



ADMINISTRATIVE CONSTRUCTION PROCEDURES FOR GENERAL CONTRACTORS

REQUESTS FOR INFORMATION (RFIS)

IMMEDIATELY ON DISCOVERY OF THE NEED FOR ADDITIONAL INFORMATION OR INTERPRETATION OF THE CONTRACT DOCUMENTS, CONTRACTOR SHALL PREPARE AND SUBMIT AN RFI FORM TO THE ARCHITECT VIA EMAIL.

CONTENT OF THE RFI FORM: INCLUDE A DETAILED, LEGIBLE DESCRIPTION OF ITEM NEEDING INFORMATION OR INTERPRETATION AND THE FOLLOWING:

1. PROJECT NAME
2. PROJECT NUMBER
3. DATE, NAME OF CONTRACTOR
4. NAME OF ARCHITECT
5. RFI NUMBER, NUMBERED SEQUENTIALLY
6. RFI SUBJECT, EMAIL SUBJECT LINE TO MATCH RFI SUBJECT
7. CONTRACTOR'S SUGGESTED RESOLUTION, IF CONTRACTOR'S SUGGESTED RESOLUTION IMPACTS THE CONTRACT TIME OR THE CONTRACT SUM, CONTRACTOR SHALL STATE IMPACT IN THE RFI
8. CONTRACTOR'S SIGNATURE
9. ATTACHMENTS: INCLUDE SKETCHES, DESCRIPTIONS, MEASUREMENTS, PHOTOS, PRODUCT DATA, SHOP DRAWINGS, COORDINATION DRAWINGS, AND OTHER INFORMATION NECESSARY TO FULLY DESCRIBE ITEMS NEEDING INTERPRETATION. INCLUDE DIMENSIONS, THICKNESSES, STRUCTURAL GRID REFERENCES, AND DETAILS OF AFFECTED MATERIALS, ASSEMBLIES, AND ATTACHMENTS ON ATTACHED SKETCHES.

RFI FORMS: AIA DOCUMENT G716 OROTHER SOFTWARE-GENERATED FORM WITH SUBSTANTIALLY THE SAME CONTENT AS INDICATED ABOVE, ACCEPTABLE TO ARCHITECT.

ATTACHMENTS SHALL BE ELECTRONIC FILES IN ADOBE ADOBEACROBAT PDF FORMAT.

ARCHITECT'S ACTION: ARCHITECT WILL REVIEW EACH RFI, DETERMINE ACTION REQUIRED, AND RESPOND TO CONTRACTOR, ALLOW 3 WORKING DAYS FOR ARCHITECT'S RESPONSE FOR EACH RFI. IF MORE URGENT, PLEASE CALL PROJECT MANAGER AFTER SENDING RFI VIA EMAIL. RFIS RECEIVED BY ARCHITECT AFTER 1:00 P.M. WILL BE CONSIDERED AS RECEIVED THE FOLLOWING WORKING DAY. ALLOW 24 HOURS FOR ANY ADDITIONAL FEEDBACK FROM RFI RESPONSE.

RFI LOG: PREPARE, MAINTAIN, AND SUBMIT A TABULAR LOG OF RFIS ORGANIZED BY THE RFI NUMBER.

CONSTRUCTION PHOTOGRAPHS

PRECONSTRUCTION PHOTOGRAPHS: BEFORE STARTING CONSTRUCTION, TAKE PHOTOGRAPHS OF PROJECT SITE AND SURROUNDING PROPERTIES, INCLUDING EXISTING ITEMS TO REMAIN DURING CONSTRUCTION, FROM DIFFERENT VANTAGE POINTS, AS DIRECTED BY ARCHITECT.

PERIODIC CONSTRUCTION PHOTOGRAPHS: TAKE A MINIMUM OF 20 PHOTOGRAPHS WEEKLY.

FINAL COMPLETION CONSTRUCTION PHOTOGRAPHS: TAKE 20 COLOR PHOTOGRAPHS AFTER DATE OF SUBSTANTIAL COMPLETION FOR SUBMISSION AS PROJECT RECORD DOCUMENTS. ARCHITECT WILL INFORM PHOTOGRAPHER OF DESIRED VANTAGE POINTS.

CONSTRUCTION SCHEDULE

CONTRACTOR SHALL PROVIDE A GHANTT CHART CONSTRUCTION SCHEDULE, SPECIFYING THE ESTIMATED TIMING OF ALL TRADES, TO THE ARCHITECT AND OWNER TO BE UPDATED MONTHLY AS CONSTRUCTION PROGRESSES.

SUBMITTAL PROCEDURES FOR GENERAL CONTRACTORS

1) SUBMIT THE FOLLOWING SUBMITTAL ITEMS TO THE ARCHITECT UNLESS SPECIFIED OTHERWISE AS INDICATED ON AN APPROVED SUBMITTAL SCHEDULE. SEND ELECTRONIC SUBMITTALS AS PDF, ELECTRONIC FILES DIRECTLY TO ARCHITECT'S PROJECT MANAGER VIA EMAIL. ORDERS FROM MANUFACTURERS AND SUPPLIERS WITH A COVER SHEET CAN SUFFICE AS A SUBMITTAL. ARCHITECT WILL NOTIFY GC WITHIN 2 BUSINESS DAYSOIF INITIAL EMAIL RECEIPT. IF ADDITIONAL INFORMATION IS NEEDED FOR A THOROUGH REVIEW.

