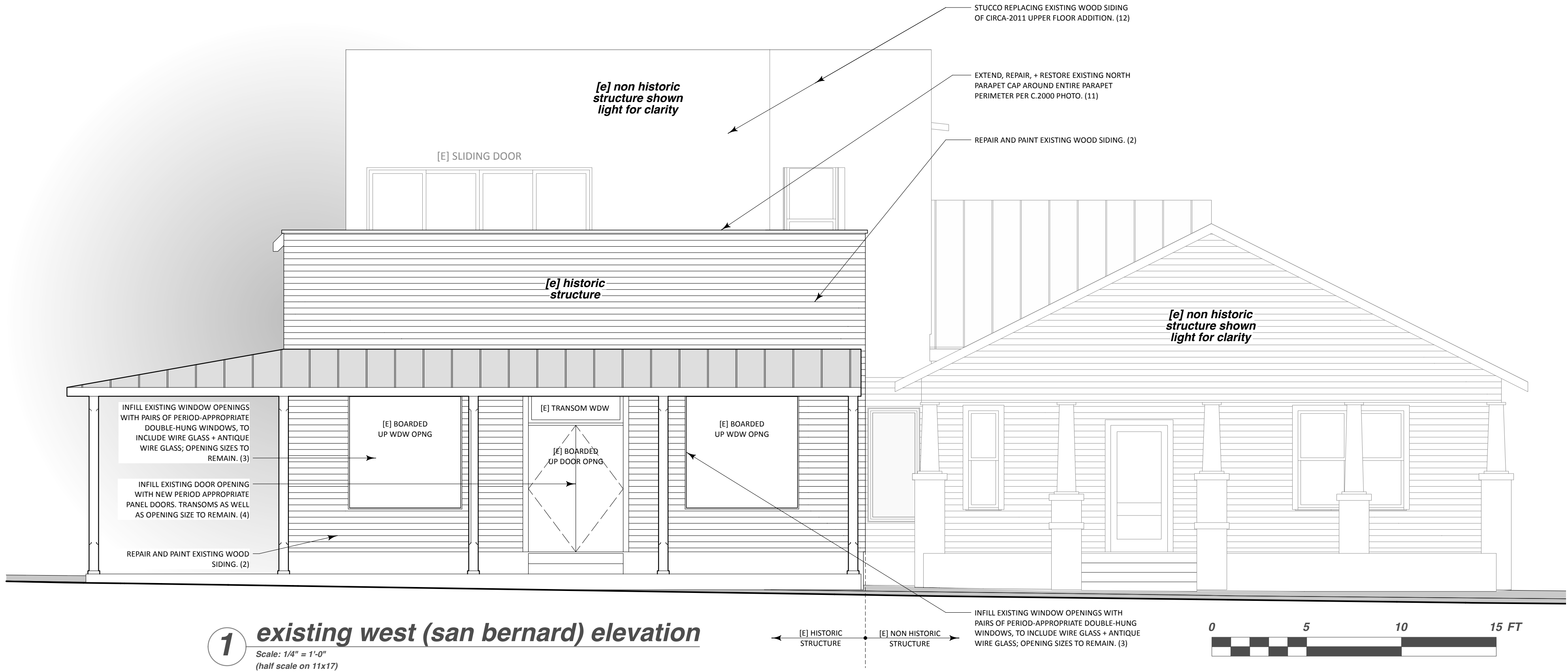
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1211 san bernard street / atx

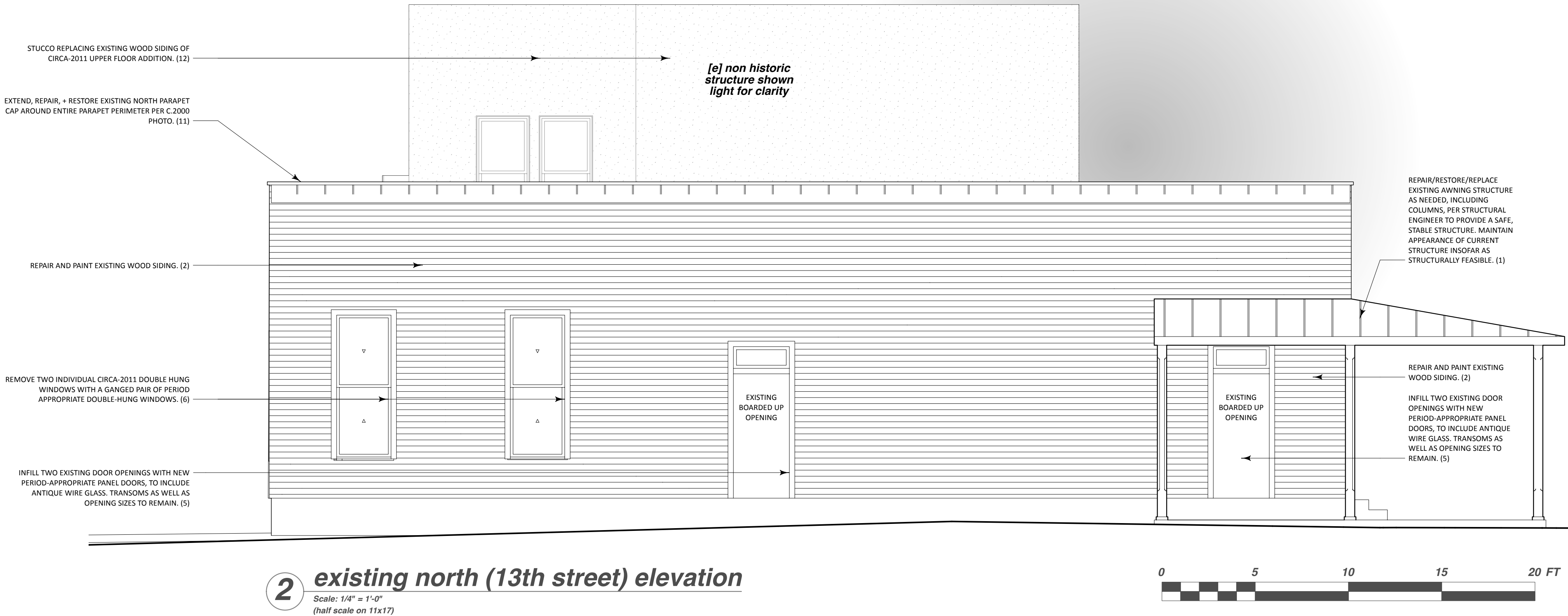
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**1 existing west (san bernard) elevation**  
Scale: 1/4" = 1'-0"  
(half scale on 11x17)

