

HISTORIC LANDMARK COMMISSION
PERMITS IN NATIONAL REGISTER HISTORIC DISTRICTS
MARCH 6, 2024
HR-2024-001478
OLD WEST AUSTIN
1709 WETHERSFIELD ROAD

PROPOSAL

Remove rear porch and deck and extend existing side gable to construct a new two-story addition.

PROJECT SPECIFICATIONS

- 1) Demolish existing rear porch and partial addition.
- 2) Extend roofline of original building to construct a two-story addition. The proposed addition has horizontal fiber cement siding to match the existing siding, painted wood windows to match existing double-hung 6:6 windows, and a composition shingle roof to match the existing roof.
- 3) Remove and rebuild existing chimney.

ARCHITECTURE

One-story Colonial Revival house with symmetrical plan, full-width porch, side-gabled roof, and 6:6 wood windows.

RESEARCH

The house at 1709 Wethersfield Road was constructed in 1936. It was primarily a rental house with short-term occupants for much of the early 20th century, though Alma Street Pitts and her husband, Norman, purchased the property in the 1950s. The Pitt family owned and operated the Street Furniture Company.

DESIGN STANDARDS

The City of Austin's [Historic Design Standards](#) (March 2021) are based on the Secretary of the Interior's Standards for Rehabilitation and are used to evaluate projects in National Register districts. The following standards apply to the proposed project:

Repair and alterations

1. General standards

The proposed project alters the existing roofline.

3. Roofs

See 1. The proposed project extends the existing side-gabled roofline upward to accommodate the two-story addition.

7. Chimneys

The proposed project removes and rebuilds the existing chimney.

Residential additions

1. Location

The proposed addition is located to the rear of the house, extending the existing ridgeline.

2. Scale, massing, and height

The proposed addition is much larger in scale than the existing original house or addition, and the roofline modification may increase its visual weight. It does not appear to be stepped in from the original portion of the house.

3. Design and style

The proposed addition's design and style appear to meet the standards.

4. Roofs

See 2.

5. Exterior walls

The proposed exterior wall materials are compatible.

6. *Windows, screens, and doors*

The proposed new fenestration appears appropriate.

Summary

The project meets some of the applicable standards.

PROPERTY EVALUATION

The property contributes to the Old West Austin National Register Historic District.