- CONCRETE MIX SPECS
- TRUSS ENGINEERED DRAWINGS AS APPLICABLE
- EXTERIOR SHEATHING SPECS
- EXTERIOR VAPOR BARRIER/WATER PROOFING SPECS
- DOOR ORDER AND SPECS
- WINDOW ORDER AND SPECS
- EXTERIOR FINISH SPECS
- FIRE RATED ASSEMBLY SPECS IF APPLICABLE
- BUILDING SPRINKLERS LAYOUT DRAWINGS IF APPLICABLE
- PLUMBING FIXTURES SPECS
- LIGHTING FIXTURE SPECS
- FLOORING SPECS
- INTERIOR AND EXTERIOR PAINT SPECS
- CASEWORK SHOP DRAWINGS

2) NAME SUBMITTALS IN ALL CAPS AS FOLLOWS: DATE_PROJECT NUMBER_SUBMITTAL NAME_TO ARCH
EXAMPLE: 20220207_20.59.ICON_TOILET PART_TO ARCH

3) PROCESSING TIME: ALLOW TIME FOR SUBMITTAL REVIEW, INCLUDING TIME FOR RESUBMITTALS, AS FOLLOWS. TIME FOR REVIEW SHALL COMMENCE ON ARCHITECT'S RECEIPT OF SUBMITTAL. NO EXTENSION OF THE CONTRACT TIME WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.

4) INITIAL REVIEW: ALLOW 5 DAYS FOR INITIAL REVIEW OF EACH SUBMITTAL. ALLOW ADDITIONAL TIME IF COORDINATION WITH SUBSEQUENT SUBMITTALS IS REQUIRED. ARCHITECT WILL ADVISE CONTRACTOR WHEN A SUBMITTAL BEING PROCESSED MUST BE DELAYED FOR COORDINATION.

5) SEQUENTIAL REVIEW: WHERE SEQUENTIAL REVIEW OF SUBMITTALS BY ARCHITECT'S CONSULTANTS, OWNER, OR OTHER PARTIES IS INDICATED, ALLOW 9 BUSINESS DAYS FOR INITIAL REVIEW OF EACH SUBMITTAL.

6) ALL SUBMITTALS TO BE DIGITAL UNLESS PHYSICAL SAMPLES SPECIFICALLY REQUIRED FOR FINISHES BY ARCHITECT OR INTERIOR DESIGNER.

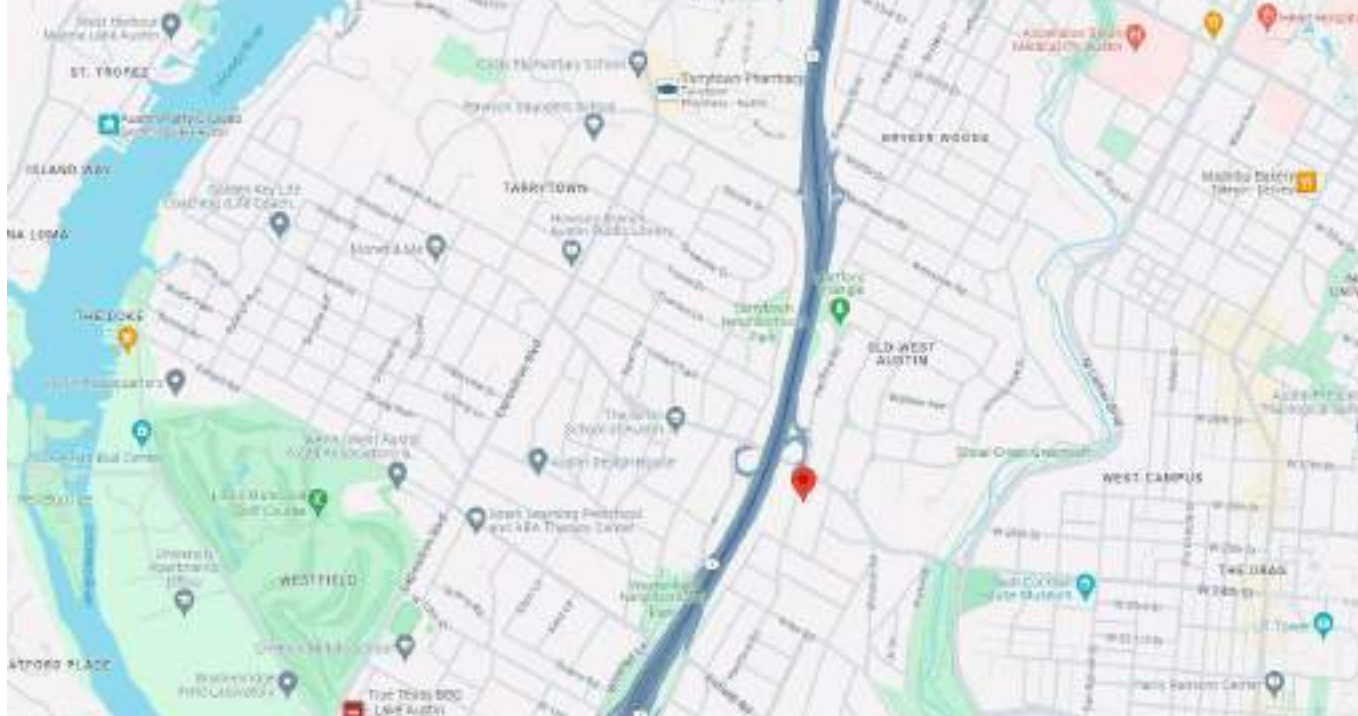
7) OPTIONS: IDENTIFY OPTIONS REQUIRING SELECTION BY ARCHITECT.

