



Historic Review Application

For Office Use Only

Date of Submission: _____

Plan Review #: _____

Property Address: 320 Congress Ave, Austin, TX 78701

Historic Landmark ☒

Local Historic District ☐

National Register Historic District ☐

Historic Landmark Name or

Historic District Name: Koppel Building

Applicant Name: Sara Pilar Phone #: 512-592-8876 Email: sara.pilar@colliers.com

Applicant Address: 320 Congress Ave, Suite C City: Austin State: TX Zip: 78701

Please describe all proposed exterior changes with location and materials. If you need more space, attach an additional sheet.

PROPOSED CHANGE(S)	LOCATION OF PROPOSED CHANGE(S)	PROPOSED MATERIAL(S)
1) <u>Replace awnings</u> _____ _____ _____	<u>Exterior building windows</u> _____ _____ _____	<u>See Attached</u> _____ _____ _____
2) <u>Exterior Painting</u> _____ _____ _____	<u>Exterior</u> _____ _____ _____	<u>See Attached</u> _____ _____ _____
3) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____

Submittal Requirements

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing *and* proposed conditions for alterations and additions.

Site Plan ☒

Elevations ☒

Floor Plan ☐

Roof Plan ☐

2. Color photographs of building and site:

Elevation(s) proposed to be modified ☒

Detailed view of each area proposed to be modified ☒

DocuSigned by:

Sara Pilar

7782306F0897416

Applicant Signature: _____

Date: 1.29.24



Design Standards and Guidelines for Historic Properties

Adopted December 2012

Design Standards and Guidelines for Historic Properties

Landmarks and National Register historic district properties

If you are making changes to a historic landmark, the project *must* comply with these standards to receive a Certificate of Appropriateness. If you are making changes to a contributing property or constructing a new building within a National Register historic district, consider the standards below as advisory guidelines:

1. Use a property for its historic purpose or place it in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. Retain and preserve the historic character of a property shall be retained and preserved. Avoid the removal of historic materials or alteration of features and spaces that characterize a property.
3. Recognize each property as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Local historic district properties

If you are making changes to a contributing property or constructing a new building in a local historic district, the project *must* comply with the design standards established for that district to receive a Certificate of Appropriateness. Visit the Historic Preservation Office website to view your district's design standards: <http://www.austintexas.gov/department/historic-preservation>.

What Type of Work Requires a Certificate of Appropriateness?

Certificates of Appropriateness (COAs) are required for exterior changes or additions to historic landmarks, any property pending designation as a landmark, and contributing buildings in local historic districts; or if you are constructing a new building in a local historic district. Work requiring a COA includes:

1. Additions
2. Construction of new buildings, including outbuildings
3. Window and door replacement
4. Exterior siding replacement
5. Replacement of roof materials with a different material
6. Site changes such as a pool, deck, fence, or back porch enclosure

Ordinary repair and maintenance projects do *not* require a Certificate of Appropriateness. For more information, see the historic review process charts on the [Historic Preservation Office website](#).



2023

PROPOSED PAINT SCHEME



320 CONGRESS AVE

AWNING MATERIAL

001 BLACK
No. 274

Anemone
No. 274

APRILITE
No. 274

STUDIO GREEN

Body and Columns

Base of Column at Sidewalk

Mid- section of columns

All Window sills Above All Windows

Around All Window Panes & Doors

Top of Building and any Detail Currently Brown

Awning Material

STUDIO GREEN
No. 93

AMMONITE
No. 174

Body and Columns

Awning

Top of Building and any Detail Currently Brown.

Base of Column at Sidewalk
Mid- section of Columns
Window Sills
Above Windows



2023

PROPOSED PAINT SCHEME - 320 CONGRESS AVE



EXISTING PAINT SCHEME



Re-paint the entire building,
and add new fabric to the
existing awnings.





2023

PROPOSED PAINT SCHEME



PROPOSED PAINT SCHEME



Re-paint the entire building,
and add new fabric to the
existing awnings.



