

Residence Addition-Remodel

2506 Givens Avenue Austin, Texas 78722



LOCATION MAP

APPLICABLE NOTES PER IRC-2021:

THESE NOTES ARE INTENDED TO SUMMARIZE RELEVANT CODE SECTIONS SPECIFIC TO THIS PROJECT. RE: IRC-2021 FOR ADDITIONAL INFORMATION WHICH MAY OR MAY NOT BE INCLUDED HEREIN.

R302.5. DWELLING-GARAGE OPENING & PENETRATION PROTECTION:
NOTE: THIS PROJECT FEATURES HABITABLE SPACE ADJACENT TO A PRIVATE GARAGE.

R302.5.1 OPENING PROTECTION:
* NO OPENINGS BETWEEN GARAGE AND A ROOM USED FOR SLEEPING PURPOSES IS PROPOSED OR ALLOWED.
* DOORS BETWEEN THE GARAGE & THE RESIDENCE SHALL BE SOLID WOOD DOOR 1.375-IN. MIN. THICK, SOLID OR HONEYCOMB-CORE STEEL DOORS 1.375-INCH MINIMUM THICK, OR 20-MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE.

R302.5.2 DUCT PENETRATION:
* NO DUCTS TO PENETRATE THE WALLS OR CEILING OF THE GARAGE PROPOSED OR ALLOWED.

R302.6. DWELLING-GARAGE SEPARATION:
NOTE: THIS PROJECT FEATURES HABITABLE SPACE ADJACENT TO A PRIVATE GARAGE.
* GARAGE CEILING SHALL BE 0.625-INCH THICK TYPE-X GYPSUM BOARD OR EQUIVALENT.
* GARAGE INTERIOR WALLS SHALL BE 0.5-INCH THICK GYPSUM BOARD (GARAGE SIDE).

R303.3. MECHANICAL EXHAUST AT 50 CFM MINIMUM AT ALL TOILET LOCATIONS, RATED FOR APPLICATION. PROVIDE LOCAL EXHAUST SYSTEM FOR BATHROOM WITH NO WINDOWS OR FIXED WINDOWS.

R303.6 AND SECTION G2407: PROVIDE COMBUSTION AIR VENTILATION FOR HVAC.

R308.4 HAZARDOUS GLAZING LOCATIONS:
THE GENERAL CONTRACTOR AND WINDOW & DOOR VENDOR(S) SHALL ENSURE THAT THIS PROJECT IS CODE COMPLIANT IN TERMS OF PROVIDING TEMPERED SAFETY GLAZING AT THE FOLLOWING LOCATIONS:

R308.4.1 GLAZING IN DOORS:
R308.4.2 GLAZING ADJACENT TO DOORS:
* IF BOTTOM EXPOSED EDGE IS < 60-INCHES AFF AND:
** WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR OR
** ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24-IN. OF THE HINGE SIDE OF IN-SWINGING DOOR (SOME EXCEPTIONS MAY APPLY)

R308.4.3 GLAZING IN WINDOWS:
* GLAZING THAT MEETS ALLOF THE FOLLOWING CONDITIONS:
** THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SF
** THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES AFF
** THE TOP EDGE OF THE GLAZING IS MORE THAN 36-INCHES AFF, AND
** ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES MEASURED HORIZONTALLY FROM THE GLAZING
(SOME EXCEPTIONS MAY APPLY. SEE IRC 2015 FOR ADDITIONAL INFORMATION IF NECESSARY)

R308.4.4 GLAZING IN GUARDS AND RAILINGS.
R308.4.5 GLAZING AND WET SURFACES (AS APPLICABLE TO THIS PROJECT):
* GLAZING IN WALLS CONTAINING OR FACING BATHTUBS & SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60-INCHES VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE

R308.4.6 GLAZING ADJACENT TO STAIRS AND RAMP:
* GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36-INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMP, EXCEPT:
** WHERE A RAIL IS INSTALLED ON THE ACCESSIBLE SIDE OF THE GLAZING 34 TO 38-INCHES ABOVE THE WALKING SURFACE, & THE RAIL CAN WITHSTAND A HORIZONTAL LOAD OF 50 LBS./LF, & HAS A CROSS-SECTIONAL HEIGHT OF 1.5-INCHES MINIMUM
** GLAZING IS 36-INCHES OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE

R308.4.7 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING:
* GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36-INCHES ABOVE THE LANDING AND WITHIN A 60-INCH HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING.

R314 AND R315 SMOKE & CARBON MONOXIDE ALARMS:
* SMOKE & CARBON MONOXIDE ALARMS THROUGHOUT THIS DWELLING SHALL BE PER IRC-2021.
* PROVIDE SMOKE ALARMS: HARD WIRED, INTERCONNECTED, WITH BATTERY BACKUP, AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS, AND LOCATED AT NOT LESS THAN 3-FT. FROM A DOOR TO A BATHROOM WITH TUB OR SHOWER EXCEPT WHEN THIS REQUIREMENT WILL PREVENT THE INSTALLATION OF A SMOKE ALARM IN A REQUIRED LOCATION, AND IF APPLICABLE, ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS.
* PROVIDE CARBON MONOXIDE ALARMS - HARD WIRED WITH BATTERY BACKUP, INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE.
SECTION M1502: PROVIDE OR UPGRADE CLOTHES DRYER EXHAUST SYSTEM AT LAUNDRY ENCLOSURE.

