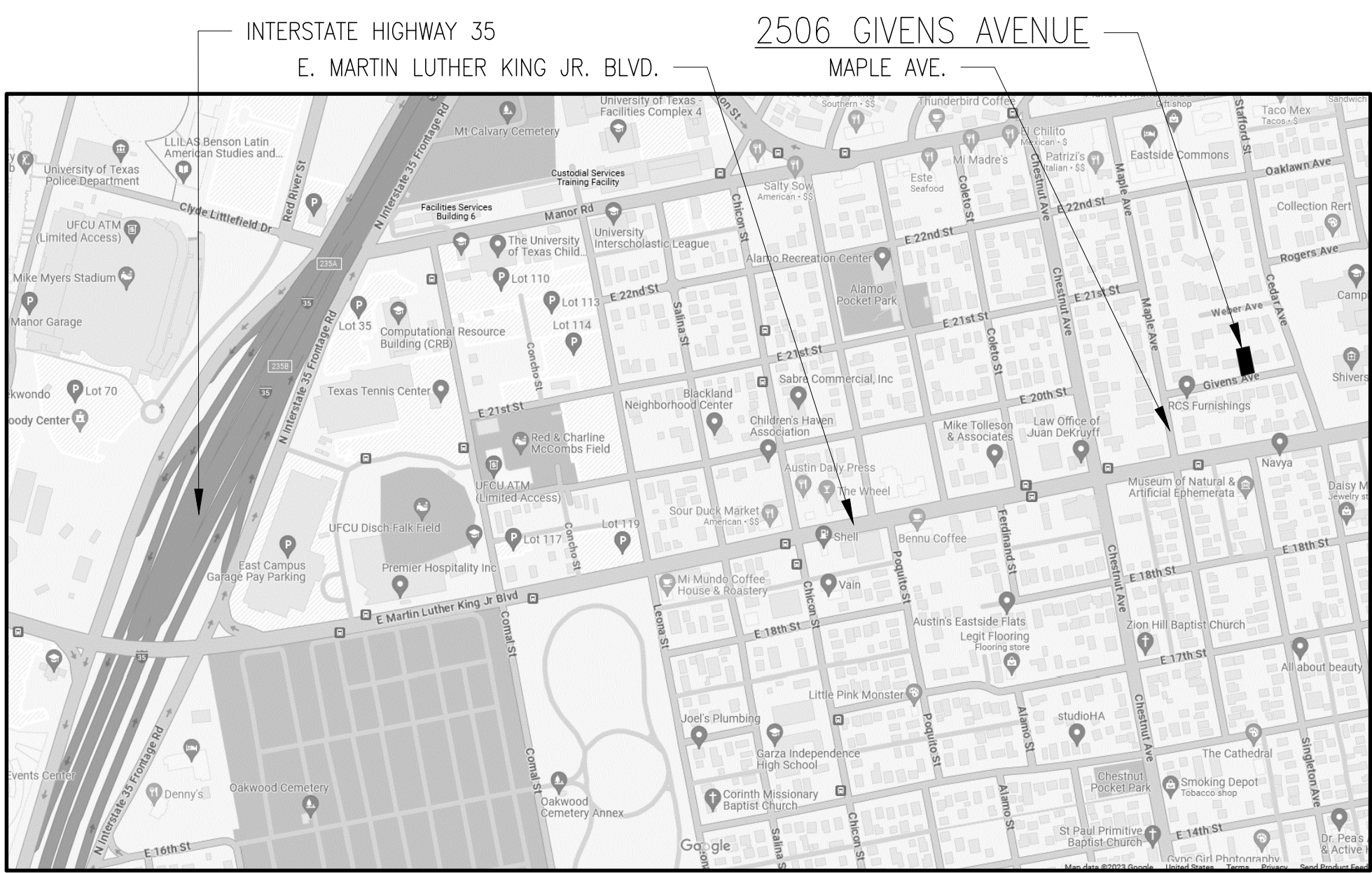


Residence Addition-Remodel

2506 Givens Avenue
Austin, Texas 78722



LOCATION MAP

APPLICABLE NOTES PER IRC-2021:

THESE NOTES ARE INTENDED TO SUMMARIZE RELEVANT CODE SECTIONS SPECIFIC TO THIS PROJECT.
RE: IRC-2021 FOR ADDITIONAL INFORMATION WHICH MAY OR MAY NOT BE INCLUDED HEREIN.
R302.5: DWELLING-GARAGE OPENING & PENETRATION PROTECTION:
NOTE: THIS PROJECT FEATURES HABITABLE SPACE ADJACENT TO A PRIVATE GARAGE.
R302.5.1 OPENING PROTECTION:
* NO OPENINGS BETWEEN GARAGE AND A ROOM USED FOR SLEEPING PURPOSES IS PROPOSED OR ALLOWED.
* DOORS BETWEEN THE GARAGE & THE RESIDENCE SHALL BE SOLID WOOD DOOR 1.375-IN. MIN. THICK, SOLID OR HONEYCOMB-CORE STEEL DOORS 1.375-INCH MINIMUM THICK, OR 20-MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE.
R302.5.2 DUCT PENETRATION:
* NO DUCTS TO PENETRATE THE WALLS OR CEILING OF THE GARAGE PROPOSED OR ALLOWED.
R302.6: DWELLING-GARAGE SEPARATION:
NOTE: THIS PROJECT FEATURES HABITABLE SPACE ADJACENT TO A PRIVATE GARAGE.
* GARAGE CEILING SHALL BE 0.625-INCH THICK TYPE-X GYPSUM BOARD OR EQUIVALENT.
* GARAGE INTERIOR WALLS SHALL BE 0.5-INCH THICK GYPSUM BOARD (GARAGE SIDE).
R303.3: MECHANICAL EXHAUST AT 50 CFM MINIMUM AT ALL TOILET LOCATIONS, RATED FOR APPLICATION. PROVIDE LOCAL EXHAUST SYSTEM FOR BATHROOM WITH NO WINDOWS OR FIXED WINDOWS.
R303.6 AND SECTION G2407: PROVIDE COMBUSTION AIR VENTILATION FOR HVAC.
R308.4 HAZARDOUS GLAZING LOCATIONS:
THE GENERAL CONTRACTOR AND WINDOW & DOOR VENDOR(S) SHALL ENSURE THAT THIS PROJECT IS CODE COMPLIANT IN TERMS OF PROVIDING TEMPERED SAFETY GLAZING AT THE FOLLOWING LOCATIONS:
R308.4.1 GLAZING IN DOORS:
R308.4.2 GLAZING ADJACENT TO DOORS:
* IF BOTTOM EXPOSED EDGE IS < 60-INCHES AFF AND:
** WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR OR
** ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24-IN. OF THE HINGE SIDE OF IN-SWINGING DOOR (SOME EXCEPTIONS MAY APPLY).
R308.4.3 GLAZING IN WINDOWS:
* GLAZING THAT MEETS ALLOF THE FOLLOWING CONDITIONS:
** THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SF
** THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES AFF
** THE TOP EDGE OF THE GLAZING IS MORE THAN 36-INCHES AFF, AND
** ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES MEASURED HORIZONTALLY FROM THE GLAZING
** (SOME EXCEPTIONS MAY APPLY; SEE IRC 2015 FOR ADDITIONAL INFORMATION IF NECESSARY)
R308.4.4 GLAZING IN GUARDS AND RAILINGS.
R308.4.5 GLAZING AND WET SURFACES (AS APPLICABLE TO THIS PROJECT):
* GLAZING IN WALLS CONTAINING OR FACING BATHTUBS & SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60-INCHES VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE
R308.4.6 GLAZING ADJACENT TO STAIRS AND RAMPS:
* GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36-INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS, EXCEPT:
** WHERE A RAIL IS INSTALLED ON THE ACCESSIBLE SIDE OF THE GLAZING 34 TO 38-INCHES ABOVE THE WALKING SURFACE, & THE RAIL CAN WITHSTAND A HORIZONTAL LOAD OF 50 LBS./LF, & HAS A CROSS-SECTIONAL HEIGHT OF 1.5-INCHES MINIMUM
** GLAZING IS 36-INCHES OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE
R308.4.7 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING:
* GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36-INCHES ABOVE THE LANDING AND WITHIN A 60-INCH HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING.
R314 AND R315 SMOKE & CARBON MONOXIDE ALARMS:
* SMOKE & CARBON MONOXIDE ALARMS THROUGHOUT THIS DWELLING SHALL BE PER IRC-2021.
* PROVIDE SMOKE ALARMS: HARD WIRED, INTERCONNECTED, WITH BATTERY BACKUP, AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS, AND LOCATED AT NOT LESS THAN 3-FT. FROM A DOOR TO A BATHROOM WITH TUB OR SHOWER EXCEPT WHEN THIS REQUIREMENT WILL PREVENT THE INSTALLATION OF A SMOKE ALARM IN A REQUIRED LOCATION, AND IF APPLICABLE, ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS.
* PROVIDE CARBON MONOXIDE ALARMS - HARD WIRED WITH BATTERY BACKUP, INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE.
SECTION M1502: PROVIDE OR UPGRADE CLOTHES DRYER EXHAUST SYSTEM AT LAUNDRY ENCLOSURE.

CODE COMPLIANCE SUMMARY:

THIS PROJECT IS AN ADDITION-REMODEL TO AN EXISTING RESIDENCE STRUCTURE:
* ADDITION CONSISTS OF:
** ADDING 226 SQUARE FOOT WOOD DECK AT REAR.
* REMODEL CONSISTS OF:
** RAISE FLOOR AT FRONT PORCH AND CARPORT TO MATCH HOUSE LEVEL.
** RAISE FLOOR AND ROOF OF FAMILY ROOM TO MATCH HOUSE LEVEL.
** CONVERT CARPORT AREA INTO LIVING/DINING ROOMS.
** MOVING FRONT PORCH TO EXISTING DINING ROOM SPACE.
** CONVERT EXISTING DINING AND FRONT PORCH SPACE TO NEW OFFICE.
** CONVERT FAMILY ROOM INTO BEDROOM, CLOSET AND NEW BATHROOM.
** ENLARGING KITCHEN INTO EXISTING LIVING ROOM SPACE.
** REMOVING ATTIC ABOVE KITCHEN/LIVING/DINING ROOM TO VAULT CEILINGS.
** ENLARGING EXISTING MASTER BATHROOM INTO EXISTING CLOSET SPACE.
** CONVERTING EXISTING UTILITY ROOM INTO RELOCATED LAUNDRY ROOM.

NO UTILITY WORK PROPOSED THIS PROJECT.

THIS PROJECT IS NOT WITHIN THE BOUNDS FOR SUBCHAPTER F.

THIS PROJECT IS DESIGNED TO COMPLY WITH THE IRC-2021 EDITION AS WELL AS CITY OF AUSTIN CODE AMENDMENTS.

