

Tucker McMillan Residence

4601 Chiappero Trail Austin, Texas 78757 USA

symbol legend

1

drawing name

scale: 1/2" = 1'-0"

drawing id

north arrow

1

A200

building elevation tag
(arrow points in direction of view)

1

A300

building section tag
(arrow points in direction of view)

4

A400

2

interior elevation tag
(arrow points in direction of view)

2/A400

wall section tag
(arrow points in direction of view)

0"

10'

spot elevation tag

elevation tag

1

A500

detail tag

date

revision tag

living room

room tag

<ID>

surface tag

<ID>

window tag

<ID>

door tag

<ID>

wall tag

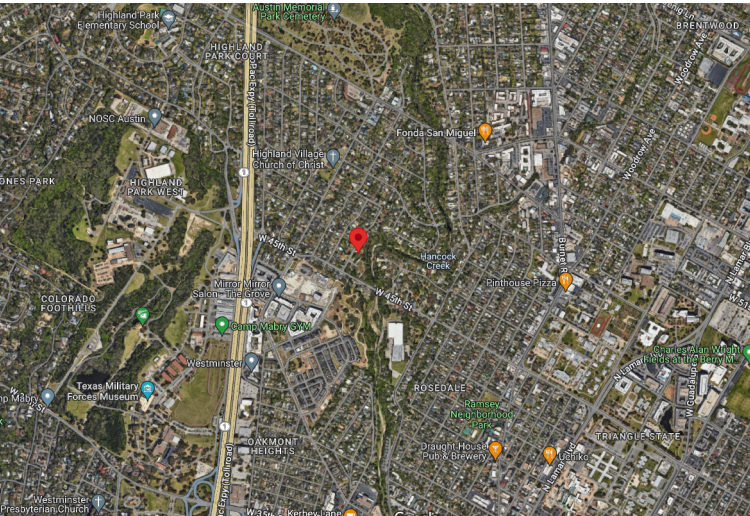
<ID>

plumbing fixture tag

<ID>

appliance tag

vicinity map



project team

owner
David Tucker & Emily McMillan-Tucker
4601 Chiappero, Austin TX 78757

architect + contractor
Moontower Design Build
828 Airport Blvd, Austin TX 78702
contact: Claudia de la Vega
claudia@moontoweraustin.com
512.953.9261

structural engineer
Patterson Engineering Inc.
contact: Matthew Pearson
Matthew@pattersoneng.com
915.588.0345

geotechnical engineer
Gessner Engineering
401 W 26th Street, Suite 3, Bryan TX, 77803
contact: Katie Ward
#Geotechnical Engineer Email
1-877-GESSNER

surveyor
B&G Surveying LLC
1404 West North Loop Blvd, Austin TX, 78756
512-458-6969

project description

Full remodel and addition on to an existing-
one-story single family home.

sheet index

A Cover Sheet & COA		
A00	cover sheet	
A001	plot plan	
AD0 Demolition plans		
AD01	demolition site plan	
AD02	demolition floor plan	
AD03	demolition roof plan	
D Discovery		
D01	3D Views	
D02	3D Views	
A1 plans		
A100	site plan	
A101	house 1st floor plan	
A102	house 2nd floor plan	
A103	house roof plan	
A117	pool house floor plan and roof plan	
A2 elevations		
A201	house exterior elevations	
A202	house exteriorelevations	
A203	pool house exterior elevations	

abbreviations

a.f.f.	Above Finish Floor
b.o.	Bottom Of
clg.	Ceiling
cmu	Concrete Masonry Unit
col.	Column
dia.	Diameter
dim.	Dimension
DN	Down
eq.	Equal
f.f.	Finished Face or Finish Floor
f.f.e.	Finish Floor Elevations
gwb	Gypsum Wall Board
max.	Maximum
mech.	Mechanical
min.	Minimum
rcp	Reflected Ceiling Plan
ref.	Reference
r.o.	Rough Opening
sf	Square Feet
spec.	Specification
t.o.	Top Of
t&g	Tongue and Groove
typ.	Typical
u.n.o.	Unless Noted Otherwise
v.i.f.	Verify In Field
dw	Dishwasher
fridge.	Refrigerator
freez.	Freezer
bev.	Beverage Refrigerator
wine	Wine Refrigerator
ice	Ice Maker
range	Range
ctop	Cooktop
micro.	Microwave
oven	Oven
hood	Vent Hood
w/d	Stacked washer and dryer
wash.	Washing Machine
dry.	Dryer
furn.	Furnace
w/h	Water Heater
a/h	Air Handler
a/c	Condenser
h/b	Hose Bib
gas	Gas Line
h2o	Water Line

general notes

- All conflicts to be brought to the attention of the Architect prior to performing work.
- The dimensions are to face of framing and/or masonry, exterior face of fascia, and centerline of column and/or beam, unless noted otherwise.
- The Builder to field verify all dimensions prior to demolition. If a discrepancy is identified, please notify the Architect immediately.
- Do not scale the drawings. If a specific dimension is not given, contact the Architect for clarification.



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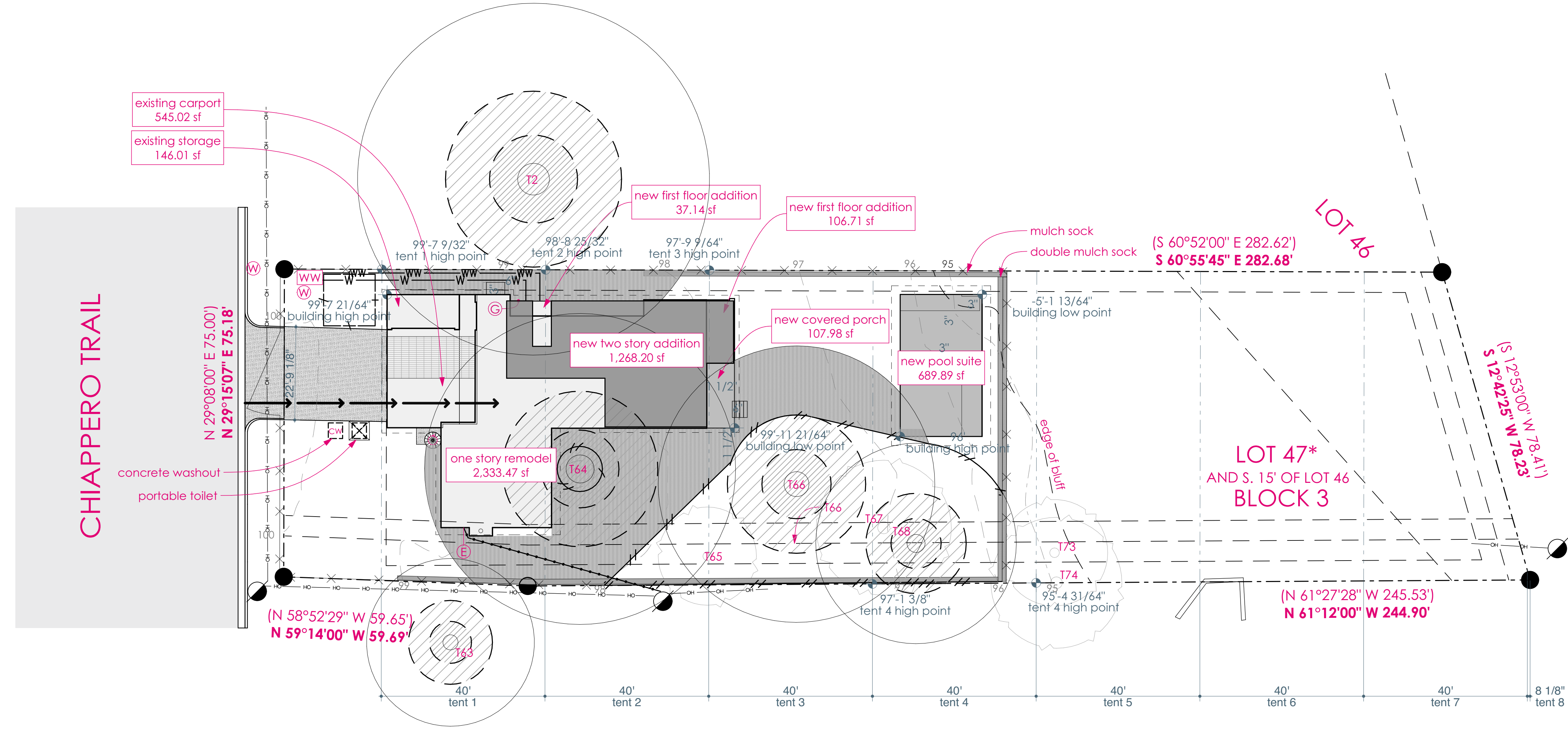
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Issue:	Date:
BP1	12/21/23
Building Permit	2/21/24
DD Set	2/26/24
HLC Set	2/26/24

A00

cover sheet



tree schedule			critical root zones		
tree ID	species	trunk diameter	1/4	1/2	full
T2	oak	43"	10.75'	21.5'	43'
T63	elm	20.5"	5.125'	10.25'	20.5'
T64	oak	38"	9.5'	19'	38'
T65	oak	12"	-	-	12'
T66	oak	38.8"	8.45'	16.9'	38.8'
T67	oak	16.5"	-	-	16.5'
T68	oak	24.5"	6.125'	12.25'	24.5'
T73	elm	13"	-	-	13'
T74	elm	16"	-	-	16'

- plot plan general notes**
- It is the Architect and Owner's intent to protect all trees in proximity to the construction area from damage or injury due to construction. The suggestions for tree protection provided below are not guaranteed to fully protect the trees.
 - Tree protection shall be installed prior to the start of any site work, including demolition or site preparation. Refer to ECM 3.6.1.A.
 - Portable toilets shall not be located within the 50% Critical Root Zone (CRZ).
 - The area designated for concrete washout must not be within the CRZ of any tree and if possible should be located in a place that will be later covered with hardscaping or flatwork to minimize impact to future landscaping.
 - Any excavation, cut or fill, in the CRZ of any tree shall be approved by the City Arborist prior to any work being performed. All excavation, cut or fill within the 50% CRZ shall be performed with hand tools and or air spade as directed by the City Arborist.
 - No compaction of soils shall be permitted in the 50% CRZ of any protected trees. Additionally no removal or replacement of any soils required by the geotechnical engineer shall be performed in the 50% of any protected trees.
 - Any and all tree pruning shall be assessed by the City Arborist and performed per their recommended means and methods.