CODE COMPLIANCE SUMMARY:

THIS PROJECT IS AN ADDITION-REMODEL TO AN EXISTING RESIDENCE STRUCTURE:
* ADDITION CONSISTS OF:
ADDDING 226 SQUARE FOOT WOOD DECK AT REAR.
* REMODEL CONSISTS OF:
RAISE FLOOR AT FRONT PORCH AND CARPORT TO MATCH HOUSE LEVEL.
RAISE FLOOR AND ROOF OF FAMILY ROOM TO MATCH HOUSE LEVEL.
CONVERT CARPORT AREA INTO LIVING/DINING ROOMS.
MOVING FRONT PORCH TO EXISTING DINING ROOM SPACE.
CONVERT EXISTING DINING AND FRONT PORCH SPACE TO NEW OFFICE.
CONVERT FAMILY ROOM INTO BEDROOM, CLOSET AND NEW BATHROOM.
ENLARGING KITCHEN INTO EXISTING LIVING ROOM SPACE.
REMOVING ATTIC ABOVE KITCHEN/LIVING/DINING ROOM TO VAULT CEILINGS.
ENLARGING EXISTING MASTER BATHROOM INTO EXISTING CLOSET SPACE.
CONVERTING EXISTING UTILITY ROOM INTO RELOCATED LAUNDRY ROOM.

NO UTILITY WORK PROPOSED THIS PROJECT.

THIS PROJECT IS NOT WITHIN THE BOUNDS FOR SUBCHAPTER F.

THIS PROJECT IS DESIGNED TO COMPLY WITH THE IRC-2021 EDITION AS WELL AS CITY OF AUSTIN CODE AMENDMENTS.

THIS PROJECT IS AN ADDITION-REMODEL:
CITY OF AUSTIN VISIBILITY ORDINANCE NOT APPLICABLE.

FRAMING-BLOCKING REQUIREMENTS:

- ALL SHEATHING EDGES SHALL BE FULLY-BLOCKED.
- ALL FRAMING SHALL BE FULLY FIRE-BLOCKED AS REQUIRED TO MEET OR EXCEED CODE REQUIREMENTS.
- ALL WALL FRAMING SHALL HAVE 2x4 MIN. DEAD-WOOD FOR G.W.B. INSTALLATION.
- ALL PLAN LOCATIONS INDICATING BASE AND WALL CABINETS SHALL BE BLOCKED FOR CASEWORK INSTALLATION.
- ALL VERTICAL AND HORIZONTAL JOINTS BETWEEN TILE AND G.W.B. FINISH SHALL BE BLOCKED.
- ALL BATHROOMS SHALL BE 2x4 BLOCKED AS REQUIRED FOR ALL MISCELLANEOUS ACCESSORIES.
- ALL CLOSETS SHALL BE BLOCKED AS REQUIRED FOR INSTALLATION OF CLOSET SYSTEM.
- PROVIDE PRESSURE TREATED SILL PLATES AT NEW WALLS IN CONTACT WITH CONCRETE.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

DRAWING INDEX:

- A0.1 Cover Sheet
- A1.1 Site Plan
- A1.2 Demolition Plan
- A1.3 Proposed Raised Floor Plan
- A1.4 Proposed Floor Plan
- A1.5 Proposed Electrical Plan
- A2.1 Proposed Exterior Elevations
- A2.2 Existing Exterior Elevations

No.	Revision/Issue	Date

Owner Name and Address

Design Firm
CBA Design And Build Inc.
410 Bowcross Point
Lakeway, TX 78738

Project Name and Address
Residence Addition-Remodel
2506 Givens Avenue
Austin, TX 78722

