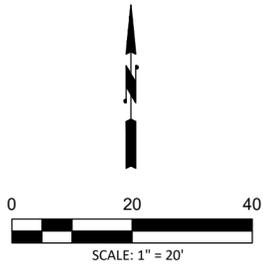


BOUNDARY, ASBUILT, & TREE SURVEY

OF LOT 1
BLOCK 1
SUBDIVISION OF OUTLOT NO. 3 IN DIVISION A
VOLUME 1, PAGE 8
PLAT RECORDS, TRAVIS COUNTY, TX



LEGEND	
●	1/2" IRON ROD FOUND (UNLESS NOTED)
⊕	PUNCH HOLE FOUND
⬇	MAG NAIL FOUND WITH SHINER
△	CALCULATED POINT
⊙	1/2" IRON PIPE FOUND
⬇	MAG NAIL SET WITH WASHER STAMPED "SURVEY WORKS"
⊙	"X" MARK SET
⊙	GAS METER
⊙	ELECTRIC METER
⊙	WATER METER
⊙	CLEAN OUT
⊙	POWER POLE
⊙	WATER VALVE
⊙	BOLLARD
⊙	SIGN
⊙	WASTE WATER MANHOLE
⊙	GUY ANCHOR
⊙	AIR CONDITIONING UNIT
⊙	TRAFFIC SIGNAL POLE
—	OHU
—	OVERHEAD UTILITY
—	WOOD FENCE
—	CHAIN LINK FENCE
—	WROUGHT IRON FENCE
—	EDGE OF PAVEMENT
—	PROPERTY LINE
—	ADJOINER LINE
■	CONCRETE AREA
■	WALLS
■	STONE AREA
■	BRICK AREA
■	OVERHANG COVERAGE
VOL. PG. P.R.T.C.	VOLUME AND PAGE PLAT RECORDS TRAVIS COUNTY
ON/OFF	STRUCTURE ON/OFF SUBJECT PROPERTY
R.O.W. ()	RIGHT OF WAY RECORD INFORMATION

Tag No.	Type	Trunk
3000	PECAN	9"
3001	PECAN	22" (P)
3002	PECAN	14"
3003	AMERICAN ELM	8"
3004	PECAN	6"
3005	CHINABERRY	19"
3006	ASH	9"
3007	HACKBERRY	10"

TREE LEGEND
CRITICAL ROOT ZONE = DIAMETER EQUAL IN FEET TO TWICE THE NUMBER OF INCHES OF THE TREE'S TRUNK DIAMETER
PROTECTED TREE (DIAMETER ≥ 19")
(P)

FLOOD INFORMATION

PER WWW.FEMA.GOV, THIS PROPERTY APPEARS TO BE LOCATED IN ZONE X (UNSHADED). THIS PROPERTY WAS FOUND IN MAP NUMBER 48453C0465K, DATED 01/22/2020.

DATUM & BEARING BASIS

TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (4203), NAD 83, GRID NORTH. ELEVATION DATA NAVD 88, GEOID 18. DISTANCES IN US SURVEY FEET (GRID).

GENERAL NOTES:

- 1) THIS PROPERTY IS SUBJECT TO ANY AND ALL RECORDED AND UNRECORDED EASEMENTS. SURVEYOR HAS MADE NO INVESTIGATION FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS OR OWNERSHIP TITLE EVIDENCE.
- 2) SUBJECT TO ALL APPLICABLE DEVELOPMENT CODES AND ZONING ORDINANCES.
- 3) DUE TO DIFFERING BUILDING PRACTICES, BUILDING DIMENSIONS ARE APPROXIMATE.
- 4) ANY UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR GRAPHIC REPRESENTATION ONLY.
- 5) OWNERSHIP DEED RECORDED IN DOCUMENT NO. 2013085067, TRAVIS COUNTY RECORDS.
- 6) TREE TYPES TO BE VERIFIED BY CERTIFIED ARBORIST.
- 7) THIS SURVEY ONLY SHOWS ABOVE GROUND IMPROVEMENTS.