- plot plan legend**
- 8" mulch bed to protect tree CRZ
 - mulch sock
 - material staging area
 - temporary 5' tall chain link fence
 - temporary security fence
 - site access route
 - trash dumpster
 - temporary toilet
 - concrete washout (cw)



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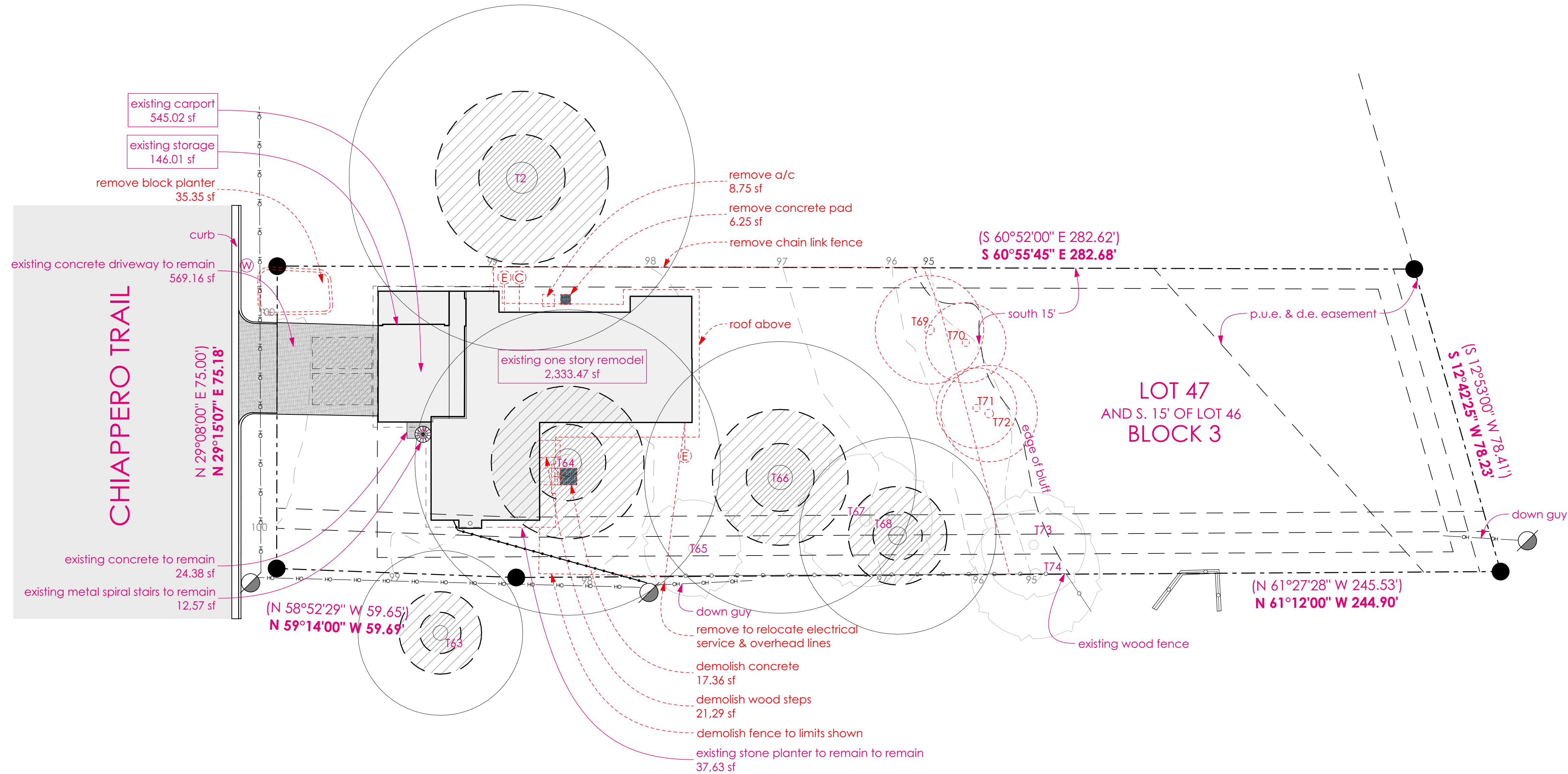
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tree schedule						
status	tree ID	species	trunk diameter	critical root zones		
				1/4	1/2	full
Existing						
	T2	oak	43"	10.75'	21.5'	43'
	T63	elm	20.5"	5.125'	10.25'	20.5'
	T64	oak	38"	9.5'	19'	38'
	T65	oak	12"	-	-	12'
	T66	oak	38.8"	8.45'	16.9'	38.8'
	T67	oak	16.5"	-	-	16.5'
	T68	oak	24.5"	6.125'	12.25'	24.5'
	T73	elm	13"	-	-	13'
	T74	elm	16"	-	-	16'
To Be Demolished						
	T69	elm	13.5"	-	-	13.5'
	T70	elm	10"	-	-	10'
	T71	elm	10"	-	-	10'
	T72	elm	14"	-	-	14'

- demolition site plan general notes**
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- demolition site plan legend**
- dashed elements to be removed



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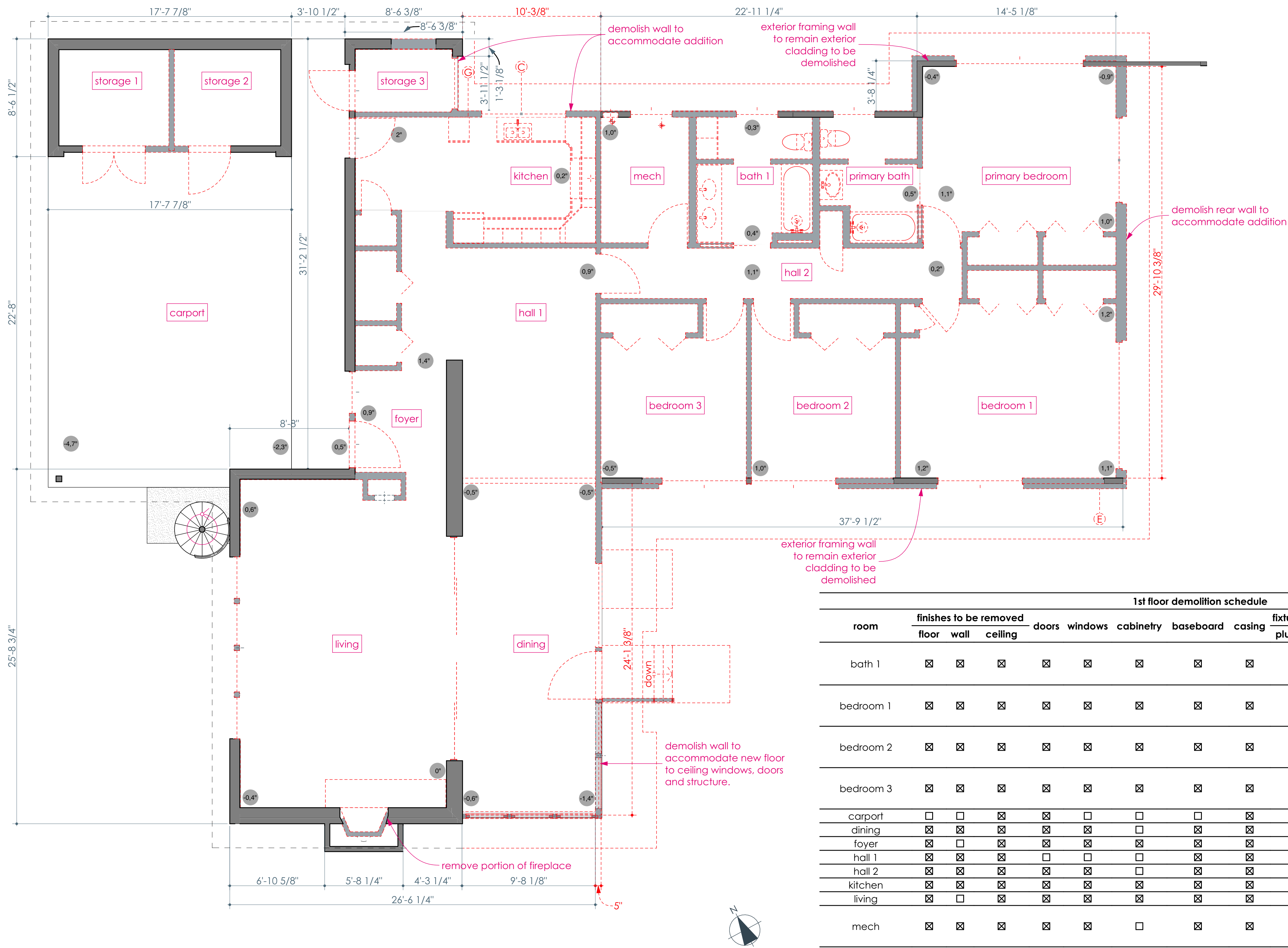
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demolition legend

elements to remain

elements to be removed

existing finish elevations recorded with a zip level

- demolition general notes
- Remove all windows and doors. Salvage louvered windows and store for reuse.
 - Remove HVAC system.
 - Remove all plumbing fixtures, light fixtures, millwork, and interior trim.
 - Remove all drywall.
 - Remove all flooring.
 - Remove all exterior siding. Salvage wood siding and store for reuse.