Engineer Seal

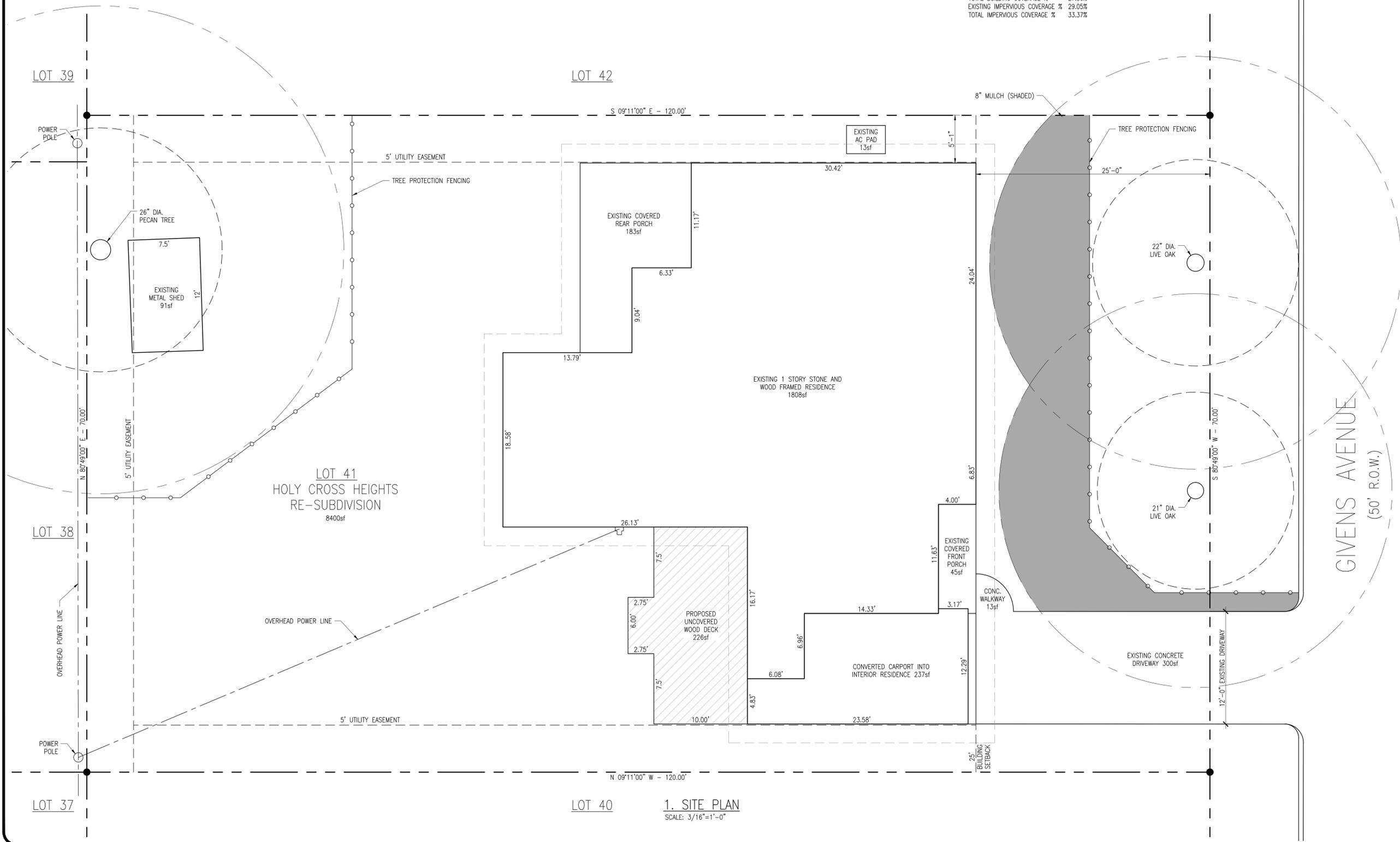
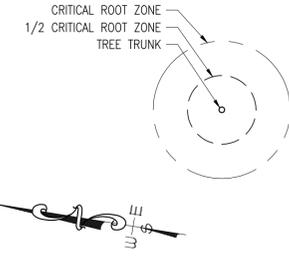
Drawing Name
Cover Sheet

Project No.	Sheet No.
Date 10/09/2023	A0.1
Scale N.T.S.	

SITE AREA CALCULATIONS

AREA DESCRIPTION	EXISTING S.F.	NEW S.F.	TOTAL S.F.
1ST FLOOR	1808	237	2045
2ND FLOOR	0	0	0
BASEMENT	0	0	0
COVERED PORCH	228	0	228
COVERED PATIO	0	0	0
BALCONY	0	0	0
OTHER ROOFED AREA	0	0	0
TOTAL BUILDING AREA:	2036	237	2273
TOTAL BUILDING COVERAGE:	2036	237	2273
DRIVEWAY	300	0	300
SIDEWALKS	0	13	13
UNCOVERED PATIO	0	0	0
UNCOVERED DECK (50% WOOD)	0	113	113
SHED BUILDING	91	0	91
OTHER FLATWORK	13	0	13
TOTAL IMPERVIOUS COVERAGE:	2440	363	2803
POOL/SPA (SURFACE AREA)	0	0	0
TOTAL LOT SIZE	8400		
EXISTING BUILDING COVERAGE %	24.24%		
TOTAL BUILDING COVERAGE %	27.06%		
EXISTING IMPERVIOUS COVERAGE %	29.05%		
TOTAL IMPERVIOUS COVERAGE %	33.37%		