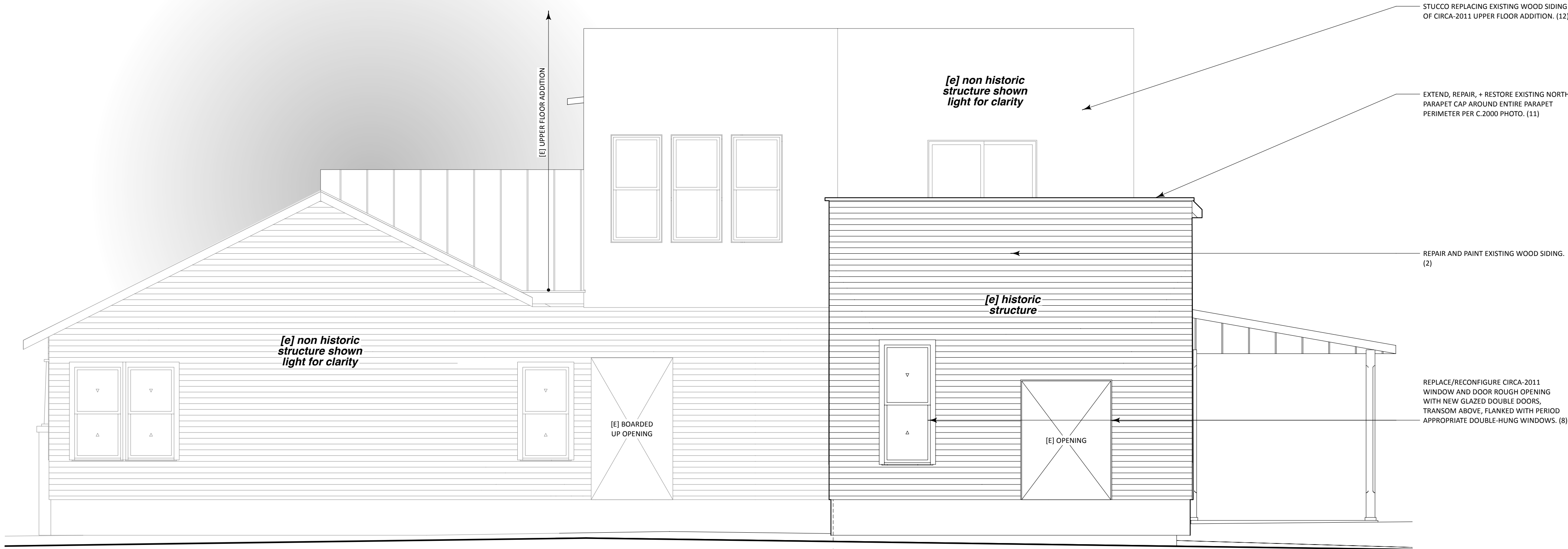


**2 existing north (13th street) elevation**  
Scale: 1/4" = 1'-0"  
(half scale on 11x17)

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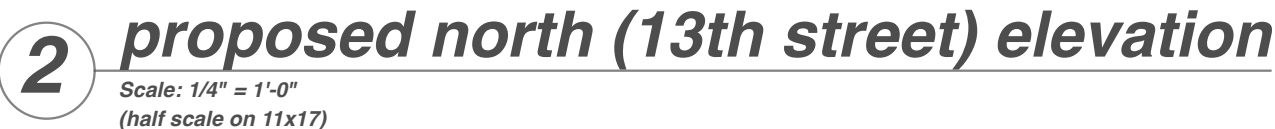
**1 existing east (rear) elevation**  
Scale: 1/4" = 1'-0"  
(half scale on 11x17)



**2 existing south elevation**  
Scale: 1/4" = 1'-0"  
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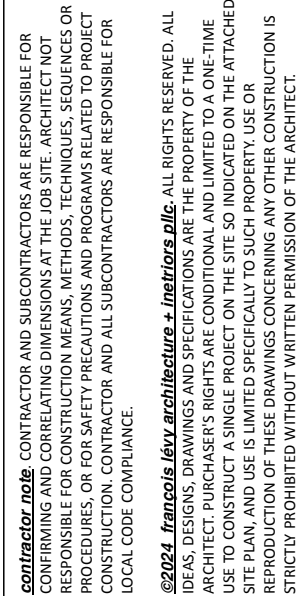


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**2** *proposed south elevation*  
Scale: 1/4" = 1'-0"  
(half scale on 11x17)