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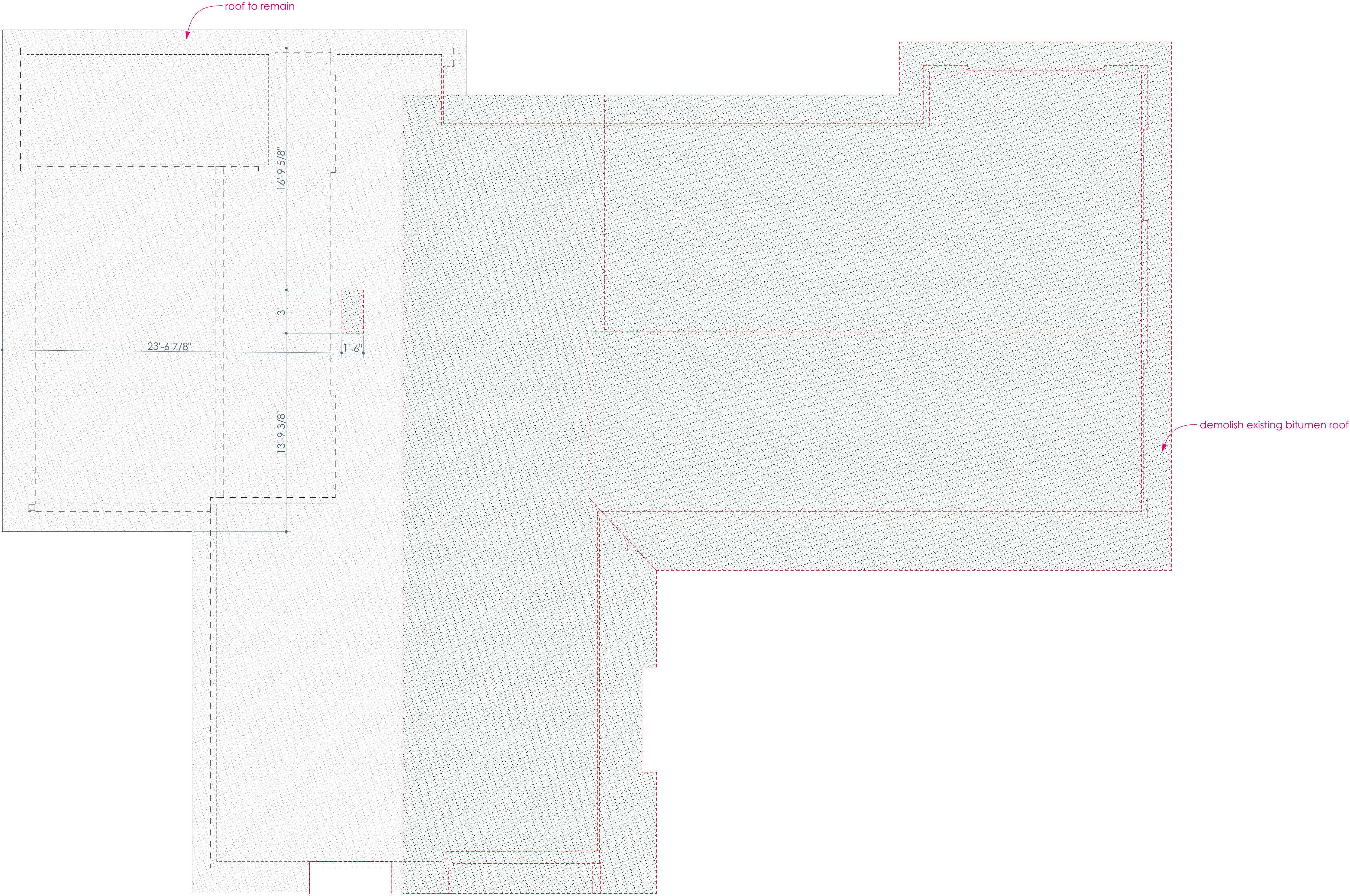
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1st floor demolition schedule											
room	finishes to be removed			doors	windows	cabinetry	baseboard	casing	fixtures to be removed		notes
	floor	wall	ceiling						plumbing	light	
bath 1	☒	☒	☒	☒	☒	☒	☒	☒	☐	☒	salvage tub; store for reuse. exterior walls to remain, remove existing windows, prepare for new window openings
bedroom 1	☒	☒	☒	☒	☒	☒	☒	☒	☐	☒	exterior walls to remain, remove existing windows, prepare for new window openings
bedroom 2	☒	☒	☒	☒	☒	☒	☒	☒	☐	☒	exterior walls to remain, remove existing windows, prepare for new window openings
bedroom 3	☒	☒	☒	☒	☒	☒	☒	☒	☐	☒	exterior walls to remain, remove existing windows, prepare for new window openings
carport	☐	☐	☒	☒	☐	☐	☐	☒	☒	☒	
dining	☒	☒	☒	☒	☒	☐	☒	☒	☐	☒	
foyer	☒	☐	☒	☒	☒	☒	☒	☒	☐	☒	
hall 1	☒	☒	☒	☐	☐	☐	☒	☒	☐	☒	
hall 2	☒	☒	☒	☒	☒	☐	☒	☒	☐	☒	
kitchen	☒	☒	☒	☒	☒	☒	☒	☒	☒	☒	salvage sconces; store for reuse
living	☒	☐	☒	☒	☒	☒	☒	☒	☐	☒	salvage louvered window; store for reuse
mech	☒	☒	☒	☒	☒	☐	☒	☒	☒	☒	exterior walls to remain, remove existing windows, prepare for new window openings
primary bath	☒	☐	☒	☒	☒	☒	☒	☒	☒	☒	salvage tub; store for reuse. exterior walls to remain, remove existing windows, prepare for new window openings
primary bedroom	☒	☒	☒	☒	☒	☒	☒	☒	☐	☒	
storage 1	☒	☒	☒	☒	☐	☒	☒	☒	☐	☒	
storage 2	☒	☒	☒	☒	☐	☒	☒	☒	☐	☒	
storage 3	☒	☒	☒	☒	☒	☒	☒	☒	☐	☒	



demolition roof plan legend

existing roof framing to remain

framing to be removed

roof finish to be removed

MOON TOWER

DESIGN & BUILD

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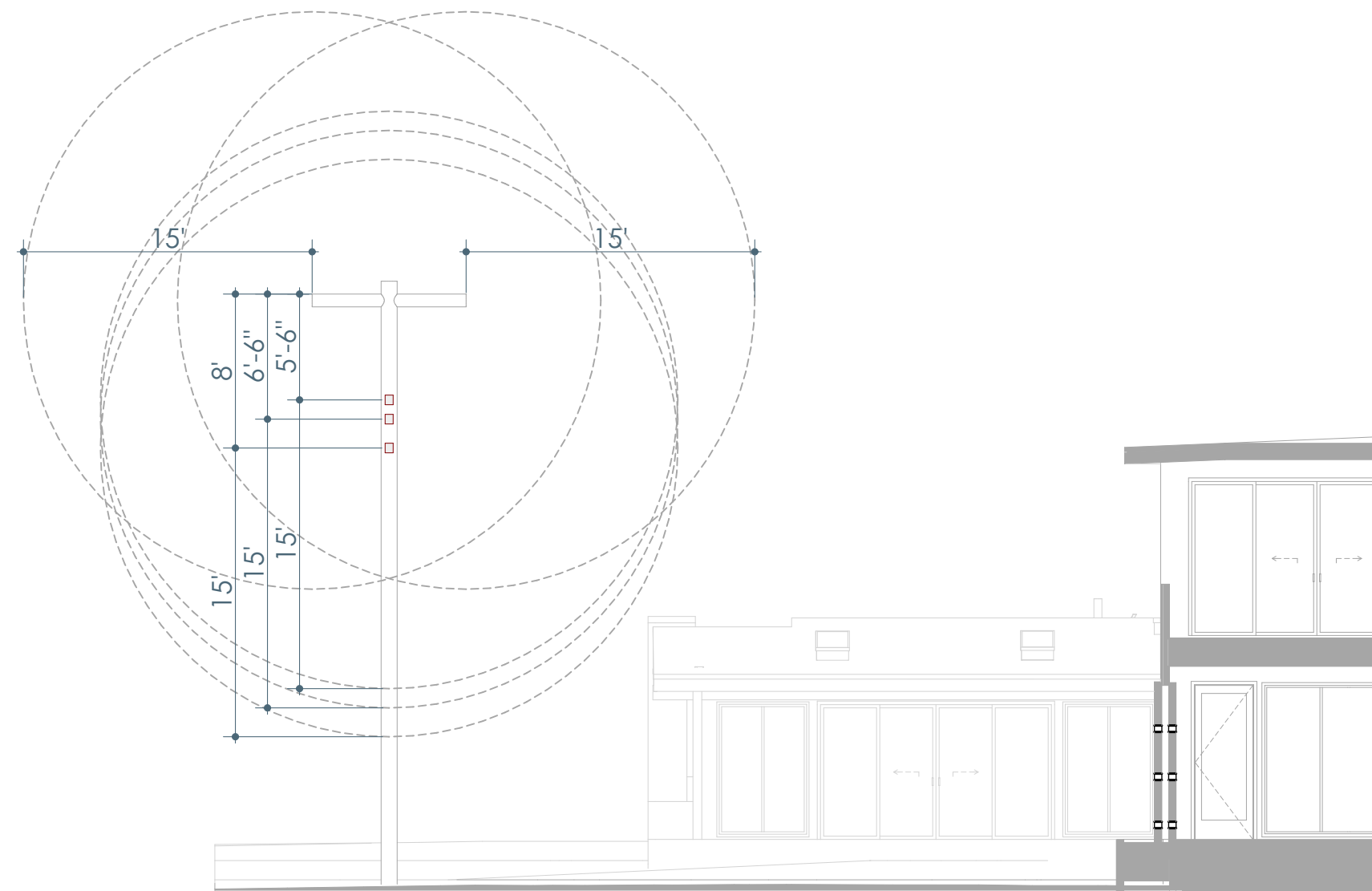
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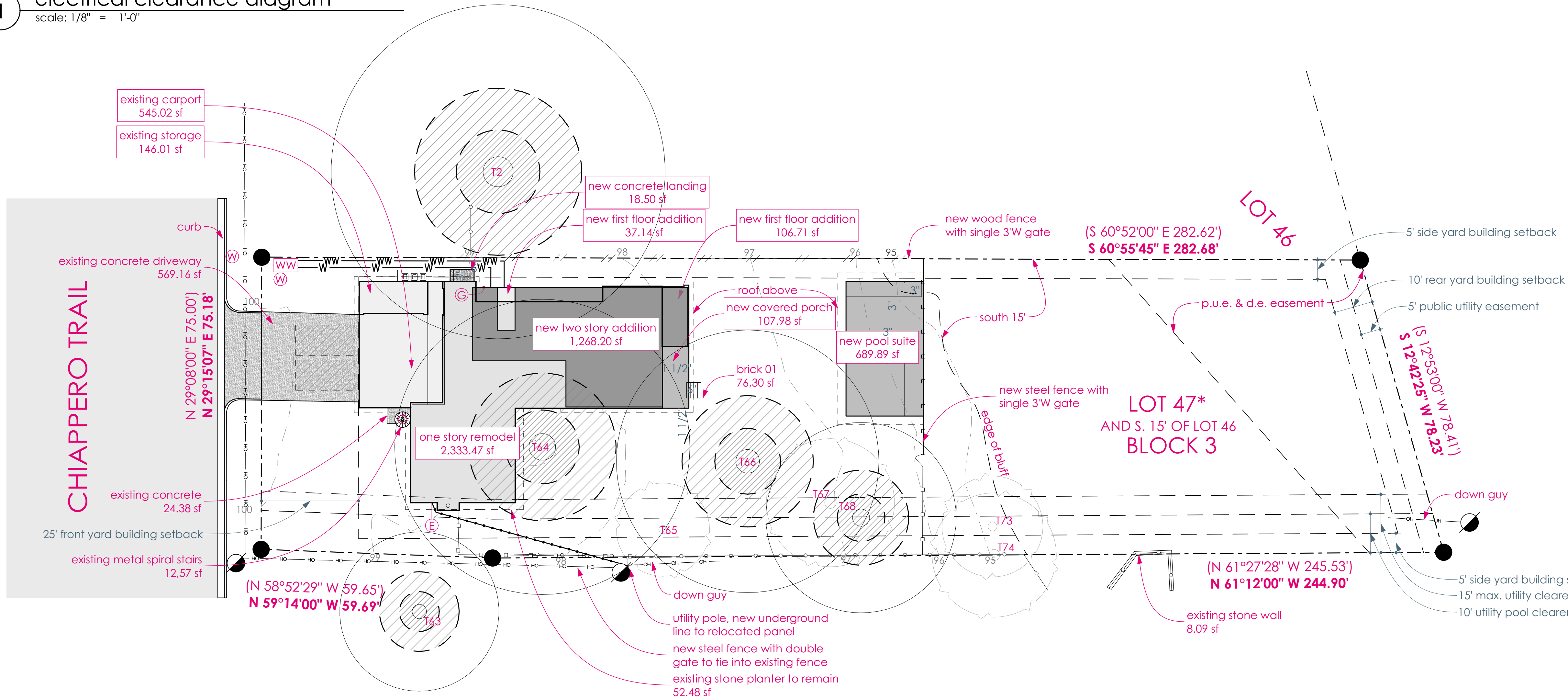
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1 electrical clearance diagram
scale: 1/8" = 1'-0"