TREE SYMBOL LEGEND



1. SITE PLAN
SCALE: 3/16"=1'-0"

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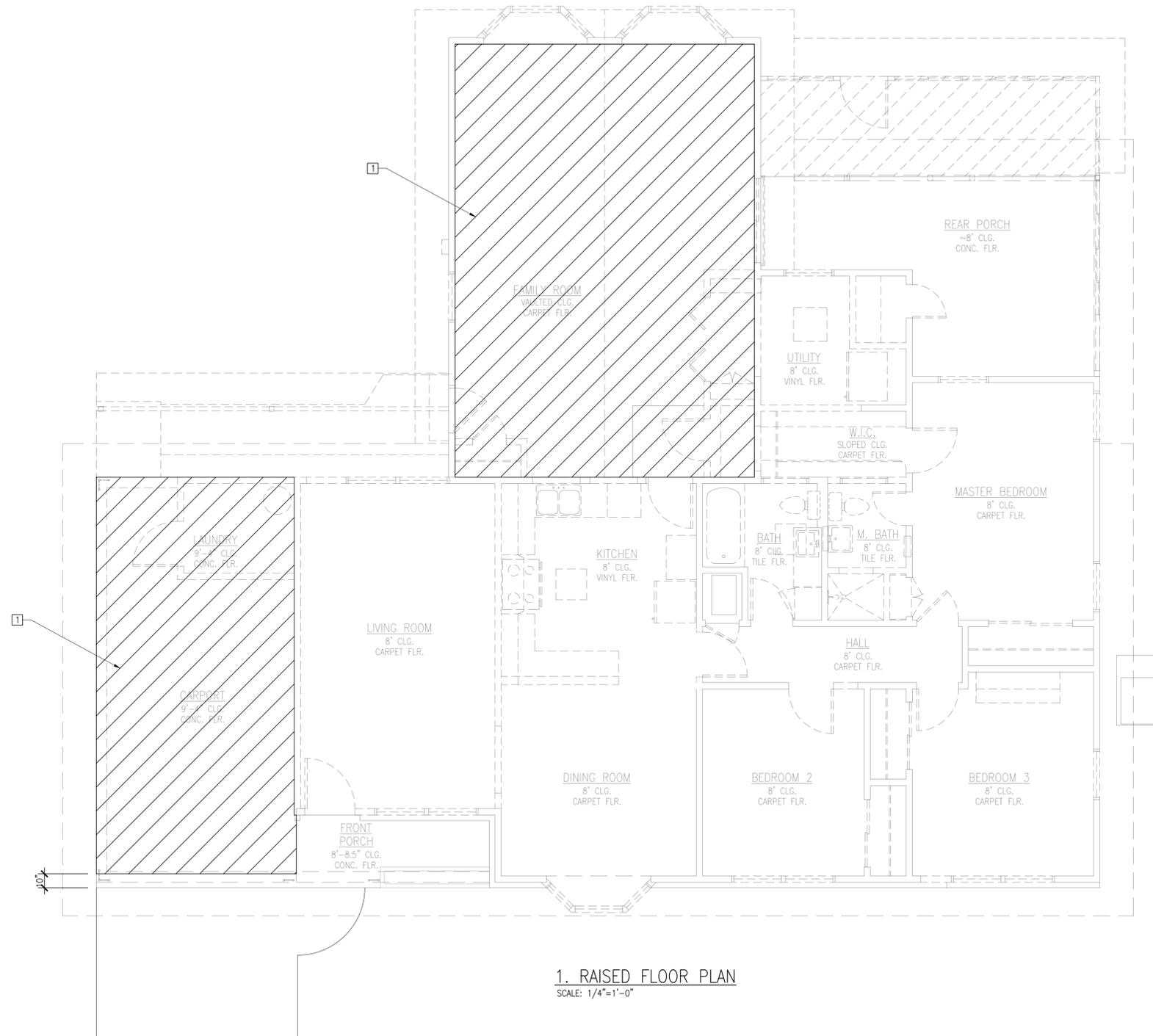
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Engineer

Drawing Name
Site Plan

Project No.	Sheet No.
Date 10/09/2023	A1.1
Scale 3/16"=1'-0"	



1. RAISED FLOOR PLAN
SCALE: 1/4"=1'-0"

General Raised Floor Notes:

1. House is upon pier and beam foundation with the exception of the following rooms on concrete slab foundation: Carport, Laundry, Front Porch, Family Room, Utility and Rear Porch.
2. New raised floor materials making contact with existing concrete slab is to be #2 pressure treated southern yellow pine.
3. New raised floor to be tied to existing floor, to prevent separation.

Raised Floor Key Notes:

1. Hatched area denotes new wood pier and beam raised floor on top of existing concrete slab. Top of new floor deck to be level with existing top of floor at existing Kitchen and Living Room. Refer to structural drawings for new raised floor framing plan.