8)SHOP DRAWINGS: PREPARE PROJECT-SPECIFIC INFORMATION, DRAWN ACCURATELY TO SCALE. DO NOT BASE SHOP DRAWINGS ON REPRODUCTIONS OF THE CONTRACT DOCUMENTS OR STANDARD PRINTED DATA

9) USE FOR CONSTRUCTION: RETAIN COMPLETE COPIES OF SUBMITTALS ON PROJECT SITE. USE ONLY FINAL ACTION SUBMITTALS THAT ARE MARKED WITH "NO EXCEPTIONS." NOTATION FROM ARCHITECT'S ACTION STAMP. ANY QUESTIONS REGARDING THESE PROCEDURES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT'S PROJECT MANAGER BEFORE COMMENCING WORK ON THE PROJECT

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SITE LOCATION



ABBREVIATIONS

A.C.T.	ACOUSTICAL CEILING TILE
A.D.	AREA DRAIN
A.F.F.	ABOVE FINISHED FLOOR
A.H.U.	AIR HANDLER UNIT
ABV.	ABOVE
ADJ.	ADJACENT
ALT.	ALTERNATE
ALUM.	ALUMINUM
ANOD.	ANODIZED
APPROX.	APPROXIMATE
ARCH.	ARCHITECT / ARCHITECTURAL
AUTO.	AUTOMATIC
B.L.	BUILDING LINE
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BM.	BEAM
BRK.	BRICK
BSMT.	BASEMENT
BTW.	BETWEEN
C.G.	CORNER GUARD
C.I.P.	CAST IN PLACE
C.J.	CONTROL JOINT
C.L.	CENTER LINE
C.M.U.	CONCRETE MASONRY UNIT(S)
C.P.	CEMENT PLASTER
C.T.	CEERAMIC TILE
C.W.	CURTAIN WALL
CAB.	CABINET
CLG.	CEILING
CLR.	CLEAR/CLEARANCE
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS/CONTINUE(D)
CPT.	CARPET
CTR.	COUNTER
D.S.	DOWNSPOUT
DBL.	DOUBLE
DEMO.	DEMOLITION
DIA.	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DTL.	DETAIL
DWG.	DRAWING
E.	EAST
E.J.	EXPANSION JOINT
E.W.C.	ELECTRIC WATER COOLER
E.W.H.	ELECTIRC WATER HEATER
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRIC(AL)
ELEV.	ELEVATOR
EMERG.	EMERGENCY
EQ.	EQUAL
EQUIP.	EQUIPMENT
EST.	ESTIMATE/ESTIMATE D
EXG.	EXISTING
EXH.	EXHAUST
EXHF.	EXHAUST FAN
EXT.	EXTERIOR
F.A.P.	FIRE ALARM PULL
F.C.O.	FLOOR CLEAN OUT
F.D.	FLOOR DRAIN
F.D.C.	FIRE DEPARTMENT CONNECTION
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
FF.	FINISHED FLOOR

ABBREVIATIONS

F.F.E.	FINISHED FLOOR ELEVATION
F.W.P.	FABRIC WRAPPED PANELS
FAB.	FABRIC
FABR.	FABRICATOR
FDN.	FOUNDATION
FL.	FLOOR
FLEX.	FLEXIBLE
FLOUR.	FLOURESCENT
G.C.	GENERAL CONTRACTOR
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPTER
GA.	GAUGE
GALV.	GALVANIZED
GL.	GLAZING
GP BD.	GYPSUM BOARD
GR.BM.	GRADE BEAM
H.B.	HOME BIB
H.C.	HOLLOW CORE
H.D.	HEAVY DUTY
H.M.	HOLLOW METAL
H.W.H.	HOT WATER HEATER
HC.	HANDICAP
HDR.	HEADER
HDW.	HARDWARE
HDWD.	HARDWOOD
HORIZ.	HORIZONTAL
HT.	HEIGHT
HVAC.	HEATING VENTILATION AIR CONDITIONING
I.D.	INSIDE DIAMETER
IF.	INSIDE FACE
INS.	INSULATE/INSULATION
INT.	INTERIOR
L.H.	LEFT HAND
L.L.	LIVE LOAD
LAB.	LABORATORY
LAM.	LAMINATE(D)
LAV.	LAVATORY
LDR.	LADDER
LNTL.	LINTEL
LOUV.	LOUVER
LT.	LIGHT
LTWT.	LIGHTWEIGHT
M.H.	MANHOLE
M.O.	MASONRY OPENING
M.PAN.	METAL PANEL
M.R.T.	MOISTURE RESISTANT TREATED
MAT.	MATERIAL(S)
MAX.	MAXIMUM
MECH.	MECHANICAL
MEMB.	MEMBRANE
MFR.	MANUFACTURE(R)
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MOD.	MODULAR
MTL.	METAL
MULL.	MULLION
MULT.	MULTIPLE
MW.	MICROWAVE
N.	NORTH
N.I.	NOT IN CONTRACT
N.R.C.	NOISE REDUCTION COEFFICIENT
N.T.S.	NOT TO SCALE
NOM.	NOMINAL
O.A.	OVERALL
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.F.	OUTSIDE FACE
O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED
O.F.O.I.	OWNER FURNISHED OWNER INSTALLED
O.H.	OVERHEAD/OPOSITE E HAND
O.S.B.	ORIENTED STRAND BOARD
OPP.	OPPOSITE
ORIG.	ORIGINAL
P.C.	PRECAST
P.L.	PROPERTY LINE
P.LAM.	PLASTIC LAMINATE
P.T.	PORCELAIN TILE
P.V.C.	POLYVINYL CHLORIDE
PERF.	PERFORATE(D)
PERIM.	PERIMETER
PERP.	PERPENDICULAR
PKG.	PARKING
PL.	PLATE
PLBG.	PLUMBING
PLYWD.	PLYWOOD
PNT.	PAINT(ED)
POS.	POSITIVE
PREFAB.	PREFABRICATE(D)
PREFIN.	PRE-FINISH(ED)
PRTN.	PARTITION
PT.	POINT
R.	RADIUS
R.A.	RETURN AIR
R.B.	RUBBER BASE
R.C.P.	REFLECTED CEILING PLANK
R.D.	ROOF DRAIN
R.F.	RUBBER FLOORING
R.H.	RIGHT HAND
R.O.	ROUGH OPENING
R.O.W.	RIGHT OF WAY
REBAR.	REINFORCING BAR(S)
RECEP.	RECEPACLE
REF.	REFERENCE
REFG.	REFRIGERATOR
REINF.	REINFORCE(D)/REINFORCING
REQ.	REQUIRED
RESIL.	RESILIENT