THIS PROJECT IS AN ADDITION-REMODEL:
CITY OF AUSTIN VISIBILITY ORDINANCE NOT APPLICABLE.

FRAMING-BLOCKING REQUIREMENTS:

- ALL SHEATHING EDGES SHALL BE FULLY-BLOCKED.
- ALL FRAMING SHALL BE FULLY FIRE-BLOCKED AS REQUIRED TO MEET OR EXCEED CODE REQUIREMENTS.
- ALL WALL FRAMING SHALL HAVE 2x4 MIN. DEAD-WOOD FOR G.W.B. INSTALLATION.
- ALL PLAN LOCATIONS INDICATING BASE AND WALL CABINETS SHALL BE BLOCKED FOR CASEWORK INSTALLATION.
- ALL VERTICAL AND HORIZONTAL JOINTS BETWEEN TILE AND G.W.B. FINISH SHALL BE BLOCKED.
- ALL BATHROOMS SHALL BE 2x4 BLOCKED AS REQUIRED FOR ALL MISCELLANEOUS ACCESSORIES.
- ALL CLOSETS SHALL BE BLOCKED AS REQUIRED FOR INSTALLATION OF CLOSET SYSTEM.
- PROVIDE PRESSURE TREATED SILL PLATES AT NEW WALLS IN CONTACT WITH CONCRETE.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

DRAWING INDEX:

- | | |
|------|------------------------------|
| A0.1 | Cover Sheet |
| A1.1 | Site Plan |
| A1.2 | Demolition Plan |
| A1.3 | Proposed Raised Floor Plan |
| A1.4 | Proposed Floor Plan |
| A1.5 | Proposed Electrical Plan |
| A2.1 | Proposed Exterior Elevations |
| A2.2 | Existing Exterior Elevations |

General Notes

No.	Revision/Issue	Date

Owner Name and Address

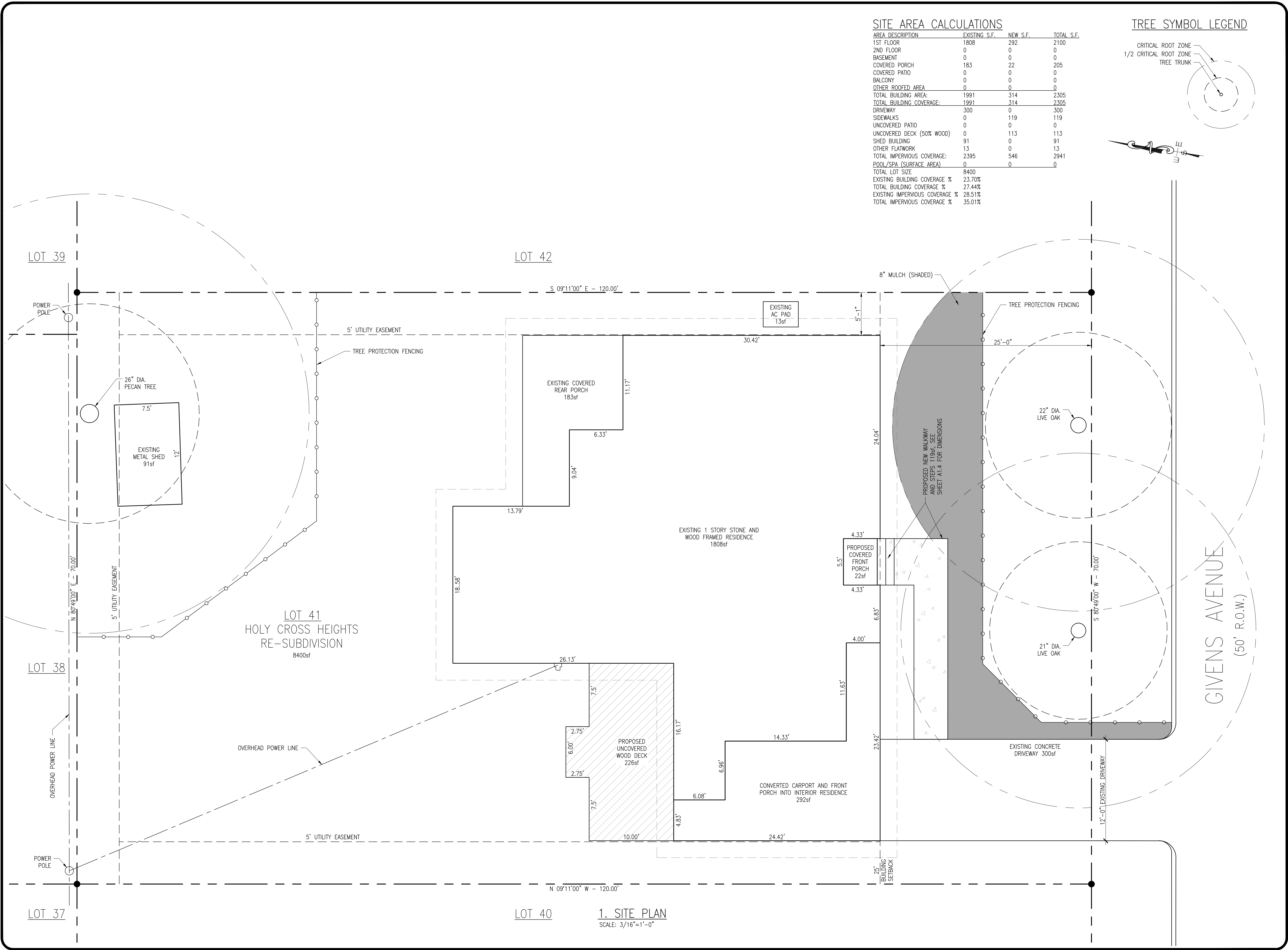
Design Firm
CBA Design And Build Inc.
410 Bowcross Point
Lakeway, TX 78738