General Notes

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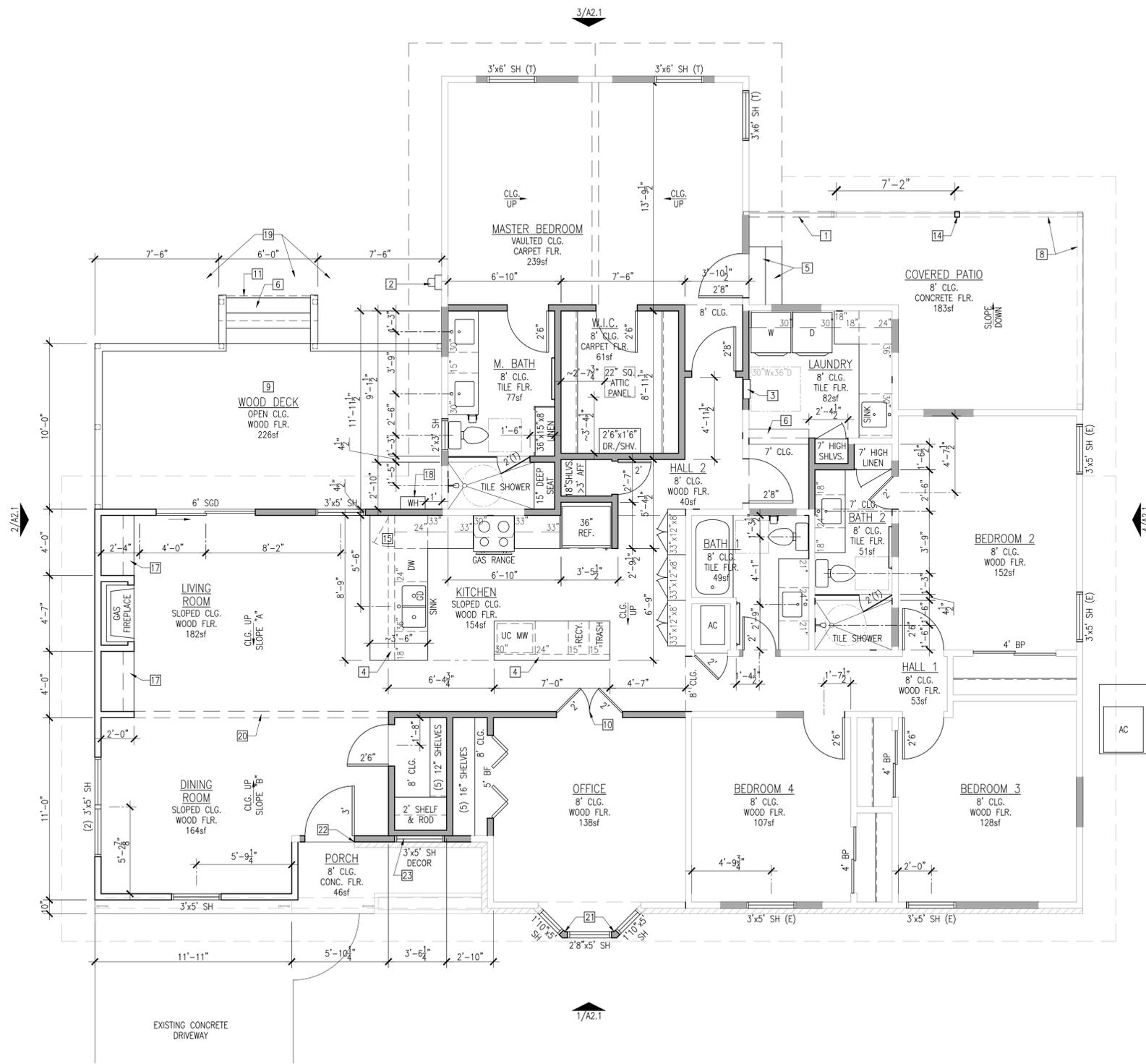
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Engineer

Drawing Name
Proposed Raised Floor Plan

Project No.	Sheet No.
Date 10/09/2023	A1.3
Scale 1/4"=1'-0"	



1. PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

- General Floor Plan Notes:**
1. Wall dimensions are to outside face of gypsum board or sheathing, offset 1/2" for stud placement as needed.
 2. Front door threshold to have low profile of maximum 1/2" high.
 3. All new wood deck to be constructed of pressure treated #2 southern yellow pine.
 4. Repair all cracked/broken brick masonry.
 5. All doors and windows to be new.

- Floor Plan Key Notes:**
1. New roof beam, refer to key note 15 on sheet A1.2.
 2. Electrical meter, location to remain.
 3. New electrical breaker box.
 4. 2x4 stud pony wall below countertop.
 5. Not used.
 6. Wood steps, 11" deep treads, equal risers between floors, 7 3/4" maximum riser. Add another tread if single riser is greater than 7 3/4" in field.
 7. Not used.
 8. Remaining roof beam and wall above.
 9. Pier and beam supported wood deck, framing per structural.
 10. French doors centered in office wall.
 11. 6"x1'-6" x5" thick concrete pad footing at base of deck steps, anchor stringers to footing.
 12. Provide vapor barrier at Front Porch directly over wood sub floor, fold up 6" at all walls where able and down beyond bottom of framing member at steps.
 13. Resurface Rear Porch slab for new appearance.
 14. Relocated wood support post. Refer to key note 13 on sheet A1.2.
 15. Cabinet door under count at corner cabinet.
 16. Level grade at least 2' around bottom of deck steps.
 17. 36" high base cabinet/drawer with upper adjustable display shelves.
 18. Gas fueled tankless water heater.
 19. Level grade a minimum of 2' around deck steps.
 20. Wood beam per structural. Note that beam is not centered between exterior walls, interior ceiling sloped pitch above Dining Room will be slightly greater than the sloped pitch above the Living Room and Kitchen.
 21. Reconstruct bay windows in same location with new sized windows.
 22. New front door hinge trim to be flush with existing brick wainscot edge.
 23. New non-used window for exterior decoration, interior wall gypsum board to be painted flat black.

