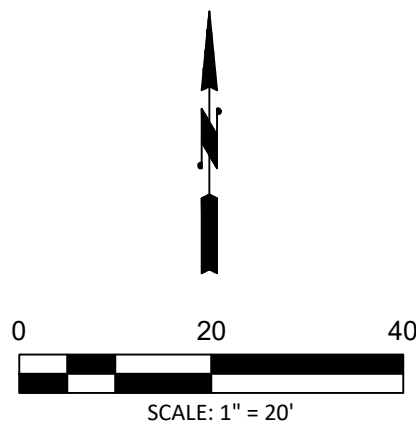


BOUNDARY, ASBUILT, & TREE SURVEY

OF LOT 1
BLOCK 1
SUBDIVISION OF OUTLOT NO. 3 IN DIVISION A
VOLUME 1, PAGE 8
PLAT RECORDS, TRAVIS COUNTY, TX



Tag No.	Type	Trunk
3000	PECAN	9 "
3001	PECAN	22 " (P)
3002	PECAN	14 "
3003	AMERICAN ELM	8 "
3004	PECAN	6 "
3005	CHINABERRY	19 "
3006	ASH	9 "
3007	HACKBERRY	10 "

TREE LEGEND
CRITICAL ROOT ZONE =
DIAMETER EQUAL IN FEET TO
TWICE THE NUMBER OF INCHES
OF THE TREE'S TRUNK DIAMETER
PROTECTED TREE (DIAMETER ≥ 19")
(P)

FLOOD INFORMATION

PER WWW.FEMA.GOV, THIS PROPERTY APPEARS
TO BE LOCATED IN ZONE X (UNSHADED).
THIS PROPERTY WAS FOUND IN MAP NUMBER
48453C0465K, DATED 01/22/2020.

DATUM & BEARING BASIS


TEXAS STATE PLANE COORDINATE SYSTEM,
CENTRAL ZONE (4203), NAD 83, GRID NORTH.
ELEVATION DATA NAVD 88, GEOID 18.
DISTANCES IN US SURVEY FEET (GRID).

GENERAL NOTES:

- 1) THIS PROPERTY IS SUBJECT TO ANY AND ALL
RECORDED AND UNRECORDED EASEMENTS. SURVEYOR
HAS MADE NO INVESTIGATION FOR EASEMENTS OF
RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS
OR OWNERSHIP TITLE EVIDENCE.
- 2) SUBJECT TO ALL APPLICABLE DEVELOPMENT CODES
AND ZONING ORDINANCES.
- 3) DUE TO DIFFERING BUILDING PRACTICES, BUILDING
DIMENSIONS ARE APPROXIMATE.
- 4) ANY UTILITIES SHOWN HEREON MAY BE
EXAGGERATED FOR GRAPHIC REPRESENTATION ONLY.
- 5) OWNERSHIP DEED RECORDED IN DOCUMENT NO.
2013085067, TRAVIS COUNTY RECORDS.
- 6) TREE TYPES TO BE VERIFIED BY CERTIFIED ARBORIST.
- 7) THIS SURVEY ONLY SHOWS ABOVE GROUND
IMPROVEMENTS.

I CERTIFY THAT THIS SURVEY HAS BEEN COMPLETED IN
ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE
STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF
TEXAS TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE OF LAST FIELD WORK: DECEMBER 11, 2023