2 proposed site plan
scale: 1/16" = 1'-0"

tree schedule			critical root zones		
tree ID	species	trunk diameter	1/4	1/2	full
			1/4	1/2	full
T2	oak	43"	10.75'	21.5'	43'
T63	elm	20.5"	5.125'	10.25'	20.5'
T64	oak	38"	9.5'	19'	38'
T65	oak	12"	-	-	12'
T66	oak	38.8"	8.45'	16.9'	38.8'
T67	oak	16.5"	-	-	16.5'
T68	oak	24.5"	6.125'	12.25'	24.5'
T73	elm	13"	-	-	13'
T74	elm	16"	-	-	16'

proposed site plan general notes

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proposed site plan legend	
	topographic lines
	1'-0" interval property line
	building setback line
	tent setback plane
	overhead utility line
	underground electrical line
	underground waste water line
	water line
	proposed steel fence
	existing fence
	proposed wood fence
	8.5' x 17' parking space
	asphalt
	concrete
	25% critical root zone
	50% critical root zone
	power pole
	electrical meter
	water meter
	water valve
	gas meter
	waste water tap
	clean out

seal:

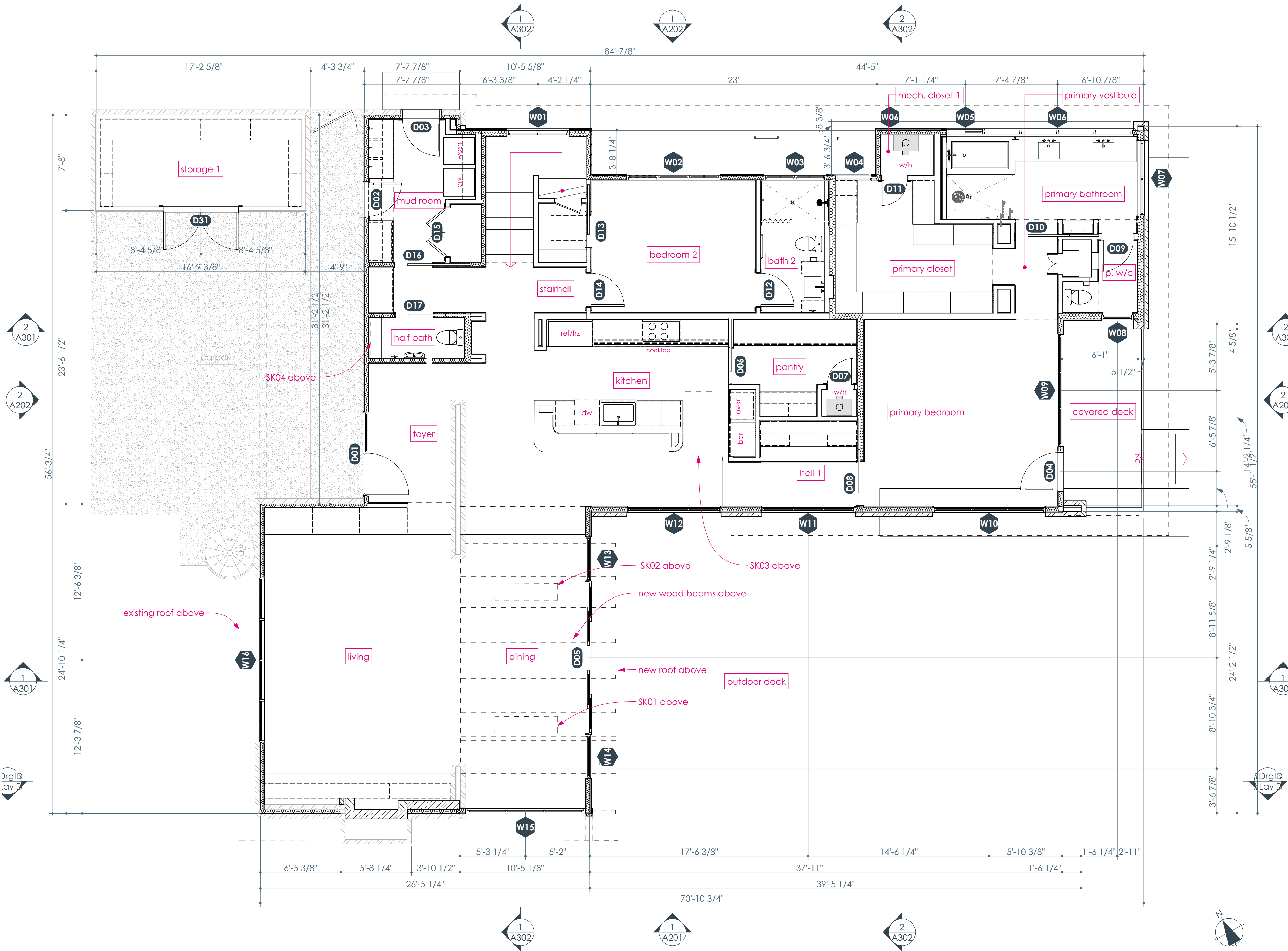
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1 house 1st floor plan
scale: 1/4" = 1'-0"

proposed floor plan general notes

- All furniture and televisions to be provided by Owner unless noted otherwise.
- Provide smoke detector system - hard wired, interconnected, battery backup, at each sleeping room and vicinity, if applicable as well on each additional story within the dwelling unit including in basements. In accordance with 2021 IRC Sec R314.
- Approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances re installed and in dwelling units that have attached garages. In accordance with 2021 IRC sec R315.1.
- Provide or upgrade Clothes Dryer Exhaust System at laundry enclosure. Per 2021 IRC section M1502.