ABBREVIATIONS

REV.	REVERSE (SIDE)/REVISE(D)
RM.	ROOM
RND.	ROUND
S4S.	SURFACED FOUR SIDES
S.	SOUTH
S.A.F.B.	SOUND
ATTENUATING FIRE	BLANKET
S.C.	SOLID CORE
S.G.D.	SLIDING GLASS DOOR
S.S.	STANDING SEAM
S.S.M.	SOLID SURFACE MATERIAL
S.STL.	STAINLESS STEEL
S.T.C.	SOUND TRANSMISSION CLASS
S.V.	SHEET VINYL
S.W.C.	SPECIAL WALL COVERING
SCHED.	SCHEDULE(D)
SCR.	SCREEN
SDG.	SIDING
SECT.	SECTION
SHT.	SHEET
SHTG.	SHEATHING
SIM.	SIMILAR
SKYLT.	SKYLIGHT
SLV.	SLEEVE
SPEC.	SPECIFICATION(S)
SQ.	SQUARE
ST.	STONE
STA.	STATION
STD.	STANDARD
STG.	STORAGE
STL.	STEEL
STRUC.	STRUCTURE/STRUCTURAL
SUBST.	SUBSTITUTE
SURF.	SURFACE
SUSP.	SUSPENDED
SYM.	SYMMETRICAL
SYS.	SYSTEM
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
T.	TREAD
T.B.	TACK BOARD
T.O.B.	TOP OF (NOTED ELEMENT)
T.O.S.	TOP OF STEEL
T.O.S.C.	TOP OF STRUCTURAL CONCRETE
T.P.D.	TOILET PAPER DISPENSER
T.V.	TELEVISION
TECH.	TECHNICAL
TEL.	TELEPHONE
TLT.	TOILET
TOL.	TOLERANCE
TRANS.	TRANSPARENT
TRTD.	TREATED
TYP.	TYPICAL
U.C.	UNDERCOUNTER
U.N.O.	UNLESS NOTED OTHERWISE
UR.	URNAL
V.C.T.	VINYL COMPOSITION TILE
V.I.F.	VERIFY IN FIELD
VAR.	VARIES
VERT.	VERTICAL
VOL.	VOLUME
W.	WEST
W.B.	WIND BRACE
W.C.	WATER CLOSET
W.F.	WIRE FABRIC
W.I.	WROUGHT IRON
W.M.	WALL MOUNTED
W.P.	WORK POINT
W.PAN.	WALL PANEL
W.V.	WOOD VENEER
W.W.M.	WELDED WIRE MESH
W/	WITH
W/O	WITHOUT
WCT.	WAINSCOT
WD.	WOOD
WD.B.	WOOD BASE
WIN.	WINDOW
WS.	WATER STOP

ARCHITECTURE REGULATIONS

THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS HAS JURISDICTION OVER COMPLAINTS REGARDING THE PROFESSIONAL PRACTICES OF PERSONS REGISTERED AS ARCHITECTS IN TEXAS.

TBAE INFORMATION: ADDRESS: 333 GUADALUPE, STE 2-350, AUSTIN TX 78701. TELEPHONE #: (512) 305-9000

FIRE SPRINKLER NOTES

A FULL RESIDENTIAL SPRINKLER SYSTEM DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH THE NFPA 13D OR THE 2021 IRC P2904 STANDARDS WILL BE INSTALLED IN THIS PROPERTY. THE PLANS FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THE MULTIPURPOSE RESIDENTIAL FIRE PROTECTION SPRINKLER SPECIALIST (MRFPSS) ENDORSEMENT. THE SPRINKLER PLANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED AND INSPECTED BY AFD PRIOR TO COVERING THE WALLS AND CEILINGS. A FLOW TEST OF THE MOST DEMANDING AREA WILL BE REQUIRED.