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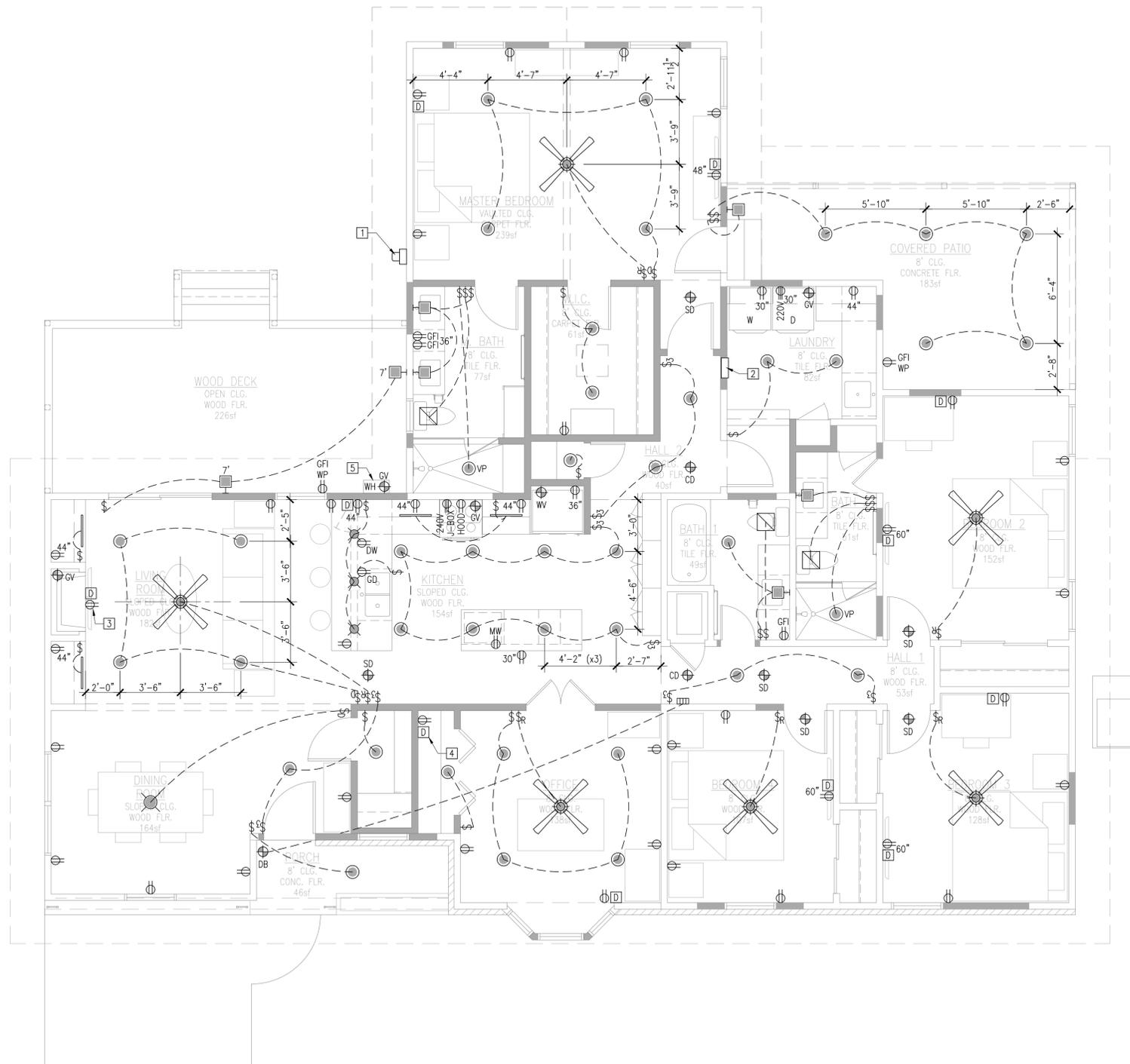
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Engineer

Drawing Name
Proposed Floor Plan

Project No.	Sheet No.
Date 10/09/2023	A1.4
Scale 1/4"=1'-0"	



1. PROPOSED ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

- General Electrical Plan Notes:**
1. Coordinate gas valve locations with equipment/appliance serviced. Actual gas valve location to best fit appliance gas connection.
 2. All exterior electrical fixtures are to be rated for exterior use.
 3. Re-route existing AC power wires to new breaker box.