1st floor room schedule		
room name	area	ceiling height
bath 2	58.88	9'
bedroom 2	140.77	9'
carport	572.09	8'
covered deck	88.76	9'
dining	246.20	8'-1 1/2" to 9'-7 3/4"
foyer	74.96	8'
half bath	25.10	8'
hall 1	64.52	8'
kitchen	319.35	9'
living	369.69	8'
mech. closet 1	14.08	8'
mud room	87.86	8'
outdoor deck	546.52	9'
p. w/c	26.64	9'
pantry	67.23	8'
pool bath	17.75	9'
primary bathroom	110.14	9'
primary bedroom	234.22	9'
primary closet	122.35	9'
primary vestibule	50.30	8'
stairhall	79.16	8' to 9'
storage 1	112.80	8'
storage 2	22.43	9'
storage 3	239.30	9'
studio	239.30	9'



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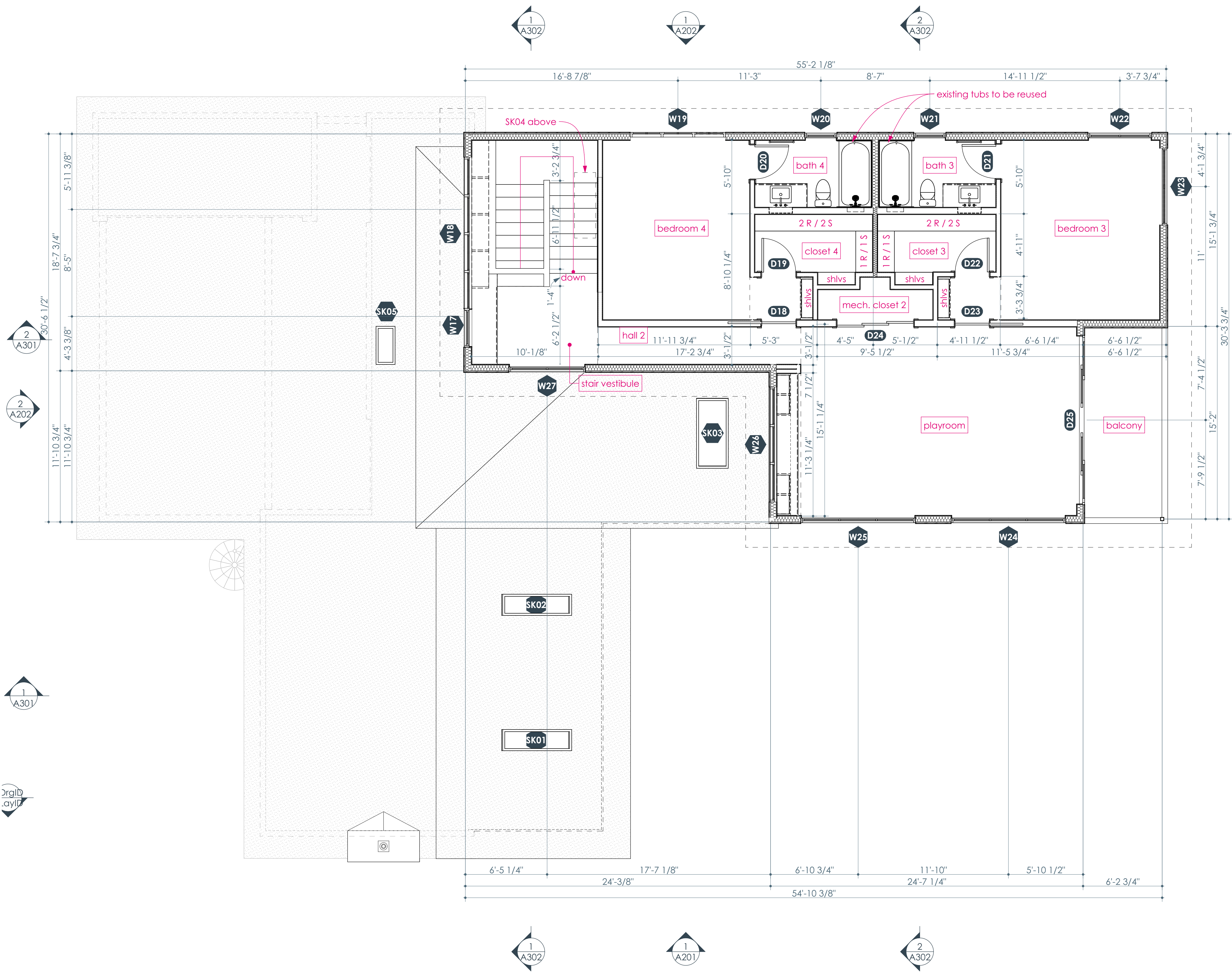
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- Approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances re installed and in dwelling units that have attached garages. In accordance with 2021 IRC sec R315.1.
- Provide or upgrade Clothes Dryer

2nd floor room schedule		
room name	area	ceiling height
balcony	101.64	9'
bath 3	50.74	9'
bath 4	50.52	9'
bedroom 3	192.49	9'
bedroom 4	166.17	9'
closet 3	45.62	8'
closet 4	45.49	8'
hall 2	137.54	8'
mech. closet 2	25.64	8'
playroom	349.89	9'
stair vestibule	137.54	9'



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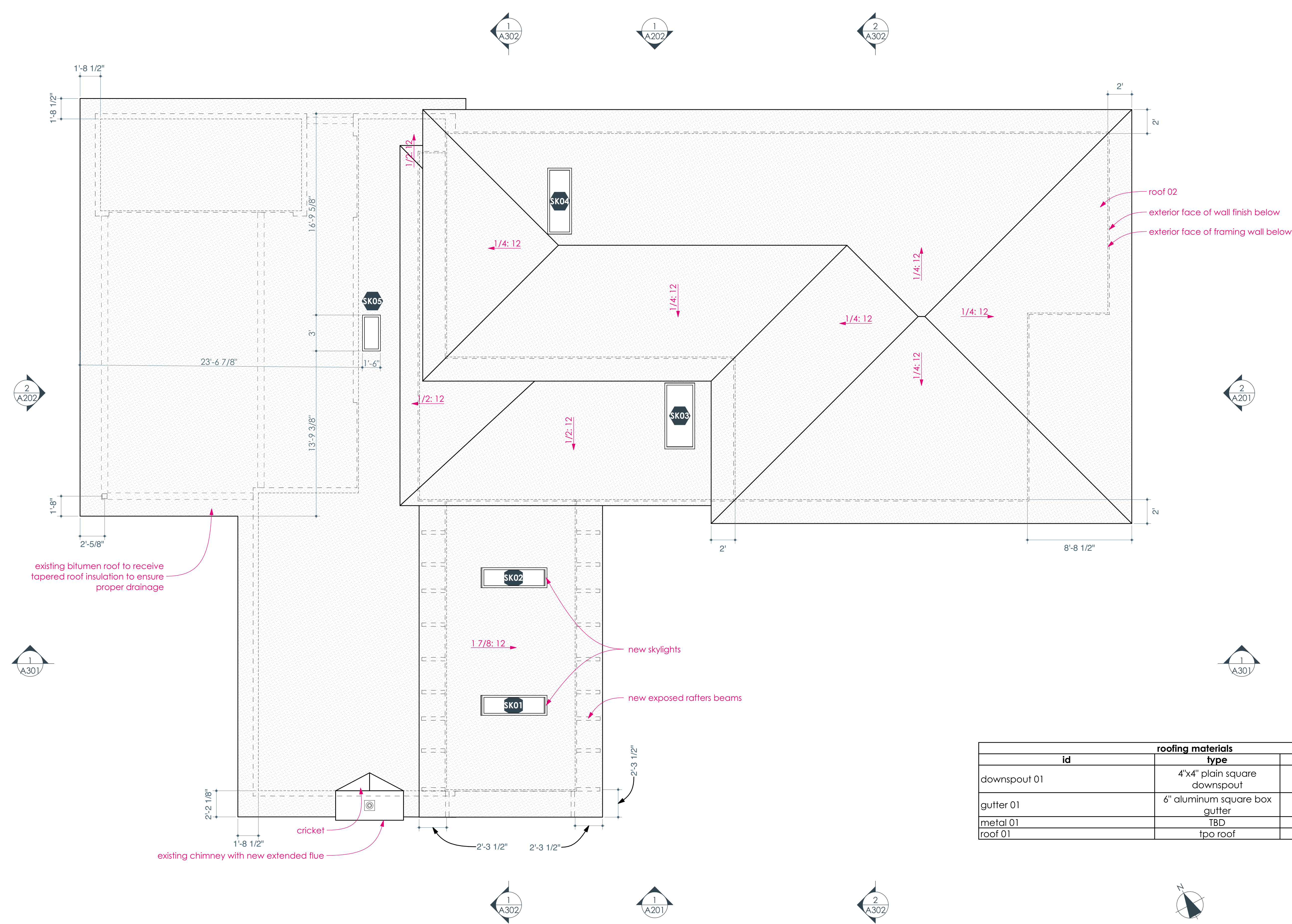
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roofing materials		
id	type	color
downspout 01	4"x4" plain square downspout	dark bronze
gutter 01	6" aluminum square box gutter	dark bronze
metal 01	TBD	TBD
roof 01	tpo roof	TBD

1 house roof plan
scale: 1/4" = 1'-0"