Project Name and Address
Residence Addition-Remodel
2506 Givens Avenue
Austin, TX 78722

Engineer Seal

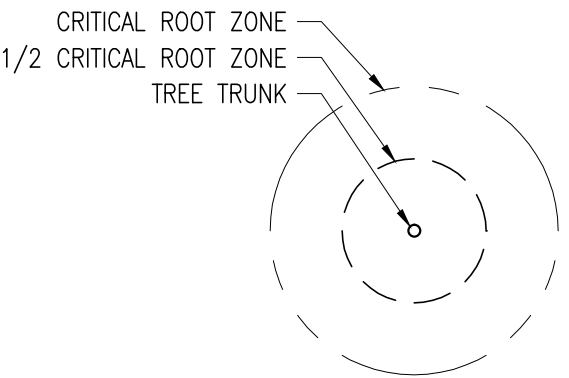
Drawing Name
Cover Sheet

Project No.	Sheet No.
Date 10/09/2023	A0.1
Scale N.T.S.	



SITE AREA CALCULATIONS			
AREA DESCRIPTION	EXISTING S.F.	NEW S.F.	TOTAL S.F.
1ST FLOOR	1808	292	2100
2ND FLOOR	0	0	0
BASEMENT	0	0	0
COVERED PORCH	183	22	205
COVERED PATIO	0	0	0
BALCONY	0	0	0
OTHER ROOFED AREA	0	0	0
TOTAL BUILDING AREA:	1991	314	2305
TOTAL BUILDING COVERAGE:	1991	314	2305
DRIVEWAY	300	0	300
SIDEWALKS	0	119	119
UNCOVERED PATIO	0	0	0
UNCOVERED DECK (50% WOOD)	0	113	113
SHED BUILDING	91	0	91
OTHER FLATWORK	13	0	13
TOTAL IMPERVIOUS COVERAGE:	2395	546	2941
POOL/SPA (SURFACE AREA)	0	0	0
TOTAL LOT SIZE	8400		
EXISTING BUILDING COVERAGE %	23.70%		
TOTAL BUILDING COVERAGE %	27.44%		
EXISTING IMPERVIOUS COVERAGE %	28.51%		
TOTAL IMPERVIOUS COVERAGE %	35.01%		