- Electrical Plan Key Notes:**
1. Electrical meter.
 2. New electrical breaker box.
 3. Power receptacle and CAT5 data jack to be 2'-6" above top of fireplace.
 4. Internet service jack and bank of CAT5 dual female jacks, jacks to be paired with each data jack throughout the house. Bank elevation to be 6" above shelf closest to 3' A.F.F. Group bedroom jacks together at one end of the bank row. Permanent professional label each jack's location.
 5. Tankless water heater, provide electrical power to unit as needed.

ELECTRICAL PLAN LEGEND			
\$	SINGLE SWITCH	⏏	DOOR BELL CHIME
⌘	THREE WAY SWITCH	⊠	EXHAUST FAN
⌘	DIMMER SWITCH	⊗	CEILING FAN WITH LIGHT
⌘	RHEASTAT SWITCH	⊕	SD SMOKE DETECTOR ALARM
⊕	110V DUPLEX RECEPTACLE	⊕	CD CARBON MONOXIDE DETECTOR ALARM
⊕	220V RECEPTACLE	⊕	GV PROPANE GAS VALVE
⊕	DATA CAT5 FEMALE JACK	⊕	DB DOOR BELL BUTTON
⊕	RECESSED LIGHT	ABBREVIATIONS	
⊕	DIRECTIONAL RECESSED LIGHT	WP=WEATHER PROOF	
⊕	PENDANT HANGING LIGHT	VP=VAPOR PROOF	
—	UNDER CABINET LED STRIP	GFI=GROUND FAULT INTERRUPTER	
—	ABOVE CABINET LED STRIP	GD=GARBAGE DISPOSAL	
⊕	WALL MOUNTED LIGHT	U.N.O.=UNLESS NOTES OTHERWISE	

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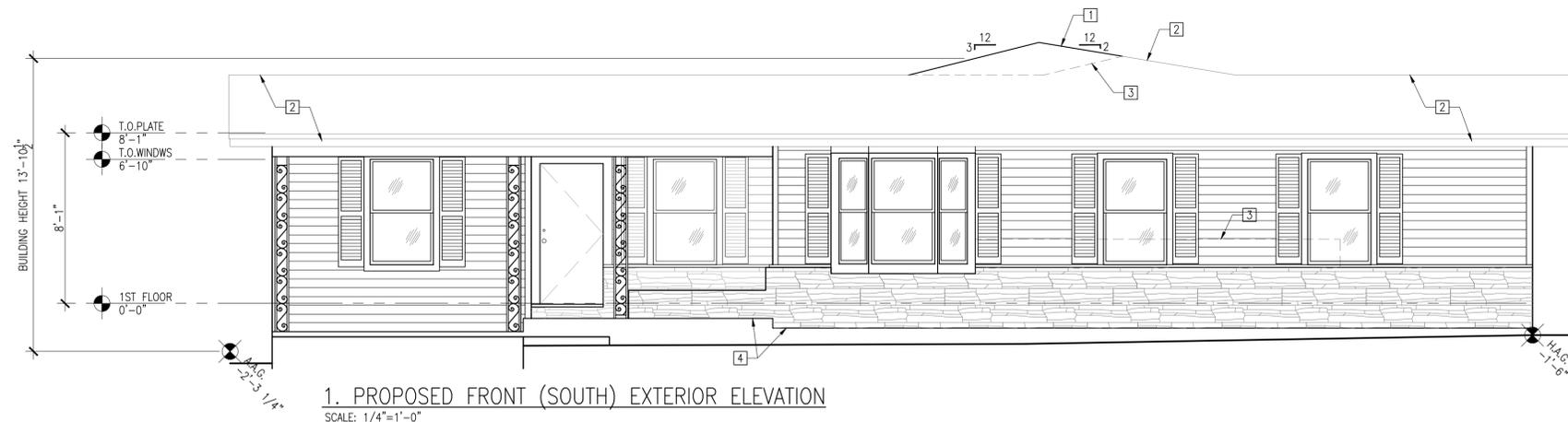
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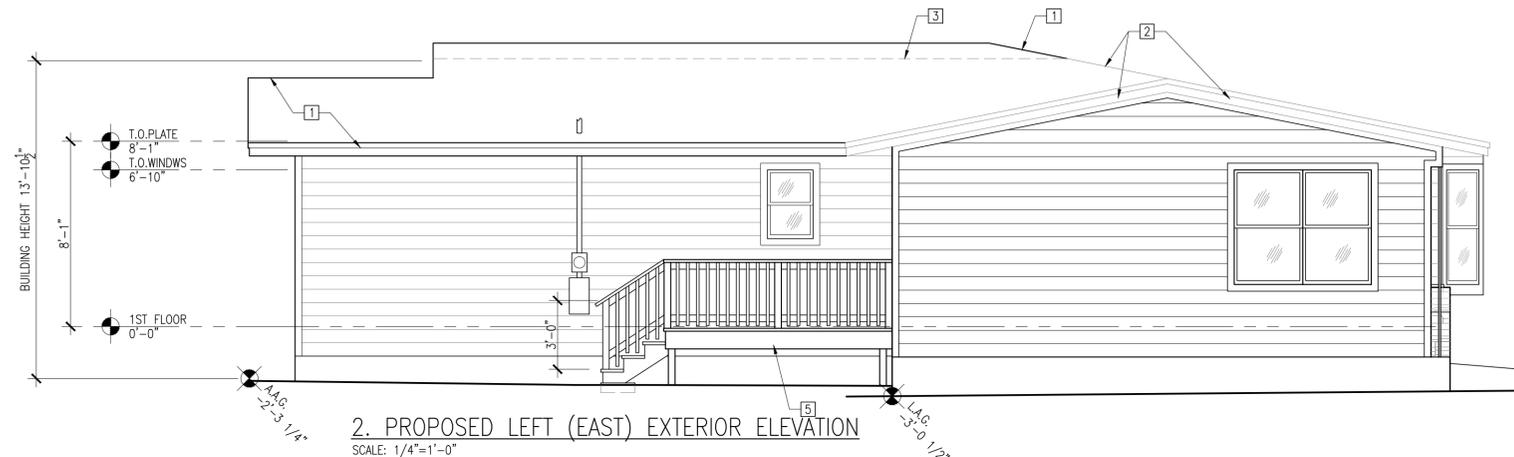
Engineer