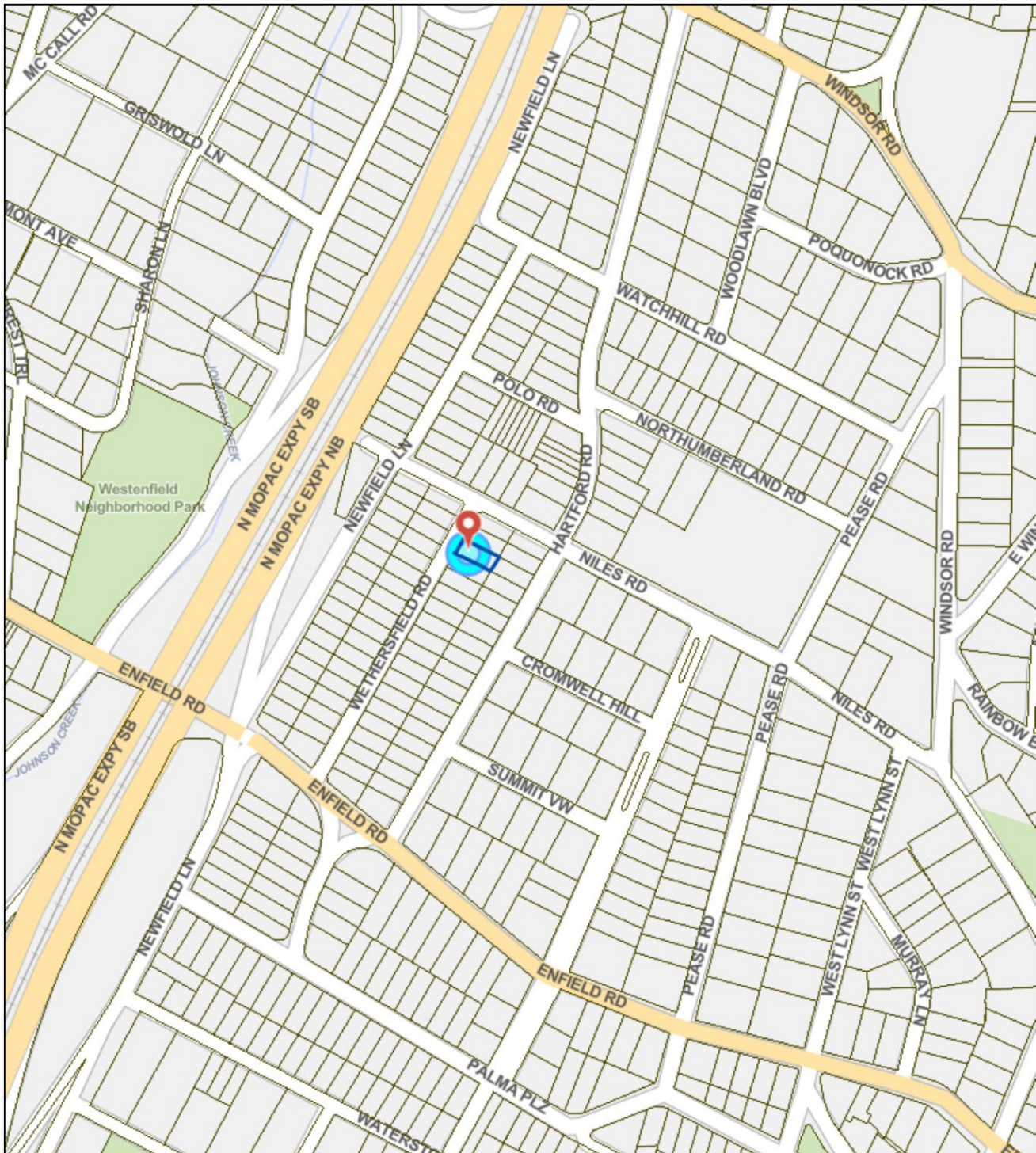
Designation Criteria—Historic Landmark

- 1) The building is more than 50 years old.
- 2) The building appears to retain high to moderate integrity.
- 3) Properties must meet two criteria for landmark designation (LDC §25-2-352). Staff has evaluated the property and determined that it does not meet two criteria for landmark designation:
 - a. Architecture. The building displays Colonial Revival stylistic influences.
 - b. Historical association. The property does not appear to have significant historical associations.
 - c. Archaeology. The property was not evaluated for its potential to yield significant data concerning the human history or prehistory of the region.
 - d. Community value. The property does not possess a unique location, physical characteristic, or significant feature that contributes to the character, image, or cultural identity of the city, the neighborhood, or a particular demographic group.
 - e. Landscape feature. The property is not a significant natural or designed landscape with artistic, aesthetic, cultural, or historical value to the city.

STAFF RECOMMENDATION

Comment on plans.

LOCATION MAP



1: 4800

Lot Lines

Lot Line

**HR 24-001478**

1709 WETHERSFIELD ROAD



2/20/2024

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PROPERTY INFORMATION

Photos



Google Street View, 2022

Occupancy History

City Directory Research, February 2024

1959	Arno E. Frank, Jr., renter
1955	Norman and Alma Pitts, owners – Street Furniture Co.
1952	Norman and Alma Pitts, owners – Street Furniture Co.
1949	John F. Dixon, renter
1944	W.H. Mallard, renter
1941	Vacant
1939	F. D. Allbright, renter

Alma Louise Street and Norman Merle Pitts Take Double-Ring Vows in Candlelight Rites

Miss Alma Louise Street, daughter of Mr. and Mrs. John Harper Street, became the bride of Norman Merle Pitts, son of Mr. and Mrs. Douglas E. Pitts of Matador, in a double-ring ceremony Friday evening.