TREE SYMBOL LEGEND



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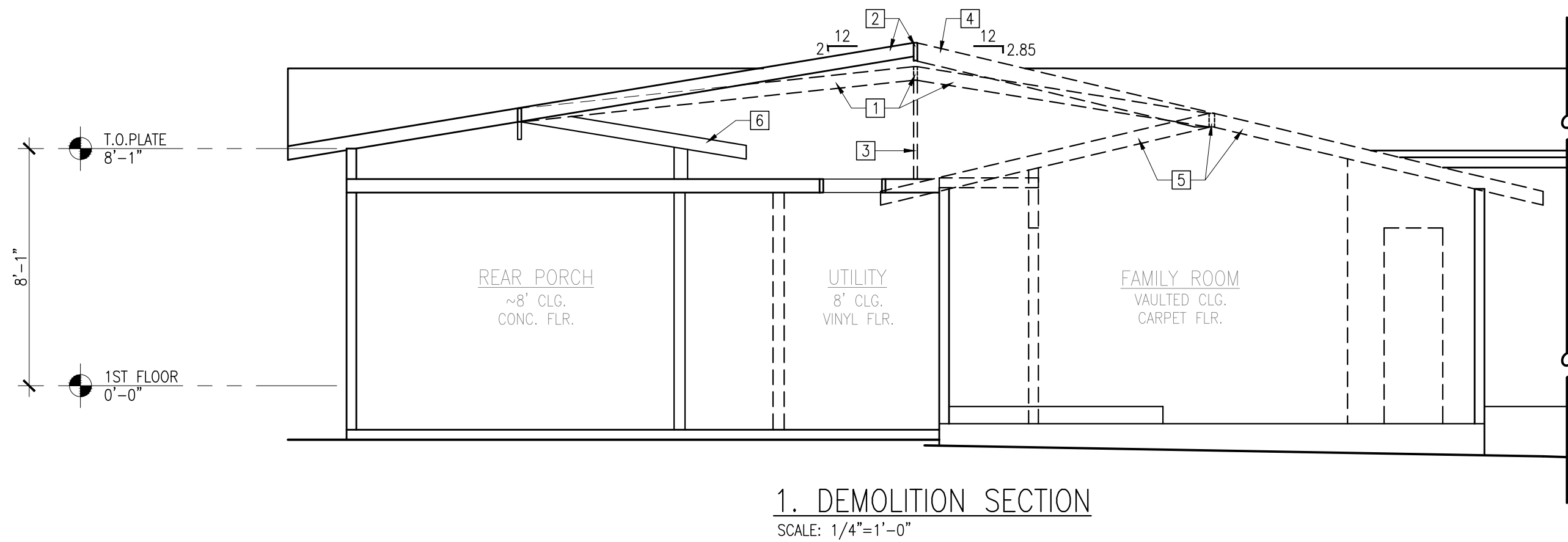
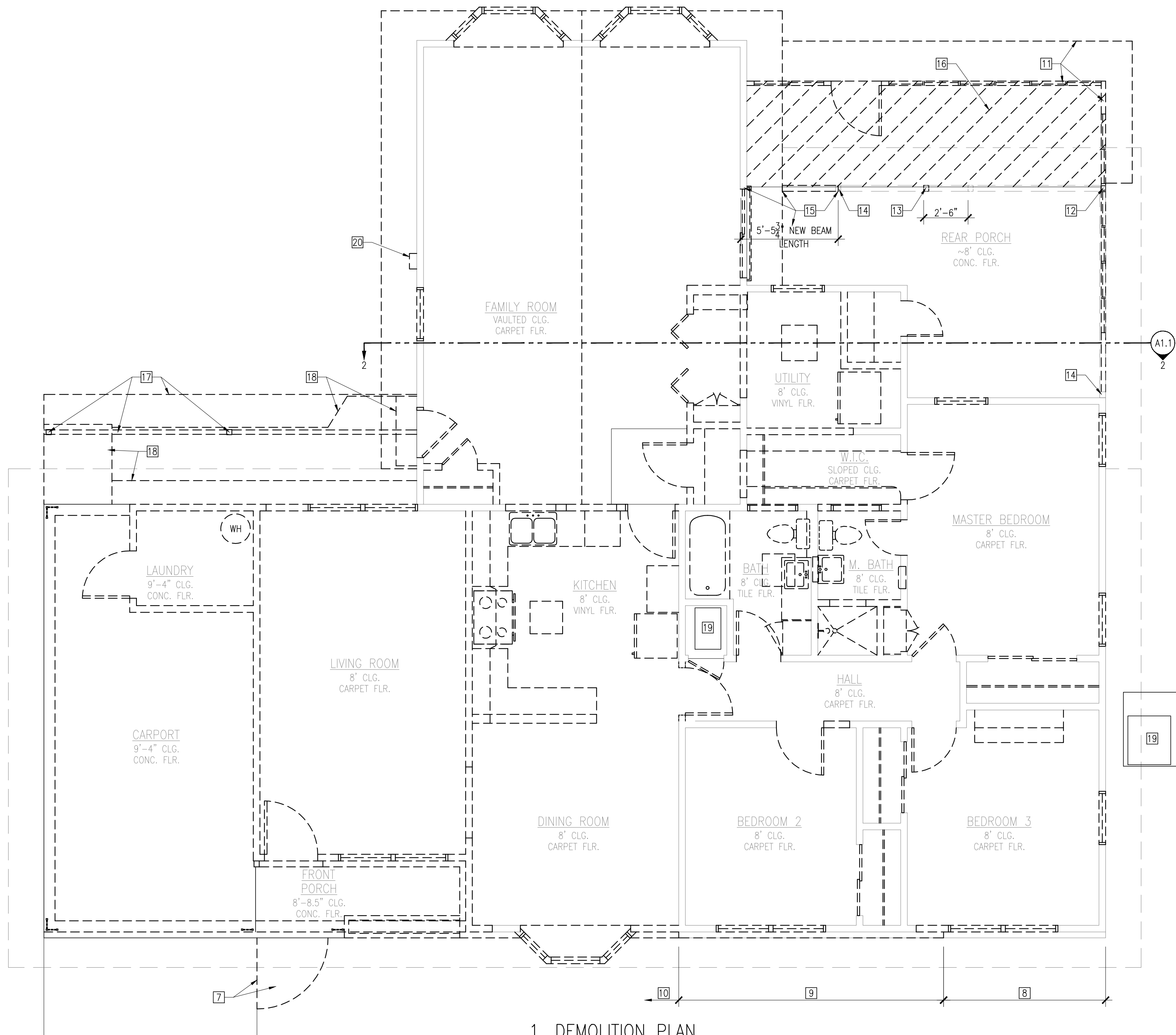
Engineer Seal

Engineer

Drawing Name

Site Plan

Project No.	Sheet No.
Date 10/09/2023	A1.1
Scale 3/16"=1'-0"	



- General Demolition Notes:
- 37.79% of exterior structural walls to be demolished, less than 50%.
 - Coordinate demolition timing with availability of new materials to protect interior from weather.
 - Elements shown in heavy dashed lines are to be removed, refer to new plan.
 - Remove all finished flooring down to wood or concrete sub floor. Scrape or sand off any remaining glue as necessary. Prepare all sub-floor surfaces for installation of new floor finish.
 - Remove all wall and ceiling gypsum board.
 - Remove all windows and doors.
 - Remove all electrical fixtures, switches, receptacles and wiring, to be replaced with new. Except AC units, AC power wires to be routed to new breaker box.
 - Remove all exterior wall trim, siding, vapor barrier and damaged sheathing, to be replaced with new.
 - Remove all soffit panels and fascia boards, to be replaced with new.
 - Remove all roof shingles, underlayment, metal drip edges and damaged roof decking and damaged framing, to be replaced with new.
 - Remove all skylight fixtures and shaft framing.