GENERAL NOTES1

1. THE CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS AND SHALL BRING CONFLICTS TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PERFORM ALL WORK IN COMPLIANCE WITH ALL APPLICABLE CODES, REGULATIONS, ORDINANCES AND STANDARDS OF THE LOCAL BUILDING CODE. AUTHORITY. IF PROJECT IS OUTSIDE OF A MUNICIPALITY, 2021 IRC AND 2021 IBC GOVERN. DIRECT ALL QUESTIONS REGARDING SUCH COMPLIANCE TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
2. WRITTEN DIMENSIONS GOVERN. ALL DIMENSIONS TO FACE OF STUD. U.N.O.. DO NOT SCALE DRAWINGS. NOTIFY THE ARCHITECT IN THE EVENT THAT REQUIRED DIMENSIONS ARE NOT GIVEN OR ARE IN CONFLICT WITH OTHER ANNOTATIONS.
3. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL PERFORM DUE DILIGENCE INSPECTION OF ALL EXISTING CONDITIONS PRIOR TO SUBMITTAL OF A PROPOSAL. SUBMITTAL OF A PROPOSAL SHALL BE CONSIDERED CONFIRMATION THAT SUCH INSPECTION HAS BEEN MADE. AND NO FURTHER COMPENSATION SHALL BE DUE THE CONTRACTOR FOR CLAIMS ARISING AS A RESULT OF FAILURE TO PERFORM SUCH INSPECTION.
4. THE CONTRACTOR SHALL OBTAIN AND PAY FEES FOR ALL NECESSARY PERMITS, LICENSES, CERTIFICATES, TESTING, ETC., UNLESS AGREED UPON OTHERWISE IN WRITING WITH OWNER AND ARCHITECT.
5. FURNISH ALL NEW MATERIALS EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE. WARRANT ALL MATERIALS AND LABOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, OR THE DATE OF BENEFICIAL OCCUPANCY BY THE OWNER, WHICHEVER IS LATER. REPAIR OR REPLACE ALL WORK THAT IS DISCOVERED TO BE DEFECTIVE DURING THAT PERIOD.
6. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES.
7. THE CONTRACTOR SHALL PERFORM CUTTING AND PATCHING FOR ALL TRADES. CONFIRM LOCATIONS OF STRUCTURAL MEMBERS PRIOR TO CUTTING HOLES IN FLOORS OR ROOFS. DO NOT CUT HOLES IN STRUCTURAL MEMBERS BEFORE OBTAINING WRITTEN PERMISSION FROM THE STRUCTURAL ENGINEER OF RECORD.
8. CONFIRM SIZES OF ALL OPENINGS REQUIRED FOR THE INSTALLATION OF ALL STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK AND EQUIPMENT PRIOR TO FRAMING OR CUTTING FOR INSTALLATION.
9. REPAIR DAMAGE TO OR HOLES IN EXISTING PARTITIONS TO REMAIN ARISING FROM DEMOLITION OPERATIONS. PREPARE REPAIRED AREAS TO RECEIVE NEW SCHEDULED FINISHES.
10. LEAVE THE PROJECT CLEAN AND READY FOR OCCUPANCY BY THE OWNER.
11. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT THE CONTRACTOR PROVIDES A COMPLETE, FUNCTIONING PROJECT INCLUDING ALL GENERAL MECHANICAL, ELECTRICAL, AND PLUMBING CONSTRUCTION REQUIRED TO FULFILL THAT INTENT. ALL ITEMS REQUIRED SHALL BE FURNISHED AND INSTALLED, REGARDLESS OF WHETHER OR NOT SHOWN ON THE DRAWINGS.
12. PROVIDE RECORD DRAWINGS OF THE WORK AT THE CONCLUSION OF CONSTRUCTION. RECORD DRAWINGS MAY BE IN THE FORM OF TWO MARKED-UP COPIES OF CONSTRUCTION DOCUMENTS. DELIVER RECORD DRAWINGS TO THE ARCHITECT.
13. ITEMS FURNISHED BY THE OWNER BUT INSTALLED BY THE CONTRACTOR ARE NOTED "O.F.C.I." (OWNER FURNISHED/CONTRACTOR INSTALLED). CONTRACTOR SHALL INCLUDE COST FOR INSTALLATION ONLY IN HIS PROPOSAL.
14. ITEMS FURNISHED AND INSTALLED BY THE OWNER ARE NOTED "O.F.O.I." (OWNER FURNISHED/OWNER INSTALLED). CONTRACTOR SHALL NOT INCLUDE COSTS FOR FURNISHING OR INSTALLATION IN HIS PROPOSAL.
15. ITEMS OR WORK NOT TO BE FURNISHED OR ACCOMPLISHED BY THE CONTRACTOR ARE NOTED "N.I.C." [NOT IN CONTRACT]
16. "ALIGN" AS USED IN THESE DOCUMENTS, MEANS TO ALIGN THE FINISHED FACE OF ELEMENTS IN THE SAME PLANE.
17. "SIMILAR" OR "SIM" AS USED IN THESE DOCUMENTS MEANS THAT THE ITEM OR DETAIL REFERENCED IS SUBSTANTIALLY THE SAME AS THE ITEM OR DETAIL REFERRED TO, WITH MINOR VARIATIONS THAT DO NOT AFFECT FUNCTION OR APPEARANCE.
18. "TYPICAL" OR "TYP." AS USED IN THESE DOCUMENTS MEANS THAT THE ITEM OR DETAIL REFERENCED IS THE SAME FOR ALL CONDITIONS OF A SIMILAR NATURE THROUGHOUT THE PROJECT, UNLESS NOTED OTHERWISE.
19. DO NOT DISASSEMBLE SETS OF CONSTRUCTION DRAWINGS. DRAWINGS ARE INTERRELATED.
20. THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE ARCHITECT FOR ALL DOORS, WINDOWS, AND PLUMBING FIXTURES PRIOR TO ORDERING THESE MATERIALS FOR THE ARCHITECT'S REVIEW AND APPROVAL. IF THESE ITEMS ARE ORDERED PRIOR TO THE ARCHITECT'S REVIEW OF SUBMITTALS, THE CONTRACTOR ASSUMES SOLE RESPONSIBILITY TO VERIFY THAT NO CONFLICTS EXIST IN THE DRAWINGS.
21. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL TAKEOFFS. THE ARCHITECT WILL NOT PERFORM TAKEOFFS AND ANY ROOM OR BUILDING AREAS SHOWN IN THE DRAWINGS ARE FOR PERMITTING ONLY.

SHEET INDEX

A-009 REFERENCE PHOTOS

- 1 - ARCHITECTURAL
- A-001 REFERENCE PLOT PLAN
- A-002 DEMO SITE PLAN
- A-003 SITE PLAN
- A-004 TREE PRESERVATION
- A-005 EXISTING FLOOR PLAN
- A-006 EXISTING FLOOR PLAN
- A-007 DEMOLITION FLOOR PLAN
- A-008 DEMOLITION FLOOR PLAN
- A-101 LEVEL 1 FLOOR PLAN
- A-102 LEVEL 2 FLOOR PLAN
- A-104 LEVEL 1 RCP
- A-105 LEVEL 2 RCP
- A-201 DEMO ELEVATIONS
- A-202 DEMO ELEVATIONS
- A-203 ELEVATIONS
- A-204 ELEVATIONS
- A-205 ELEVATIONS
- A-301 SECTION
- A-301 SCHEDULES & DIAGRAMS
- A-701 3D
- A-702 3D