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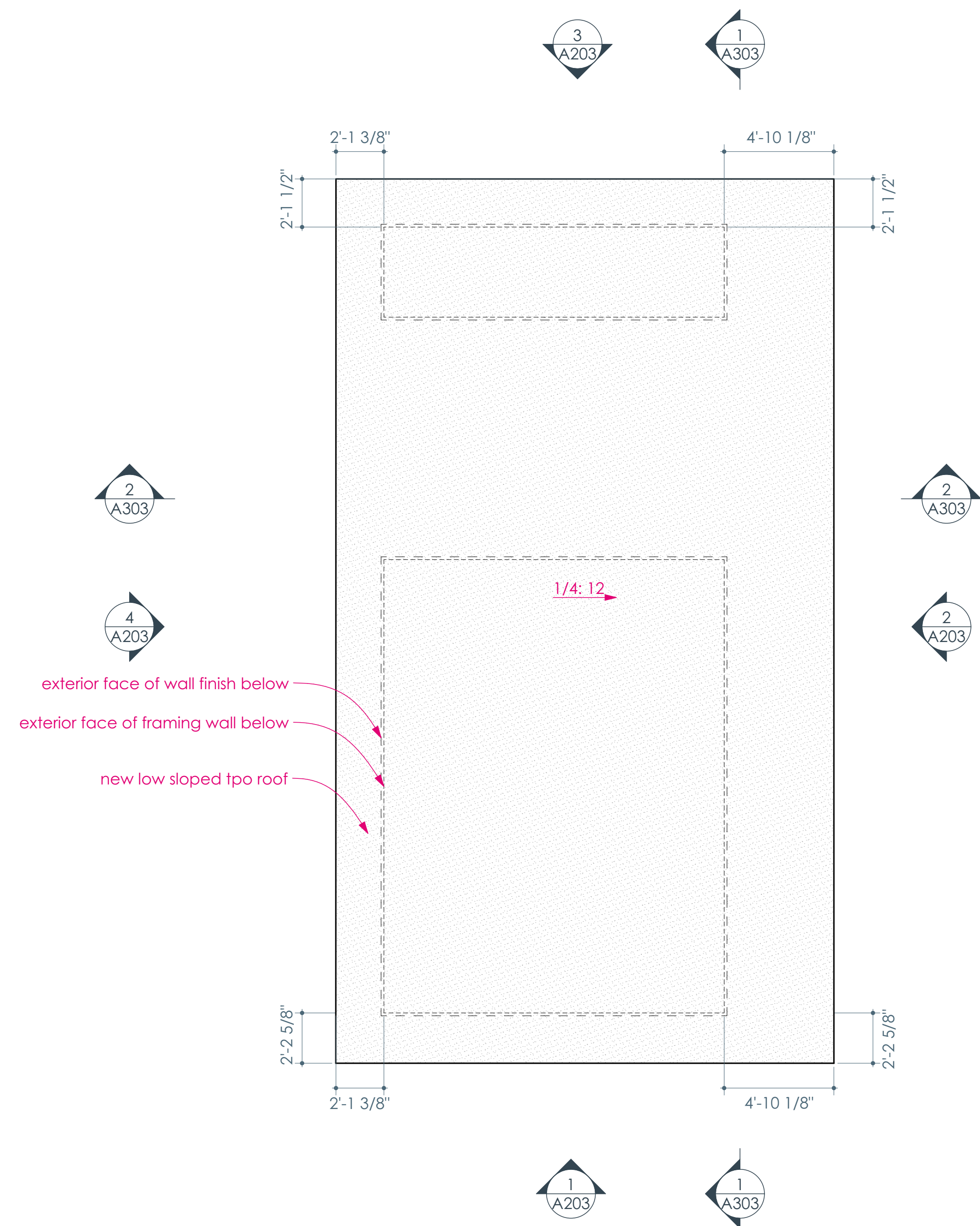
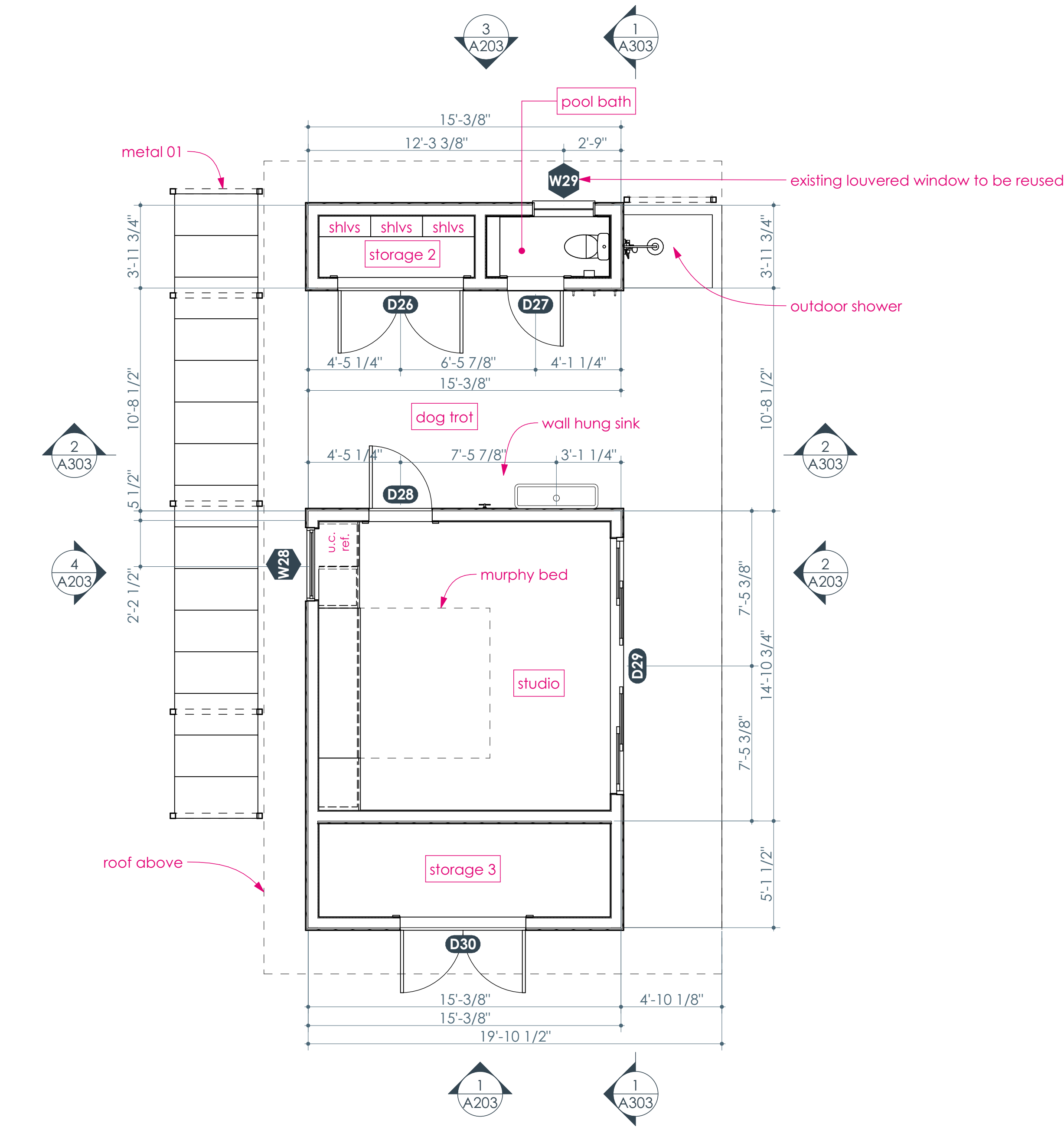
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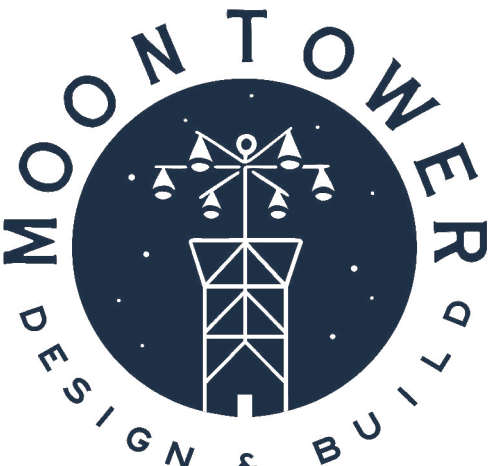
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- Approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances re installed and in dwelling units that have attached garages. In accordance with 2021 IRC sec R315.1.
- Provide or upgrade Clothes Dryer Exhaust System at laundry enclosure. Per 2021 IRC section M1502.

adu room schedule		
room name	area	ceiling height
dog trot	326.90	9'-4" to 8'-11 1/8"



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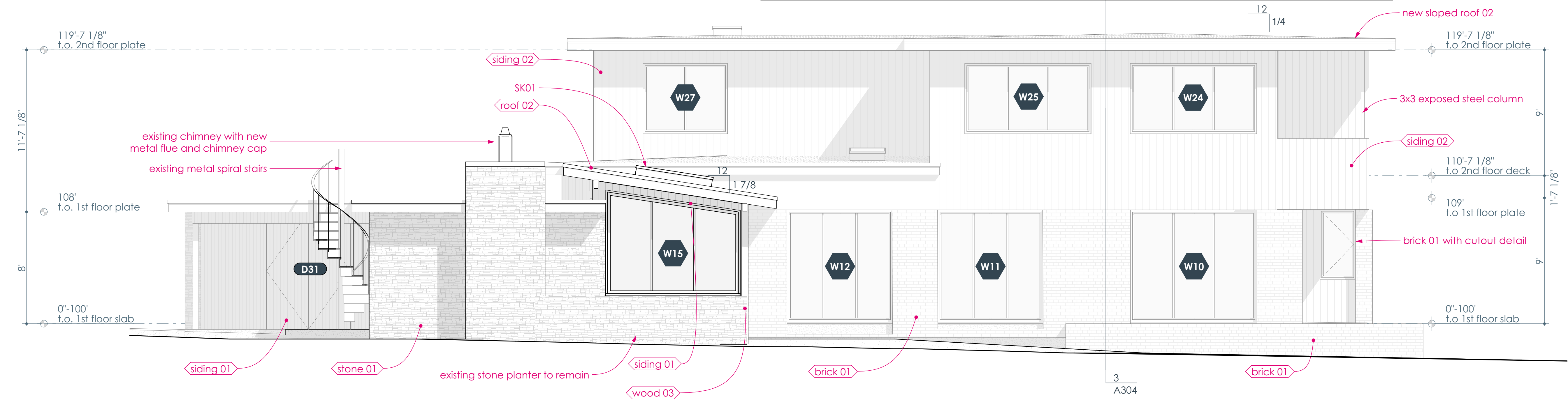
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A117
pool house floor plan
and roof plan