- Demolition Key Notes:
- Remove all "low" roof rafters, decking and ridge board.
 - Existing "high" roof rafters and ridge board to remain.
 - Remove "low" ridge board vertical braces. Replace each with new vertical braces to connect to and brace "high" ridge board.
 - Remove all "high" roof rafters this side of ridge board, only after "high" ridge board is fully braced with vertical braces per key note 3.
 - Remove all roof members above existing Family Room, from rear of house to connection points to front roof slope with perpendicular ridge.
 - Existing roof members above existing Master Bedroom beyond to remain.
 - Cut concrete inline with driveway edge and removed section indicated.
 - Brick veneer to remain. See 1/A2.1.
 - Remove only upper portion of brick veneer so top of brick is the same elevation as top of brick remaining per key note 8. See 1/A2.1.
 - Remove all brick veneer between interior Dining Room wall and Carport.
 - Remove 3" wide exterior wall panes, associated windows, door and flat roof at 2 sides of Rear Porch. Refer to key note 12.
 - Existing column to remain in place.
 - Move existing wood support post 2'-6" toward right side of house.
 - Existing wood post to remain.
 - Cut existing roof beam at center line of existing support post and remove dashed section. Install new beam of same size, start at post center line and extend into Family Room wall supported by wall studs.
 - Remove concrete slab of hatched area.
 - Remove awning roof, roof beam and support posts.
 - Remove concrete steps, walkway.
 - Existing AC unit, associated wiring and ductwork to remain.
 - Remove electrical breaker box, associated conduits and wiring. Electrical meter to remain in place.

General Notes

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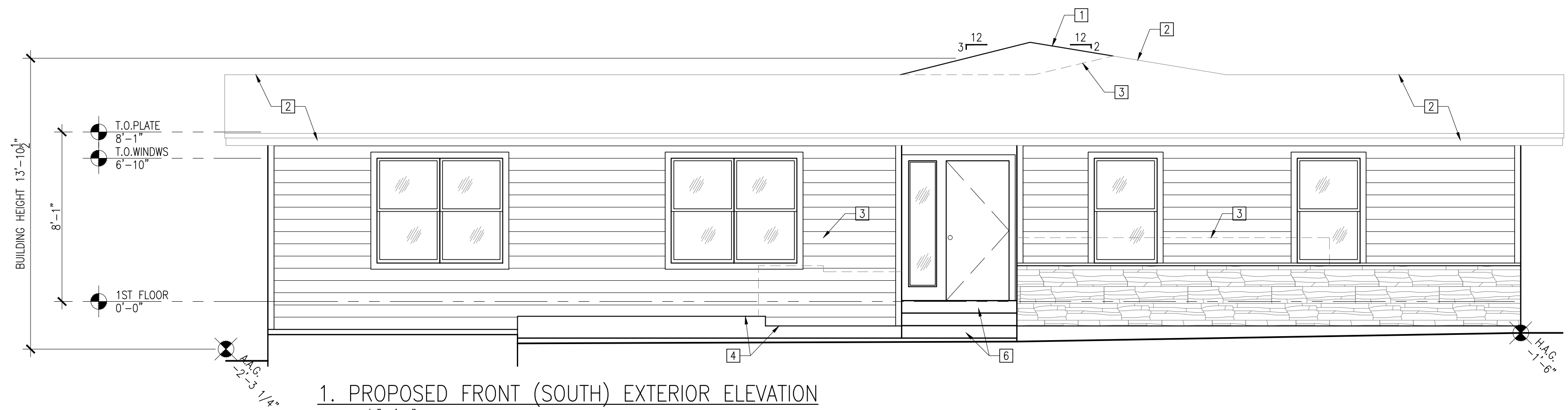
Design Firm
CBA Design And Build Inc.
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Lakeway, TX 78738

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Residence Addition-Remodel
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Austin, TX 78722

Engineer Seal

Drawing Name
Demolition Plan

Project No.	Sheet No.
Date 10/09/2023	A1.2
Scale 1/4"=1'-0"	



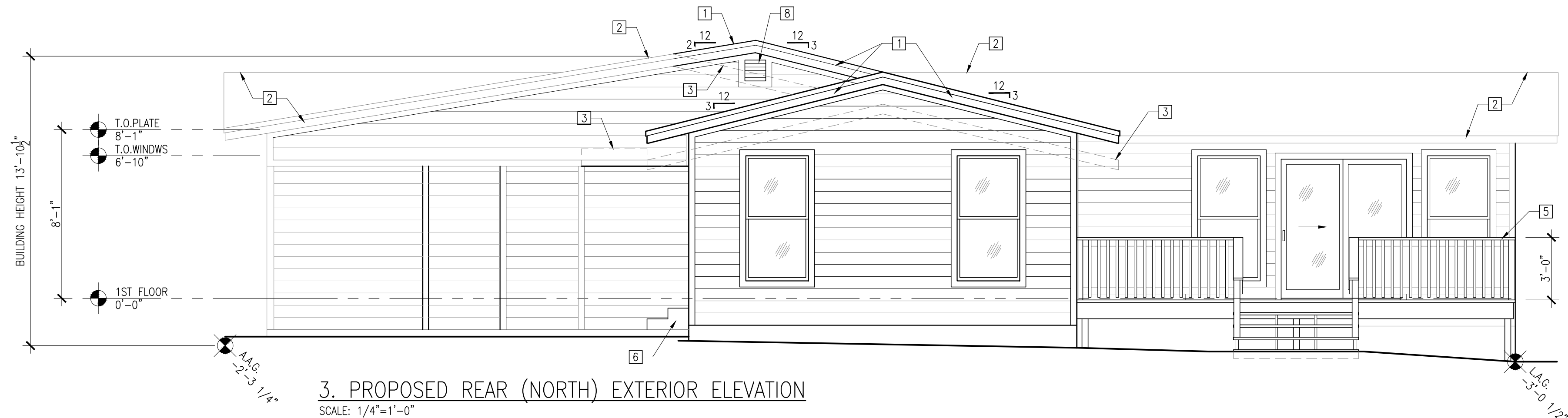
1. PROPOSED FRONT (SOUTH) EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