APPLICABLE CODES

1. INTERNATIONAL BUILDING CODE (IBC) 2021
2. INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2021
3. INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2021
4. INTERNATIONAL FIRE CODE (IFC) 2021
5. INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC) 2021
6. INTERNATIONAL RESIDENTIAL CODE (IRC) 2021
7. INTERNATIONAL SWIMMING POOL AND SPA CODE (ISPS) 2018
8. INTERNATIONAL WILDLAND-URBAN INTERFACE CODE (IWUIC) 2015
9. NATIONAL ELECTRICAL CODE (NEC) 2020
10. UNIFORM MECHANICAL CODE (UMC) 2021
11. UNIFORM PLUMBING CODE (UPC) 2021

DEFINITIONS - FLOOR AREA

IBC 2021: BUILDING AREA: THE AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS EXCLUSIVE OF SHAFTS AND COURTS. AREAS NOT PROVIDED WITH SURROUNDING WALLS SHALL BE INCLUDED IN THE BUILDING AREA IF SUCH AREAS ARE INCLUDED WITHIN THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE. REF. IBC 2021 SEC. 202.

IBC 2021: GROSS FLOOR AREA: THE FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS OF THE BUILDING UNDER CONSIDERATION, EXCLUSIVE OF VENT SHAFTS AND COURTS, WITHOUT DEDUCTION FOR CORRIDORS, STAIRWAYS, RAMP, CLOSETS, THE THICKNESS OF INTERIOR WALLS, COLUMNS OR OTHER FEATURES. DOES NOT INCLUDE SHAFTS WITH NO OPENINGS OR INTERIOR COURTS. REF. IBC 2021 SEC. 202.

IBC 2021: GROSS LEASABLE AREA: THE TOTAL FLOOR AREA DESIGNED FOR TENANT OCCUPANCY AND EXCLUSIVE USE. MEASURED FROM THE CENTERLINES OF JOINT PARTITIONS TO THE OUTSIDE OF THE TENANT WALLS. INCLUDE ALL TENANT AREAS AND AREAS USED FOR STORAGE. REF. IBC 2021 SEC. 202.

IBC 2021: NET FLOOR AREA: THE ACTUAL OCCUPIED AREA NOT INCLUDING UNOCCUPIED ACCESSORY AREAS SUCH AS CORRIDORS, STAIRWAYS, RAMP, TOILET ROOMS, MECHANICAL ROOMS AND CLOSETS. REF. IBC 2021 SEC. 202.

COA: GROSS FLOOR AREA: TOTAL ENCLOSED AREA OF ALL FLOORS IN A BUILDING WITH A CLEAR HEIGHT OF MORE THAN SIX FEET, MEASURED TO THE OUTSIDE OF THE EXTERIOR WALLS. REF. 25-1-21 (46).

DISCLAIMER: CALCULATIONS WERE DONE FROM REVIT DRAWINGS PRIOR TO BUILDING CONSTRUCTION AND DO NOT REFLECT CHANGES DURING CONSTRUCTION OR AS-BUILT CONDITIONS.

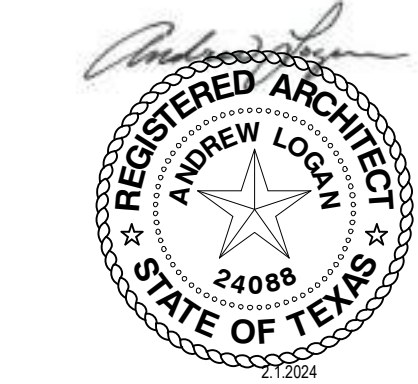
DISCLAIMER: NOT UNCOMMON FOR A SITE MEASUREMENT AND OR CALCULATION BY ONE PARTY TO DIFFER FROM THE SAME MEASUREMENT AND CALCULATION BY ANOTHER PARTY. THE CALCULATION FOR AN AREA, RESULTING FROM SITE MEASUREMENT BY THE BUILDING OWNER OR MANAGER, IS DEEMED ACCURATE IF A RE-MEASUREMENT GIVES RESULT WITH VARIANCE OF TWO PERCENT (2%) OR LESS.