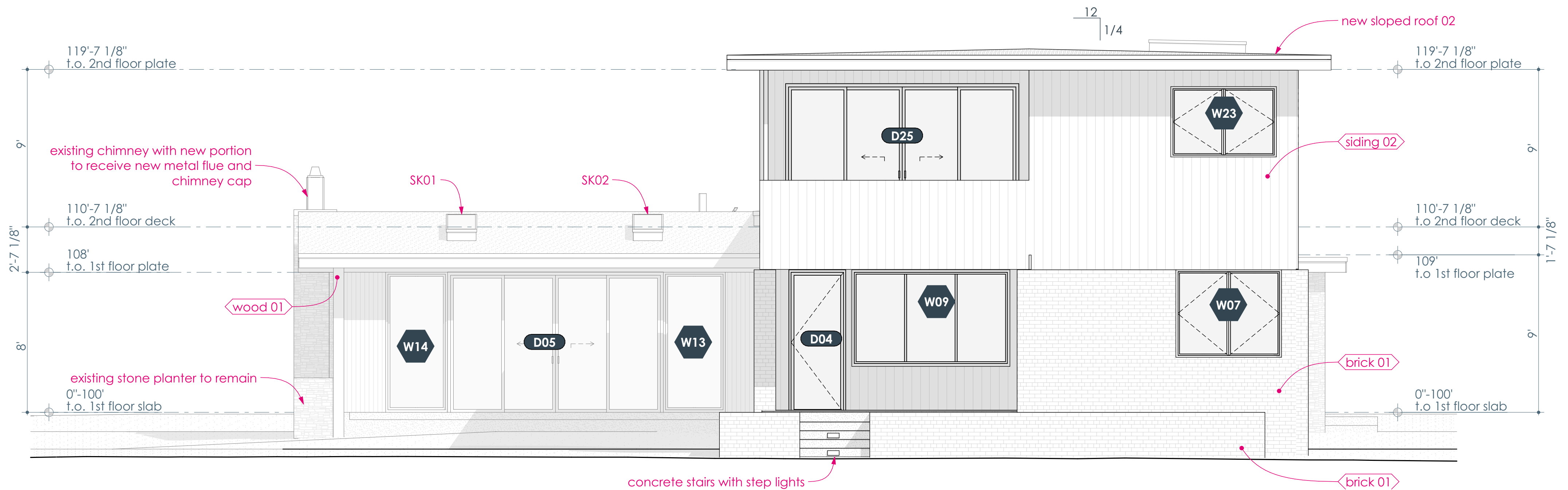
MT exterior finishes			
id.	description	finish	notes
brick 01	Acme modular brick smooth	Dove Gray	-
downspout 01	4"x4" plain square downspout	dark bronze aluminum	-
gutter 01	6" square box gutter	dark bronze aluminum	-
metal 01	McNichols 16 gauge Eco-Mesh 2" square mesh	-	-
metal 02	McNichols 16 gauge 1/2" square mesh	-	-
roof 01	bitumen roof	-	match existing roof
roof 02	TPO roof	-	-
siding 01	western red cedar 1x3 dime gap vertical cladding	-	-
siding 02	Kebony clear rectangular 6" wide vertical cladding	-	-
stone 01	match existing stone	-	-
wood 03	1"x4" pine, primed for paint	BM- Mink 2112-10	-

building elevation project notes

- All building elevations are relative to the top of slab set at 100'-0" unless otherwise noted. The Builder shall identify a bench mark on the site for all exterior and landscape dimensions relative to the floor elevation.



1 house south elevation
scale: 1/4" = 1'-0"



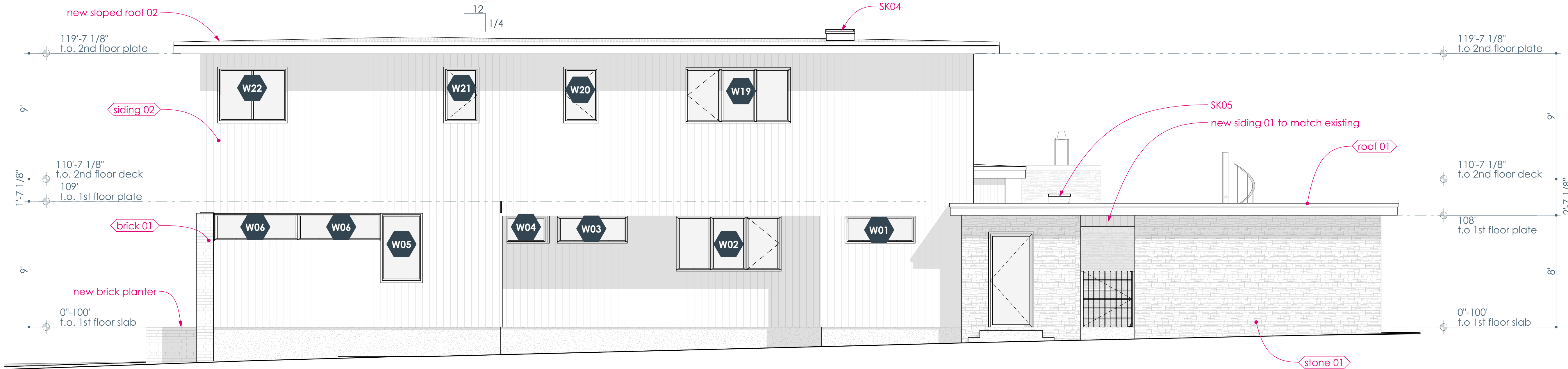
2 house east elevation
scale: 1/4" = 1'-0"

seal:

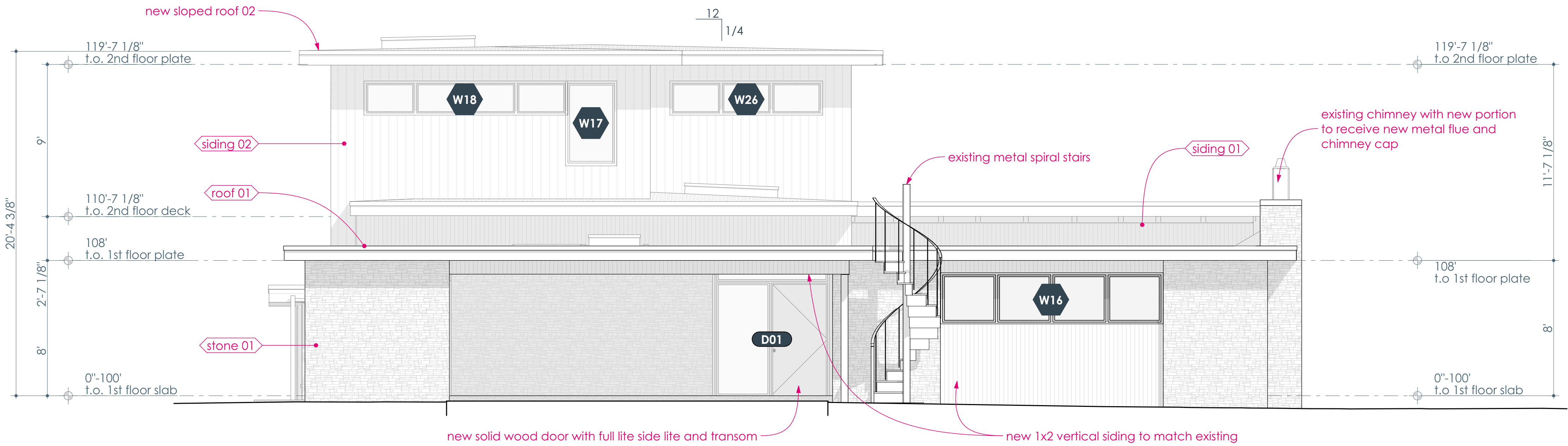
MT exterior finishes			
id.	description	finish	notes
brick 01	Acme modular brick smooth	Dove Gray	-
downspout 01	4"x4" plain square downspout	dark bronze aluminum	-
gutter 01	6" square box gutter	dark bronze aluminum	-
metal 01	McNichols 16 gauge Eco-Mesh 2" square mesh	-	-
metal 02	McNichols 16 gauge 1/2" square mesh	-	-
roof 01	bitumen roof	-	match existing roof
roof 02	TPO roof	-	-
siding 01	western red cedar 1x3 dime gap vertical cladding	-	-
siding 02	Kebony clear rectangular 6" wide vertical cladding	-	-
stone 01	match existing stone	-	-
wood 03	1"x4" pine, primed for paint	BM- Mink 2112-10	-

building elevation project notes

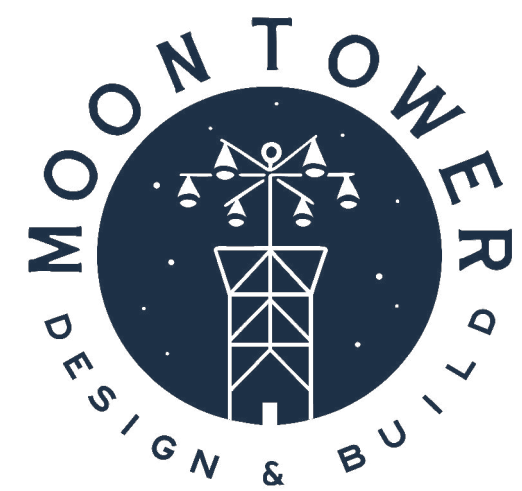
• All building elevations are relative to the top of slab set at 100'-0" unless otherwise noted. The Builder shall identify a bench mark on the site for all exterior and landscape dimensions relative to the floor elevation.



1 house north elevation
scale: 1/4" = 1'-0"



2 house west elevation
scale: 1/4" = 1'-0"



828 Airport Blvd. Austin, TX 78702
moontoweraustin.com | 512.953.9261

Tucker McMillan
Residence
4601 Chiappero Trail
Austin, Texas
78757

seal:

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scale:

If printed on a 22"x34" sheet the scale is as indicated.
If printed on a 11"x17" sheet the scale is reduced by half.