The candlelight rites were read by the Rev. Kenneth Pope at 7 p. m. in the First Methodist Church here. The altar was decorated with baskets of white flowers, palms and candelabra holding white tapers.

Providing nuptial music was Floyd Townsley, who sang "Because" and Greig's "I Love You." He was accompanied by Dr. Henry Wunderlich, who also played as organ solos, "Ave Maria," "Always," and others.

Wear Pastel Gowns

Maid of honor to the bride was Miss Florence Street, who wore a dress of pink net. Bridesmaids were Miss Mary Street in turquoise net, Miss Rosemary Buas in orchid net, Miss Jane Kerr in yellow net, Miss Mary Frances Terrell in heavenly-blue net, and Miss

Virginia Ann Boyd in green net. Flower girl was Miss Karen Gale Wilkerson, who wore blue.

All of the bridesmaid dresses were drop-shoulder colonial in design, and were worn with poke bonnets in the same shades. They carried colonial nosegays of spring flowers with illusion.

The bride (See cover page), who was given in marriage by her father, wore a gown of white satin with sweetheart neckline and sleeves which came to a point over the wrist. It had a long satin train. From a coronet of lace and seeded pearls fell a finger-tip veil of illusion. Her only ornament was a strand of pearls, and she carried bouquet of white orchids with carnations and stephanotis.

Best man to the groom was Douglas E. Pitts, Jr. of Matador. Serving as ushers were Grady Register of Montgomery, Ala., Harold Creager of Corpus Christi, Dick Glover of Brownwood, Mack Jacobs of Matador, and Robert Horton of Del Rio.

For the reception at the home of

the bride's parents, Mrs. Street wore a dress of dusty pink crepe and a gardenia corsage.

In the receiving line were members of the bridal party, and the house party included Misses Claire Craddock, Carol Kies, Joyce Smith, Dorothy Moore, and Mrs. Wendell Faulkner.

Decorating the bride's table was a large bowl in which floated pastel flowers and candles. The three-tiered wedding cake was served by Mrs. Lee Satterwhite, while Mrs. Douglas Pitts, Jr. served the punch.

Out-of-town guests for the occasion included, besides those in the wedding party, Mr. and Mrs. R. O. Etter and Mr. and Mrs. Allen Harper and daughter.

Leave for New Mexico

For traveling, the bride wore a suit of dusty pink charmeen gabardine, with lizard bag and shoes. She accented her costume with white gloves and hat. After a 10-day honeymoon in Cloudcroft, N. M., the couple will be at home at 2813 1-2 Rio Grande.

Mrs. Pitts, a graduate of Austin High School, is now a senior at the University of Texas. She is a member of Alpha Phi sorority, the Pierian Literary Society, was a Bluebonnet Belle nominee and Navy Sweetheart Candidate in 1945.

Mr. Pitts, formerly an aviation cadet in the Navy Air Corps, will receive his bachelor of science in chemistry from the University of Texas in August. He is a member of Lambda Chi Alpha fraternity.

The Austin American (1914-1973); Austin, Tex.. 23 June 1946: A2.

Permits

OWNER	Chris Mertz	ADDRESS	1709 Wethersfield Rd.
PLAT	153	LOT	22
			BLK.
SUBDIVISION	Enfield F		
OCCUPANCY	repair & remodel res		
BLDG. PERMIT #	200352	DATE	8-5-80
		OWNERS	ESTIMATE 3,000.
CONTRACTOR	Jerry D. Marshall	NO. OF FIXTURES	
WATER TAP REC#		SEWER TAP REC#	

Connection Charge \$ 12.00 No 124984

Application for Sewer Connection.

Austin, Texas, April 17, 1936

To the Superintendent of Sewer and Public Improvements,
City of Austin, Texas

Sir:—

I hereby make application for sewer connection and instructions on premises owned by E. V. Cullen

at 1709 Wethersfield Rd. street,

further described as lot 22, block 22, outlot 22

subdivision Enfield F, division 90e, plat 90e

which place is to be used as a residence