HARTFORD
2321 HARTFORD RD,
AUSTIN, TX 78703

CLIENTS: WADE AND SARAH WEBSTER

No.	Description	Date



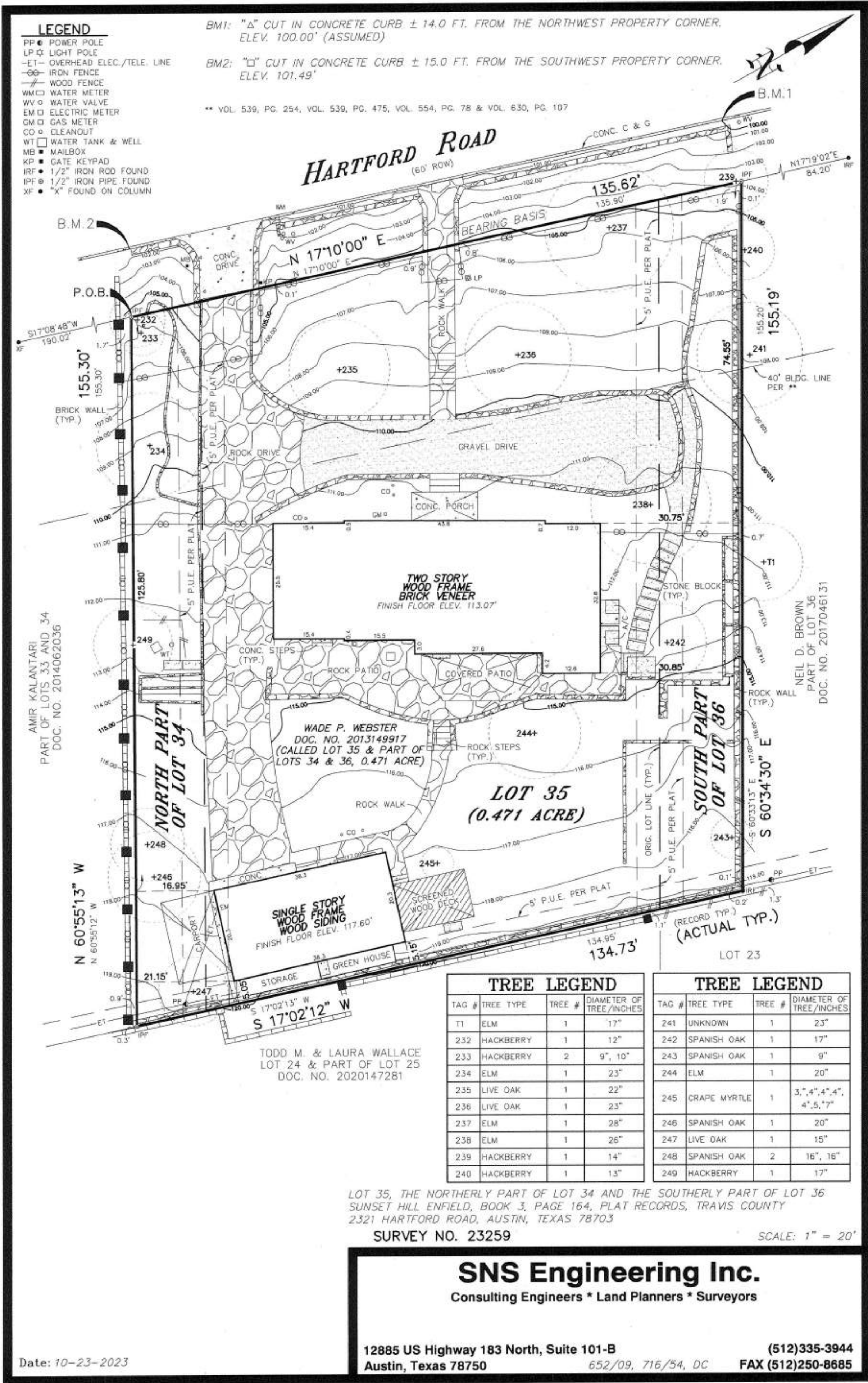
PERMIT SET

Project # 23.33.HARTFORD

Date 2.1.2024

COVER

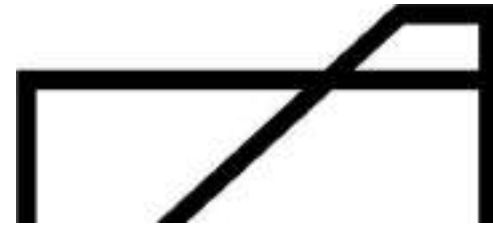
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REFERENCE ONLY, NOT TO SCALE

GENERAL NOTES - SITE PLAN

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- VERIFY EXISTING SITE CONDITIONS AND REPORT TO ARCHITECT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THESE PLANS PRIOR TO COMMENCING WORK.
- ALL NEW SIDEWALKS TO HAVE MAX 1:20 GRADE WITH CROSS SLOPE TO DRAIN AT 1/4" PER FOOT. SEAL CONCRETE AND PROVIDE A BROOM FINISH UNLESS OTHERWISE NOTED.
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- SELECTIVELY CLEAR OR PRUNE ANY UNWANTED TREES OR THOSE IMPEDING CONSTRUCTION WITH CONSENT OF OWNER. COORDINATE REMOVAL AND DISPOSAL OF UNWANTED TREES AND OTHER LANDSCAPING MATERIALS WITH OWNER.
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- EXISTING UTILITY LINE LOCATIONS ARE APPROXIMATED. CONTRACTOR TO VERIFY LOCATIONS PRIOR TO CONSTRUCTION.



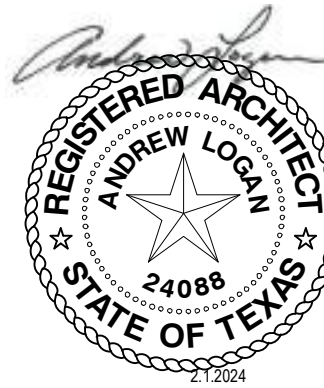
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2321 HARTFORD RD,
AUSTIN, TX 78703