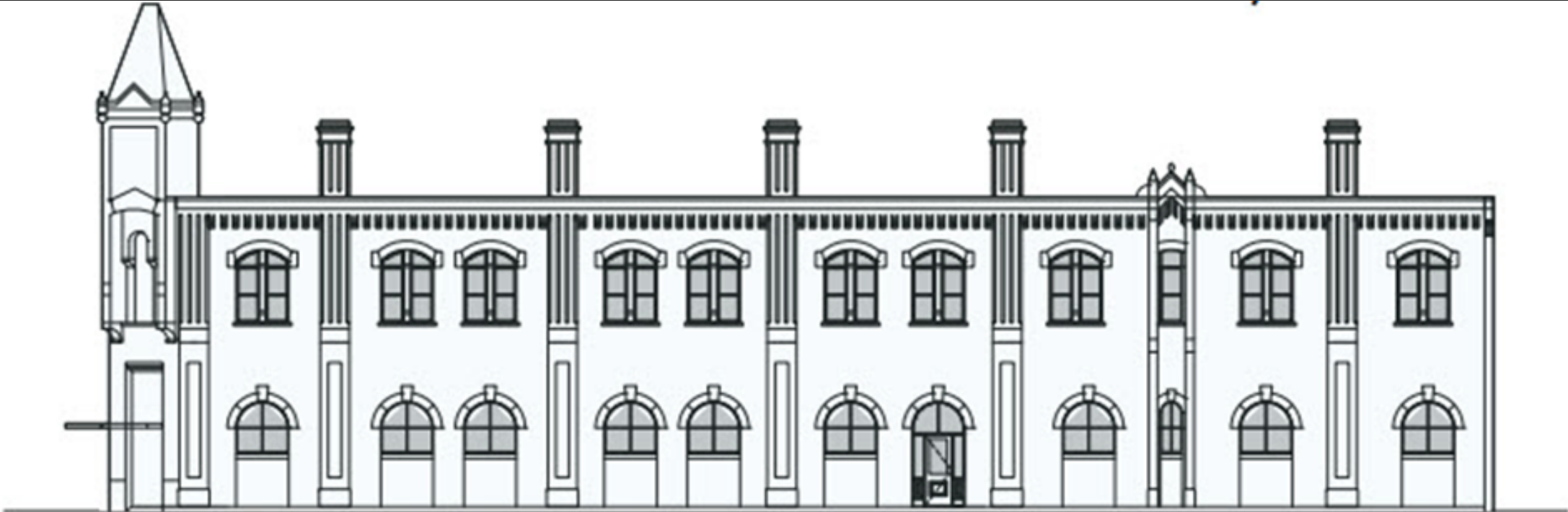


2023

PROPOSED PAINT SCHEME - 320 CONGRESS AVE



BUILDING
ELEVATIONS



SIDE | 4TH STREET



FRONT | CONGRESS AVE



REAR | ALLEY



2023

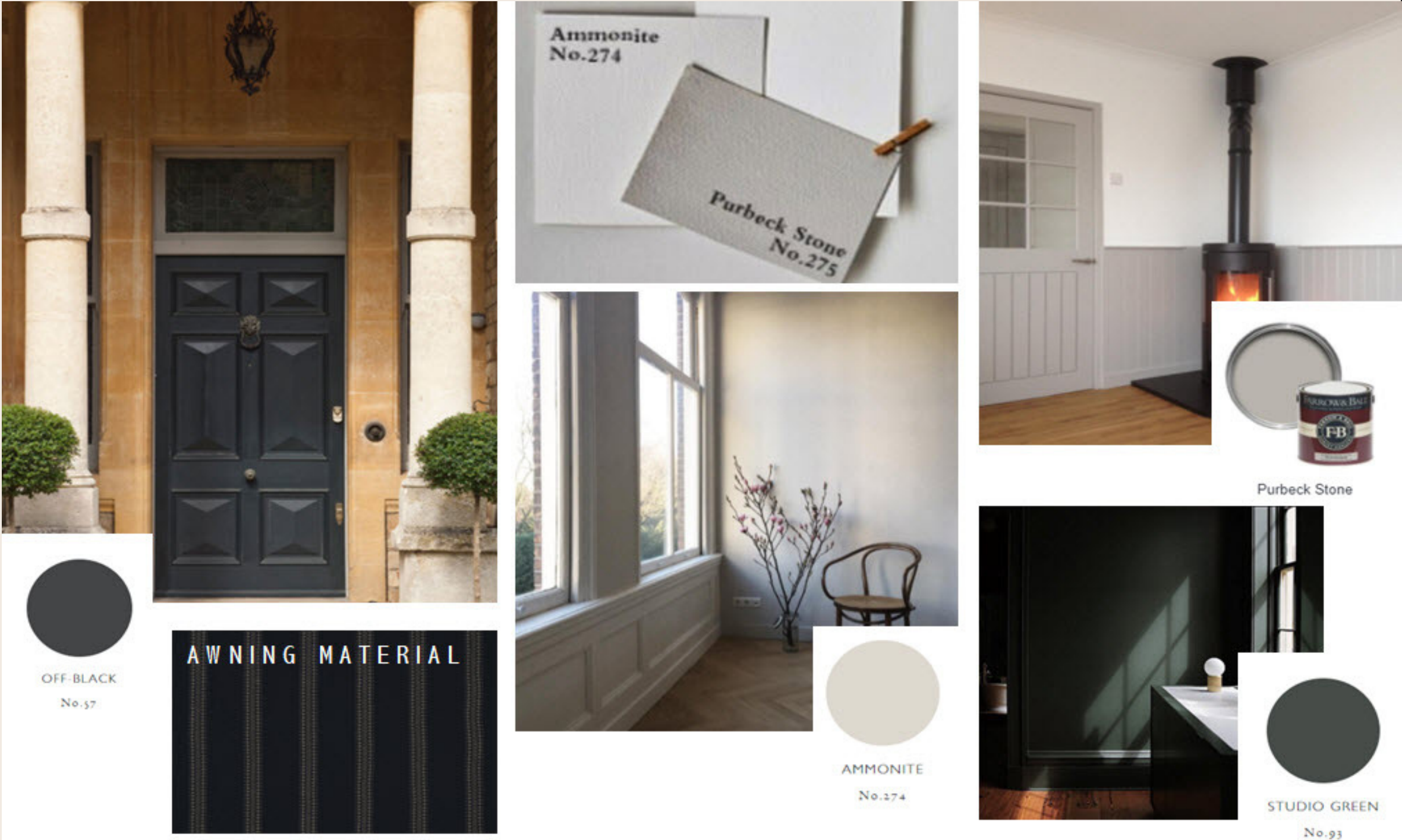
PROPOSED PAINT SCHEME - 320 CONGRESS AVE



PAINT COLOR
EXAMPLE
&
SWATCH



Proposed paint colors pull from historical references in tone and shade. With the addition of Pin Stripped Awnings to refer back to historical fabric styles.





2023


PROPOSED PAINT SCHEME - 320 CONGRESS AVE



4TH STREET ELEVATION - PAINT COLOR LOCATION



Proposed paint colors pull from historical references in tone and shade. With the addition of Pin Stripped Awnings to refer back to historical fabric styles.




Body and Columns

Base of Column at Sidewalk
Mid- section of columns
All Window sills
Above All Windows

Around All Window Panes & Doors.
Top of Building and any Detail Currently Brown.

Awning Material



Purbeck Stone

AMMONITE
No.274

STUDIO GREEN
No.93



2023

PROPOSED PAINT SCHEME - 320 CONGRESS AVE



CONGRESS AVE ELEVATION – PAINT COLOR LOCATION



Proposed paint colors pull from historical references in tone and shade. With the addition of Pin Stripped Awnings to refer back to historical fabric styles.



STUDIO GREEN
No.93

Around All Window Panes & Doors.
Top of Building and any Detail Currently Brown.



AMMONITE
No.274

Base of Column at Sidewalk
Mid- section of Columns
Window Sills
Above Windows



Awning

OFF-BLACK
No.57



Purbeck Stone

Body and
Columns