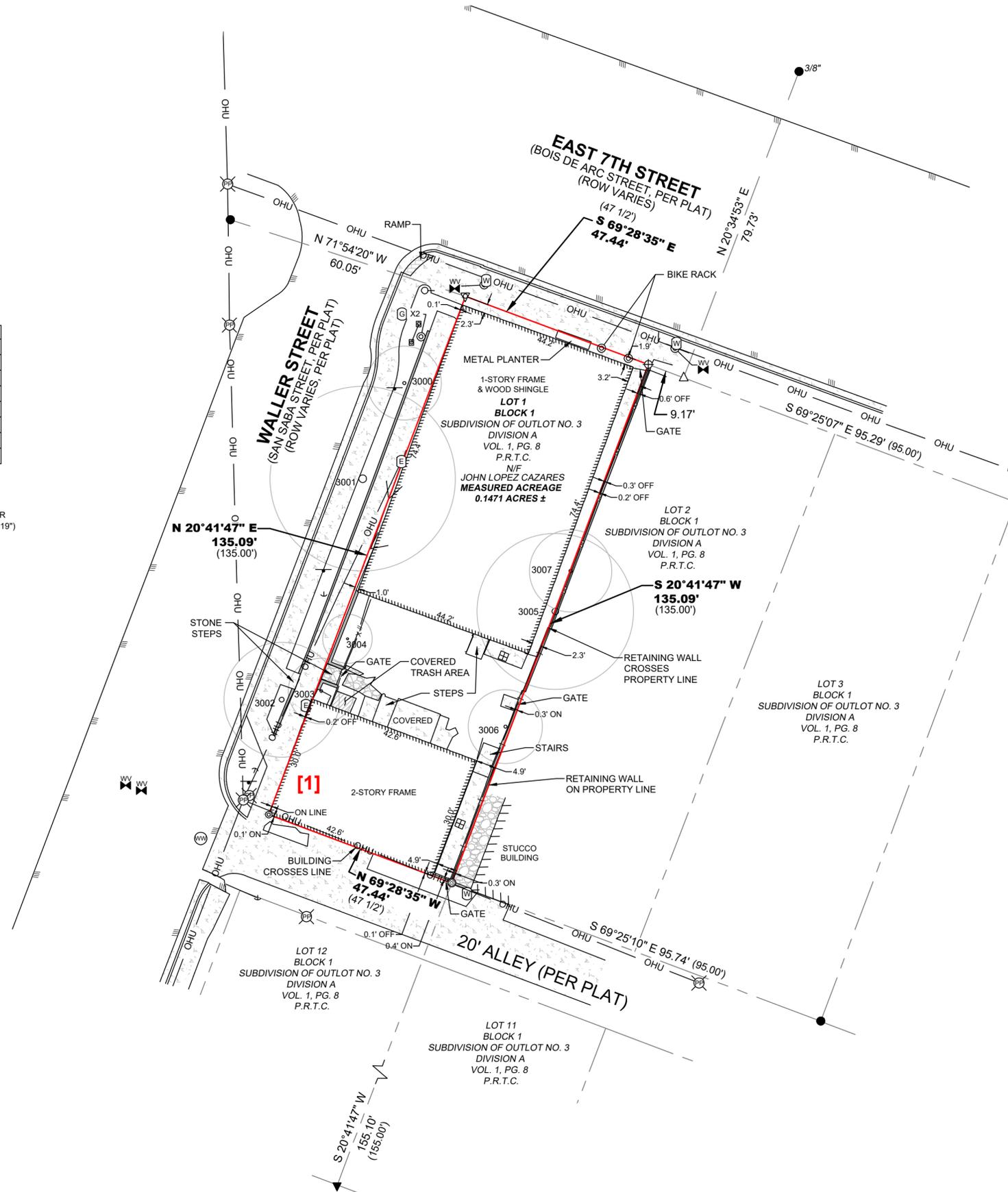
I CERTIFY THAT THIS SURVEY HAS BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF TEXAS TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE OF LAST FIELD WORK: DECEMBER 11, 2023

Jad Duplechain
JAD DUPECHAIN R.P.L.S. NO. 6906 DECEMBER 13, 2023

DRAWN BY: GJM REVIEWED BY: JAD
FIELD CREW: JK

REVISION #:
SHEET SIZE = 18"X24"



SURVEYOR NOTES

- [1] BUILDING CROSSE LINE AS DEPICTED HEREON

SURVEYED FOR:
JOHN CAZARES
PROJECT NO. 23-0189
1201 EAST 7TH STREET
AUSTIN, TX

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