Issue:	Date:
BP1	12/21/23
Building Permit	2/21/24
DD Set	2/26/24
HLC Set	2/26/24

seal:

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scale:

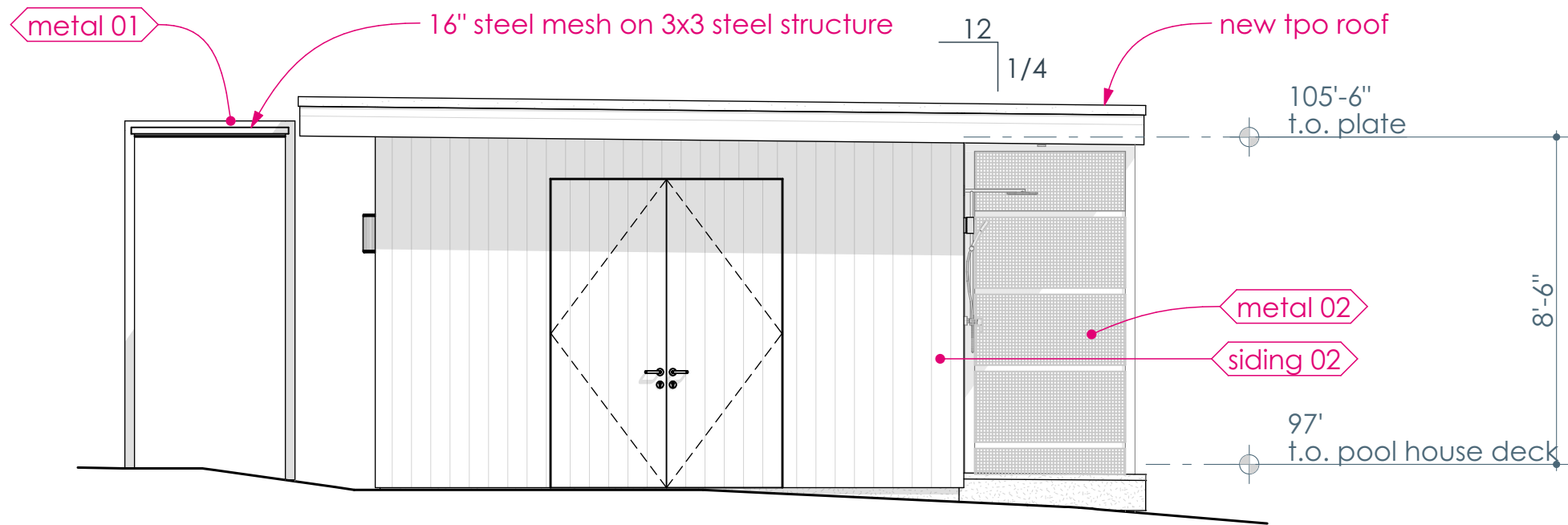
If printed on a 22"x34" sheet the scale is as indicated.
If printed on a 11"x17" sheet the scale is reduced by half.

Issue:	Date:
BP1	12/21/23
Building Permit	2/21/24
DD Set	2/26/24
HLC Set	2/26/24

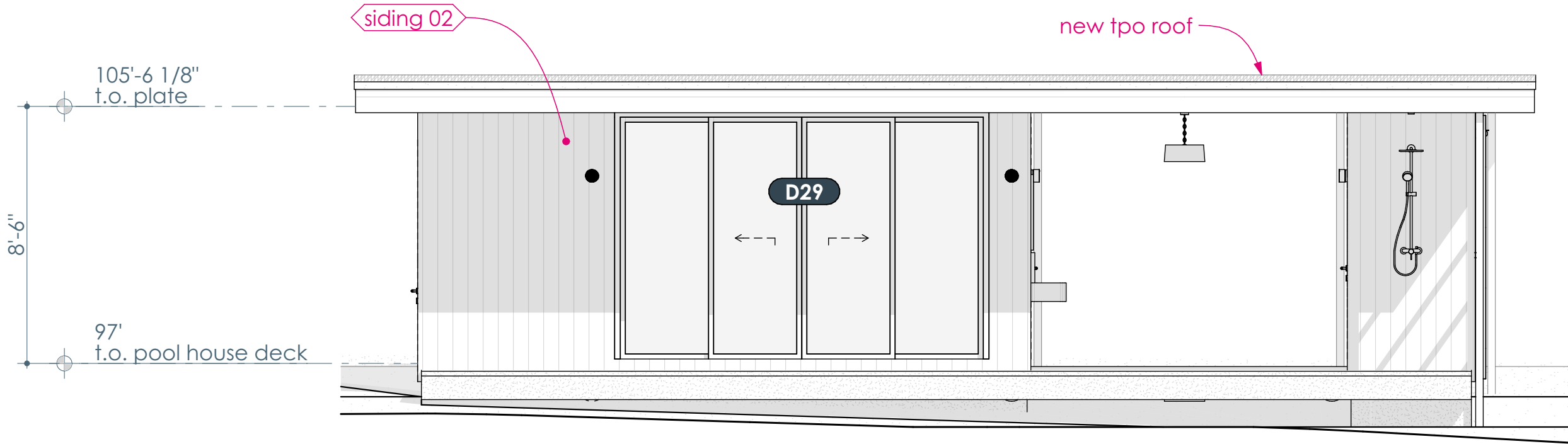
building elevation project notes

- All building elevations are relative to the top of slab set at 100'-0" unless otherwise noted. The Builder shall identify a bench mark on the site for all exterior and landscape dimensions relative to the floor elevation.

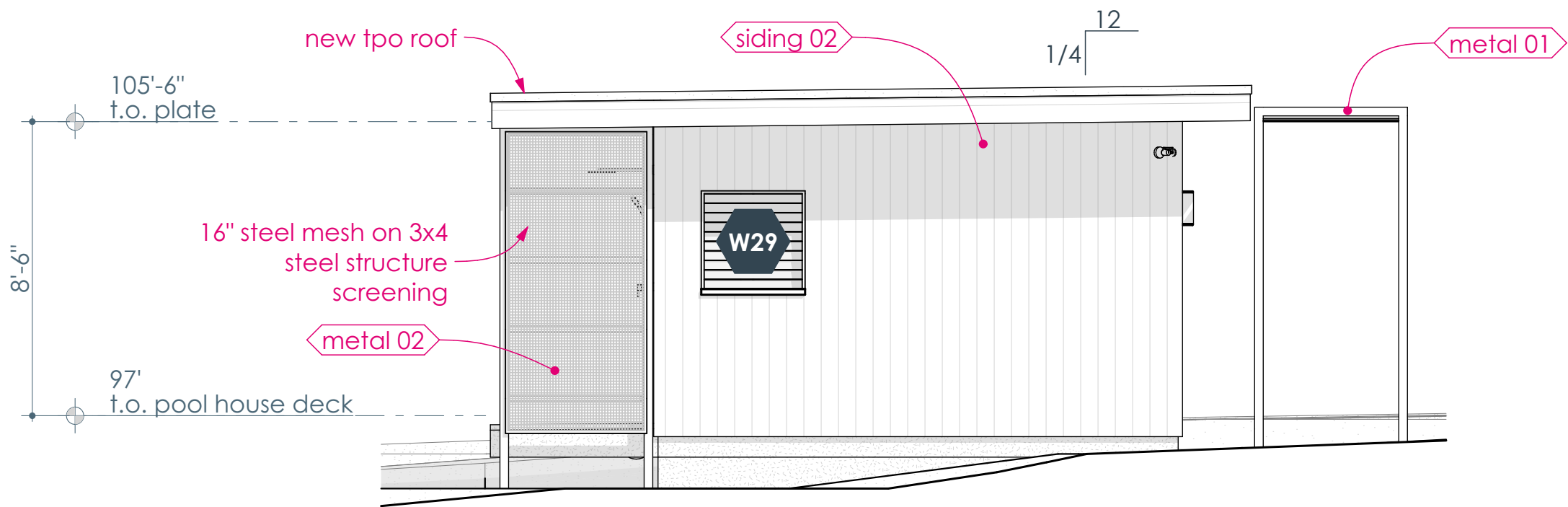
MT exterior finishes			
id.	description	finish	notes
brick 01	Acme modular brick smooth	Dove Gray	-
downspout 01	4"x4" plain square downspout	dark bronze aluminum	-
gutter 01	6" square box gutter	dark bronze aluminum	-
metal 01	McNichols 16 gauge Eco-Mesh 2" square mesh	-	-
metal 02	McNichols 16 gauge 1/2" square mesh	-	-
roof 01	bitumen roof	-	match existing roof
roof 02	TPO roof	-	-
siding 01	western red cedar 1x3 dime gap vertical cladding	-	-
siding 02	Kebony clear rectangular 6" wide vertical cladding	-	-
stone 01	match existing stone	-	-
wood 03	1"x4" pine, primed for paint	BM- Mink 21 12-10	-



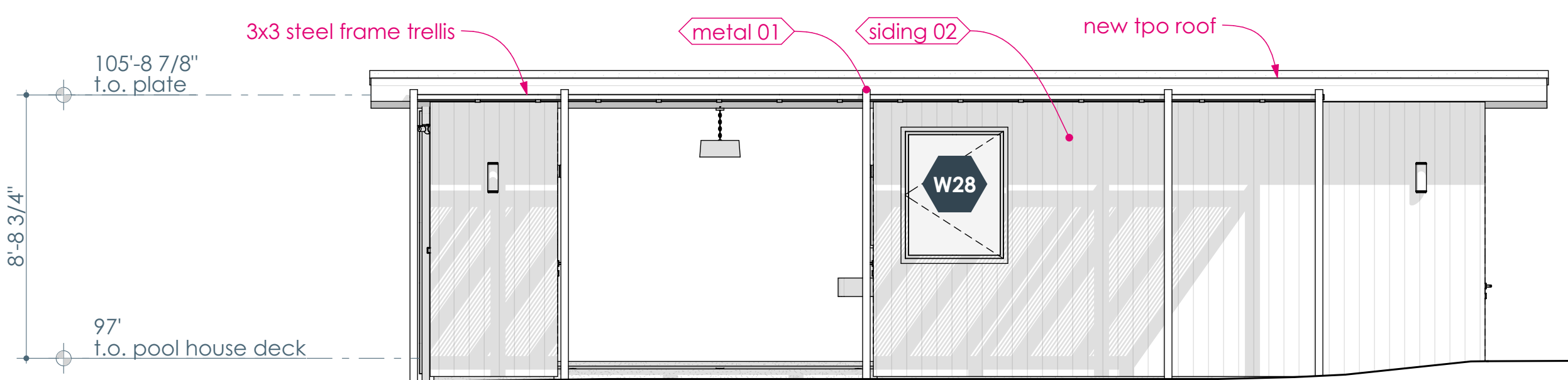
1 pool house south elevation
scale: 1/4" = 1'-0"



2 pool house east elevation
scale: 1/4" = 1'-0"



3 pool house north elevation
scale: 1/4" = 1'-0"



4 pool house west elevation
scale: 1/4" = 1'-0"



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project:
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4601 Chiappero Trail
Austin, Texas 78757

date:
February 8, 2024

3D Views



South end Perspective



North end Perspective



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3D Views