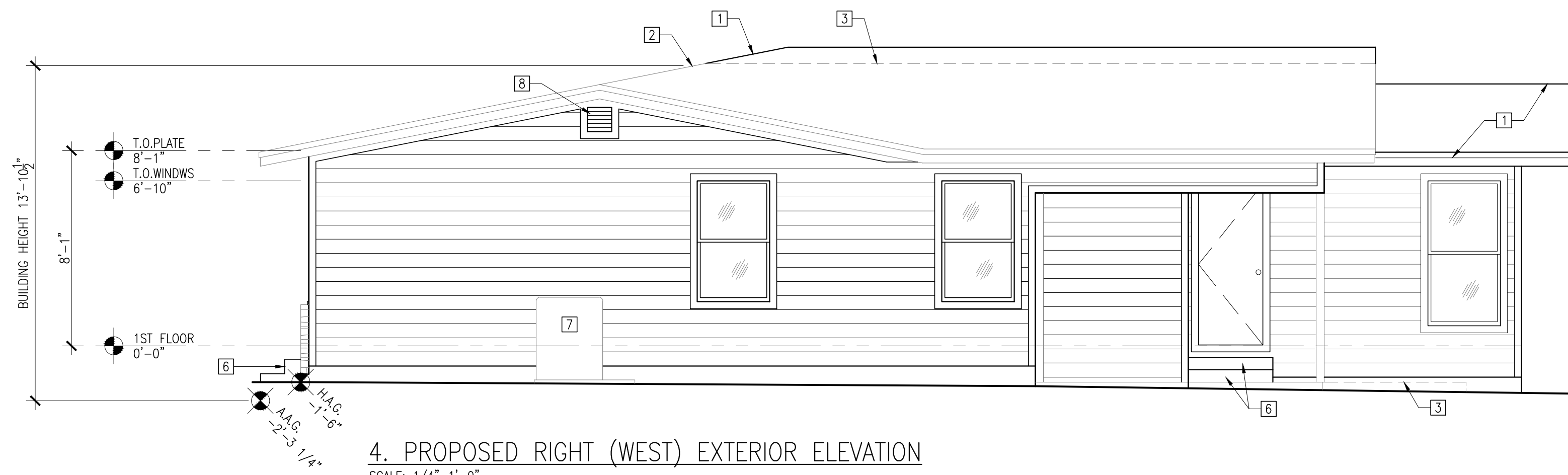
2. PROPOSED LEFT (EAST) EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



3. PROPOSED REAR (NORTH) EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



4. PROPOSED RIGHT (WEST) EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

General Exterior Elevation Notes:

1. New 8" Hardi plank lap board siding over new vapor barrier throughout exterior.
2. New 1x smooth finish Hardi board trim throughout exterior.
3. New 1x6 Hardi board fascia board throughout exterior.
4. New roof shingles, 30# felt paper, metal drip edge throughout roof. Bottom of drip edge to be 1/4" away from fascia board, typical.

Exterior Elevation Key Notes:

1. New roof framing drawn with thicker line weight.
2. Remaining roof framing drawn with lighter line weight.
3. Dashed light line representing previous demolished architectural element.
4. Remaining exposed brick ledge.
5. New wood deck addition.
6. New concrete steps.
7. Remaining AC unit.
8. New 12"x12" louvered attic vent.