Drawing Name
Proposed Electrical Plan

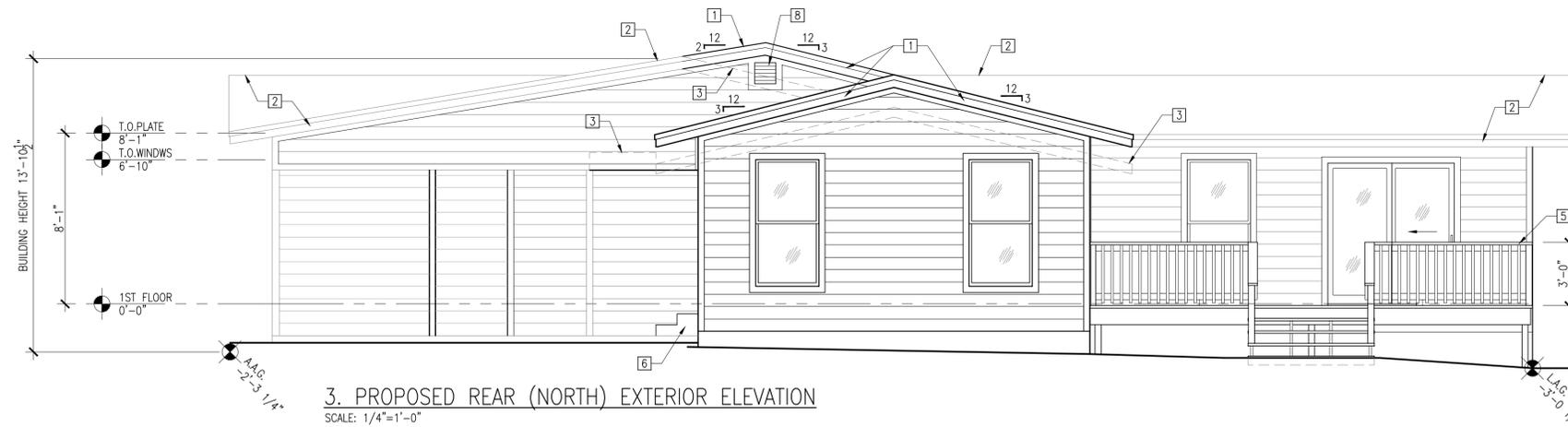
Project No.	Sheet No.
Date 10/09/2023	A1.5
Scale 1/4"=1'-0"	



1. PROPOSED FRONT (SOUTH) EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



2. PROPOSED LEFT (EAST) EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



3. PROPOSED REAR (NORTH) EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



4. PROPOSED RIGHT (WEST) EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

- General Exterior Elevation Notes:
1. New 8" Hardi plank lap board siding over new vapor barrier throughout exterior.
 2. New 1x smooth finish Hardi board trim throughout exterior.
 3. New 1x6 Hardi board fascia board throughout exterior.
 4. New roof shingles, 30# felt paper, metal drip edge throughout roof. Bottom of drip edge to be 1/4" away from fascia board, typical.

- Exterior Elevation Key Notes:
1. New roof framing drawn with thicker line weight.
 2. Remaining roof framing drawn with lighter line weight.
 3. Dashed light line representing previous demolished architectural element.
 4. Remaining exposed brick ledge.
 5. New wood deck addition.
 6. not used
 7. Remaining AC unit.
 8. New 12"x12" louvered attic vent.

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Drawing Name
Proposed Exterior Elevations

Project No.	Sheet No.
Date 10/09/2023	A2.1
Scale 1/4"=1'-0"	