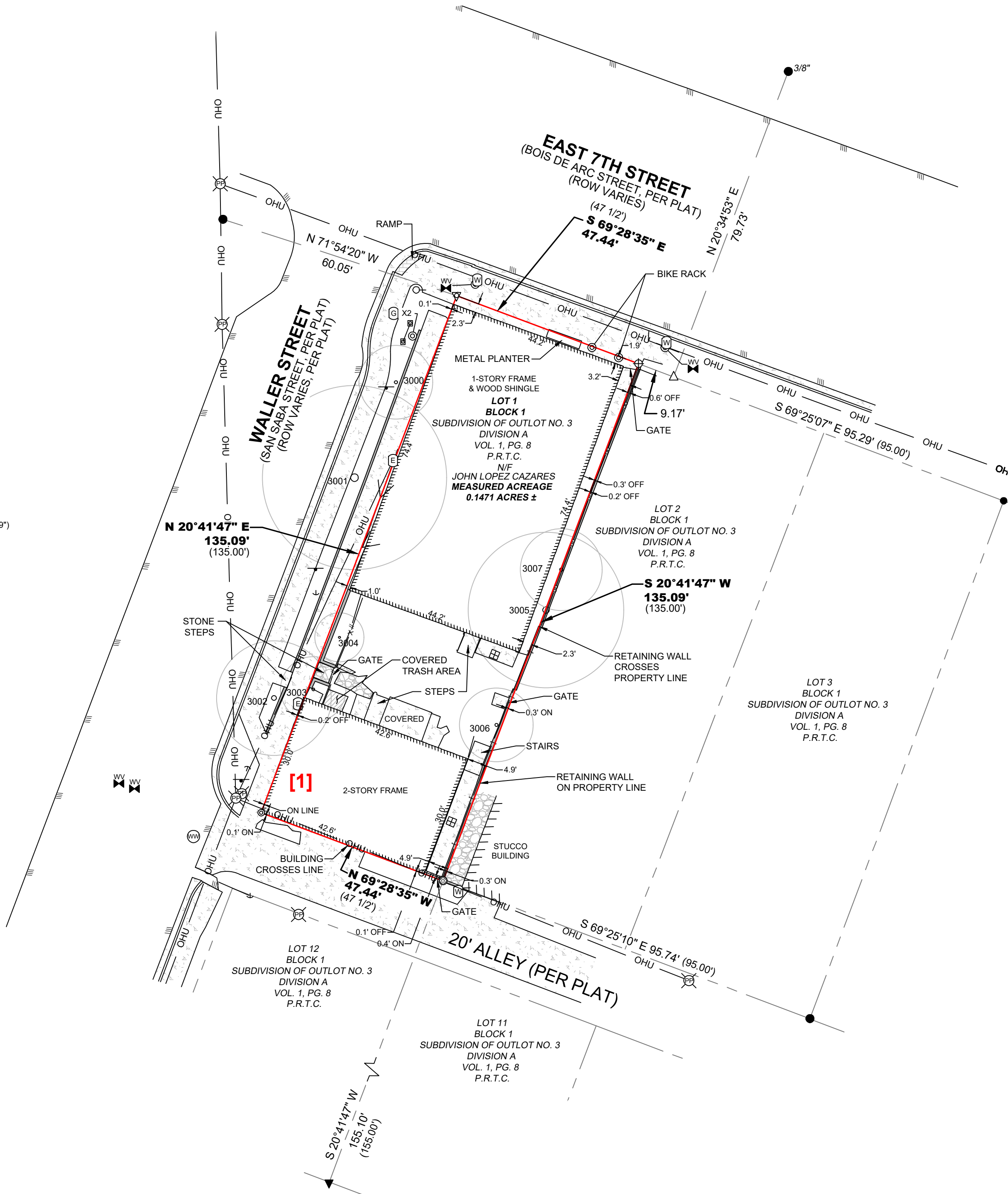

JAD DUPECHAIN R.P.L.S. NO. 6906 DECEMBER 13, 2023

DRAWN BY: GGM REVIEWED BY: JAD
FIELD CREW: JK

REVISION #:
SHEET SIZE = 18"x24"




LEGEND	
	1/2" IRON ROD FOUND (UNLESS NOTED)
	PUNCH HOLE FOUND
	MAG NAIL FOUND WITH SHINER
	CALCULATED POINT
	1/2" IRON PIPE FOUND
	MAG NAIL SET WITH WASHER STAMPED "SURVEY WORKS"
	"X" MARK SET
	GAS METER
	ELECTRIC METER
	WATER METER
	CLEAN OUT
	POWER POLE
	WATER VALVE
	BOLLARD
	SIGN
	WASTE WATER MANHOLE
	GUY ANCHOR
	AIR CONDITIONING UNIT
	TRAFFIC SIGNAL POLE
	OVERHEAD UTILITY
	WOOD FENCE
	CHAIN LINK FENCE
	WROUGHT IRON FENCE
	EDGE OF PAVEMENT
	PROPERTY LINE
	ADJOINER LINE
	CONCRETE AREA
	WALLS
	STONE AREA
	BRICK AREA
	OVERHANG COVERAGE
	VOLUME AND PAGE PLAT RECORDS TRAVIS COUNTY
	STRUCTURE ON/OFF SUBJECT PROPERTY
	RIGHT OF WAY
	RECORD INFORMATION



SURVEYOR NOTES

- [1] BUILDING CROSSE LINE AS DEPICTED HEREON

SURVEYED FOR:
JOHN CAZARES
PROJECT NO. 23-0189
1201 EAST 7TH STREET
AUSTIN, TX


INFO@SURVEYWORKS.COM
SURVEYWORKS.COM
1207 UPLAND DRIVE
AUSTIN, TX 78741
FIRM #10194157
(512) 599-8067

SHEET
1 of 1