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Engineer Seal

Engineer

Drawing Name

Proposed Exterior Elevations

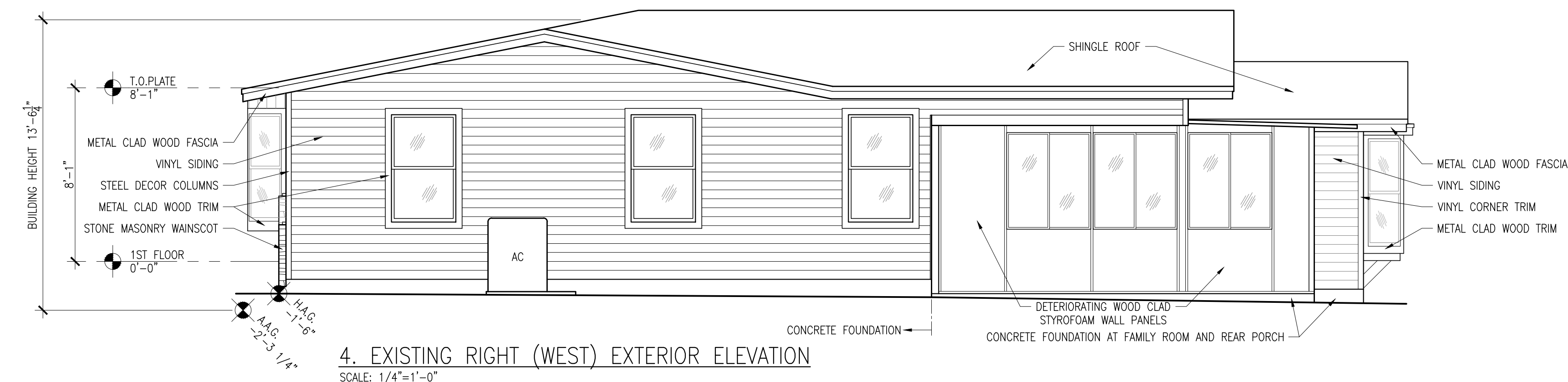
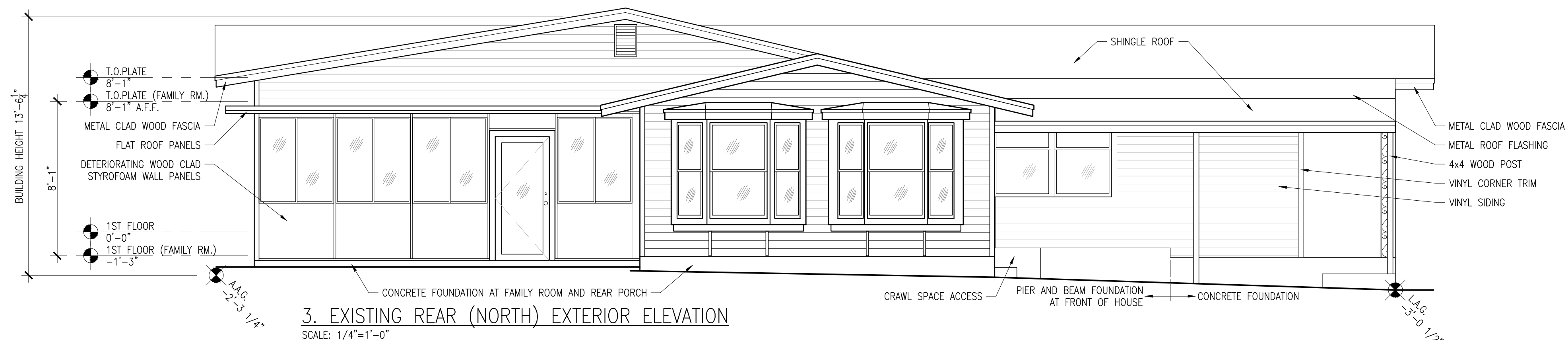
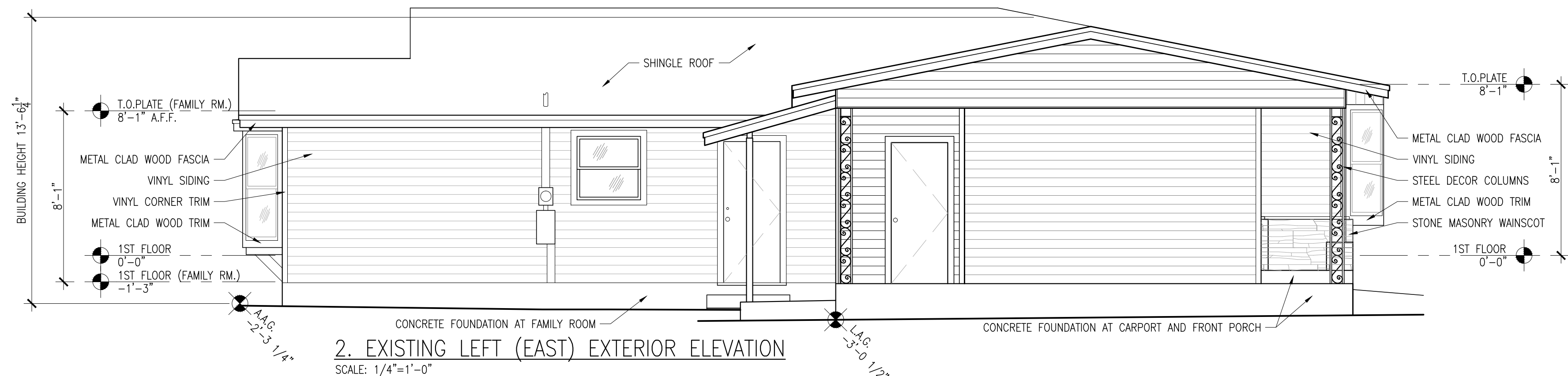
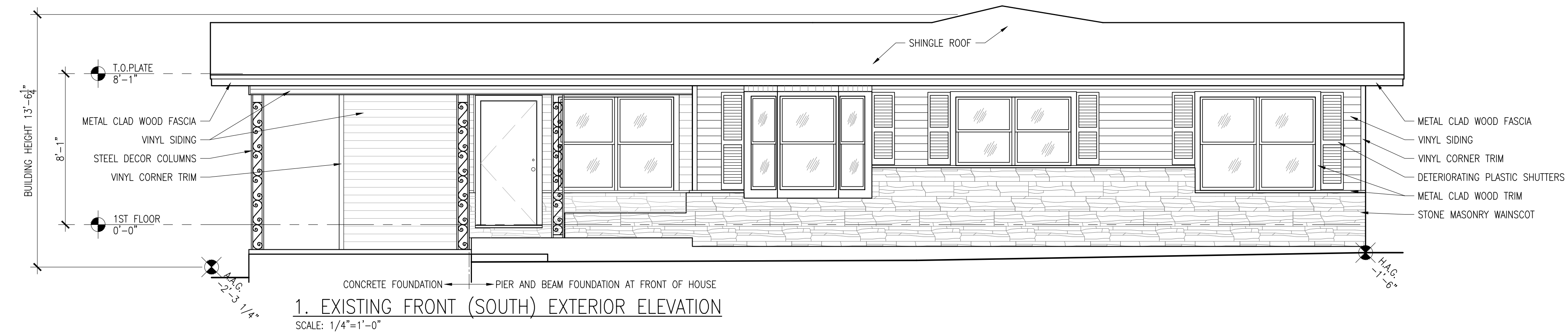
Project No.

Sheet No.

Date
10/09/2023

Scale
1/4"=1'-0"

A2.1



General Notes

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Lakeway, TX 78738

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Engineer Seal

Drawing Name
Existing Exterior Elevations

Project No.	Sheet No.
Date 10/09/2023	A2.2
Scale 1/4"=1'-0"	