CLIENTS: WADE AND SARAH WEBSTER

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Project # 23.33.HARTFORD

Date 2.1.2024

REFERENCE PLOT PLAN

A-001

GENERAL NOTES - DEMOLITION

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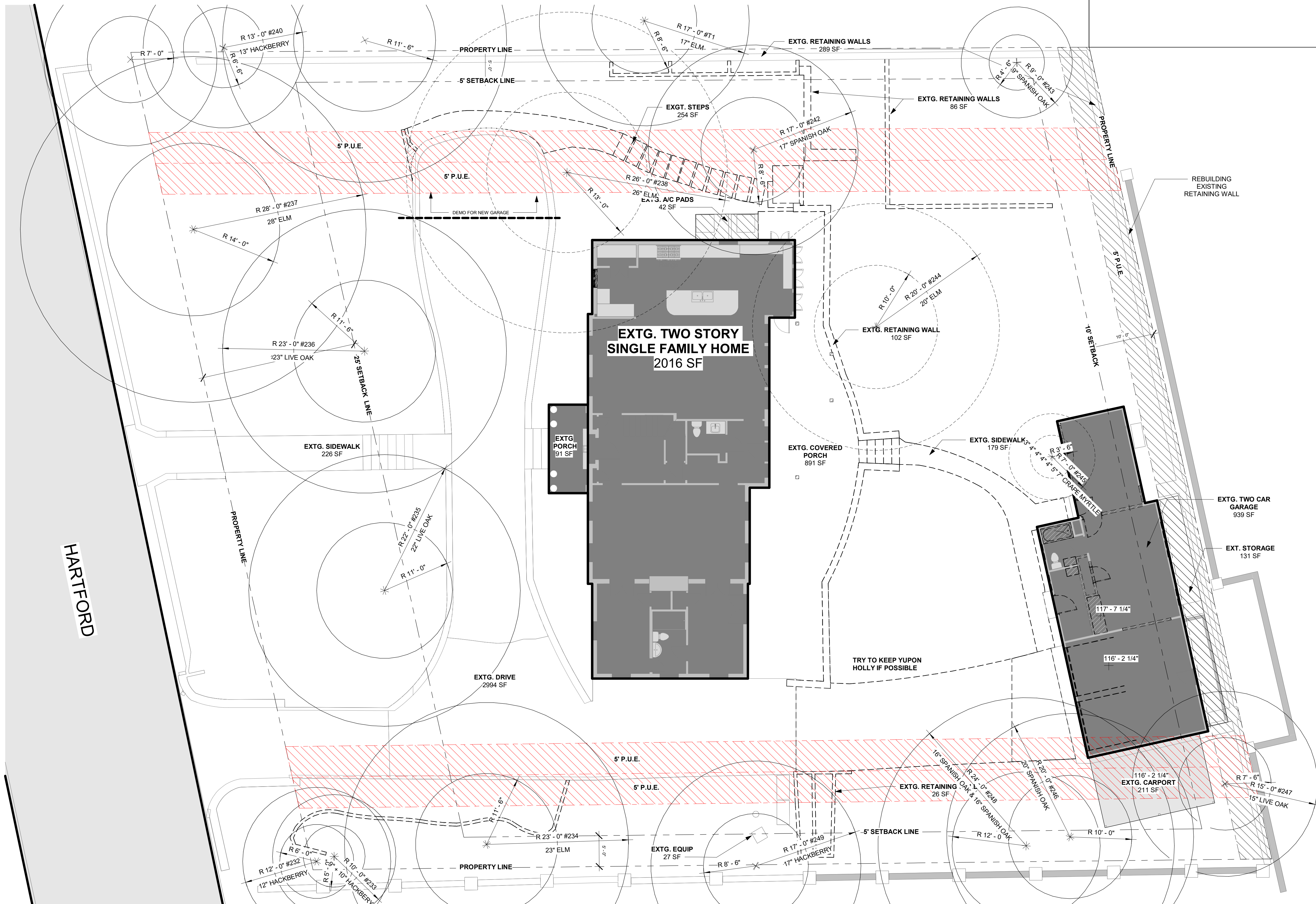


PERMIT SET

Project # 23.33.HARTFORD
Date 2.1.2024

DEMO SITE PLAN

A-002



GENERAL NOTES - SITE PLAN

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
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- EXISTING UTILITY LINE LOCATIONS ARE APPROXIMATED. CONTRACTOR TO VERIFY LOCATIONS PRIOR TO CONSTRUCTION.

SITE INFORMATION

ADDRESS: 2321 HARTFORD RD.
AUSTIN, TEXAS 78703

LEGAL DESCRIPTION:

LOT 35 AND PART OF LOTS 34 & 36, 0.471 ACRES

PROPERTY ID: 0114030513
ZONING: SF-3
SITE AREA (SF): 20,515 SF
RESIDENTIAL DESIGN STANDARDS: Y/N
NEIGHBORHOOD PLANNING: OLD ENFIELD
HAZARDOUS PIPELINE: N
EROSION HAZARD ZONE: N
FLOODPLAIN: N

BUILDING COVERAGE:

EXTG. HOUSE: 2016 SF
EXTG. PARKING: 211 SF
NEW PARKING: 921 SF
EXTG. ACCESSORY BLDG: 1070 SF
COVERED PORCHES: 1193 SF

TOTAL: 5411 SF 26.38%

IMPERVIOUS COVERAGE (45% MAX):

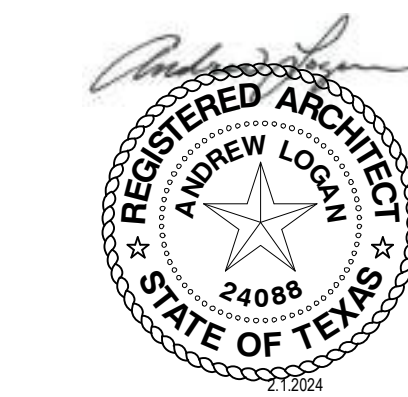
	EXISTING	NEW	TOTAL
TOTAL BUILDING COVERAGE	3388	2023	5411
DRIVEWAY	2005	0	2005
SIDEWALKS	226	196	422
UNCOVERED PATIO	47	1235	1282
WOOD DECKS (50%)	0	0	0
AC PADS:	42	0	42
OTHER:	27	30	57
TOTAL:	44.9%	9219	

FLOOR TO AREA RATIO (40% MAX):

	EXTG.	NEW	TOTAL
HOUSE L1:	3086	0	3086
HOUSE L2:	1619	398	2017
CARPORT	211	921	932
TOTAL:	29.4%	6035	

CLIENTS: WADE AND SARAH WEBSTER

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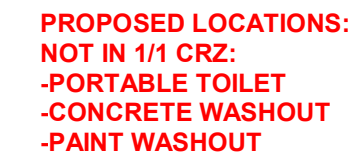
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Project # 23.33.HARTFORD

Date 2.1.2024

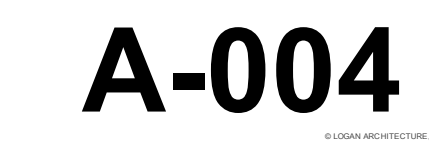
SITE PLAN

A-003



2321 HARTFORD RD,
AUSTIN, TX 78703

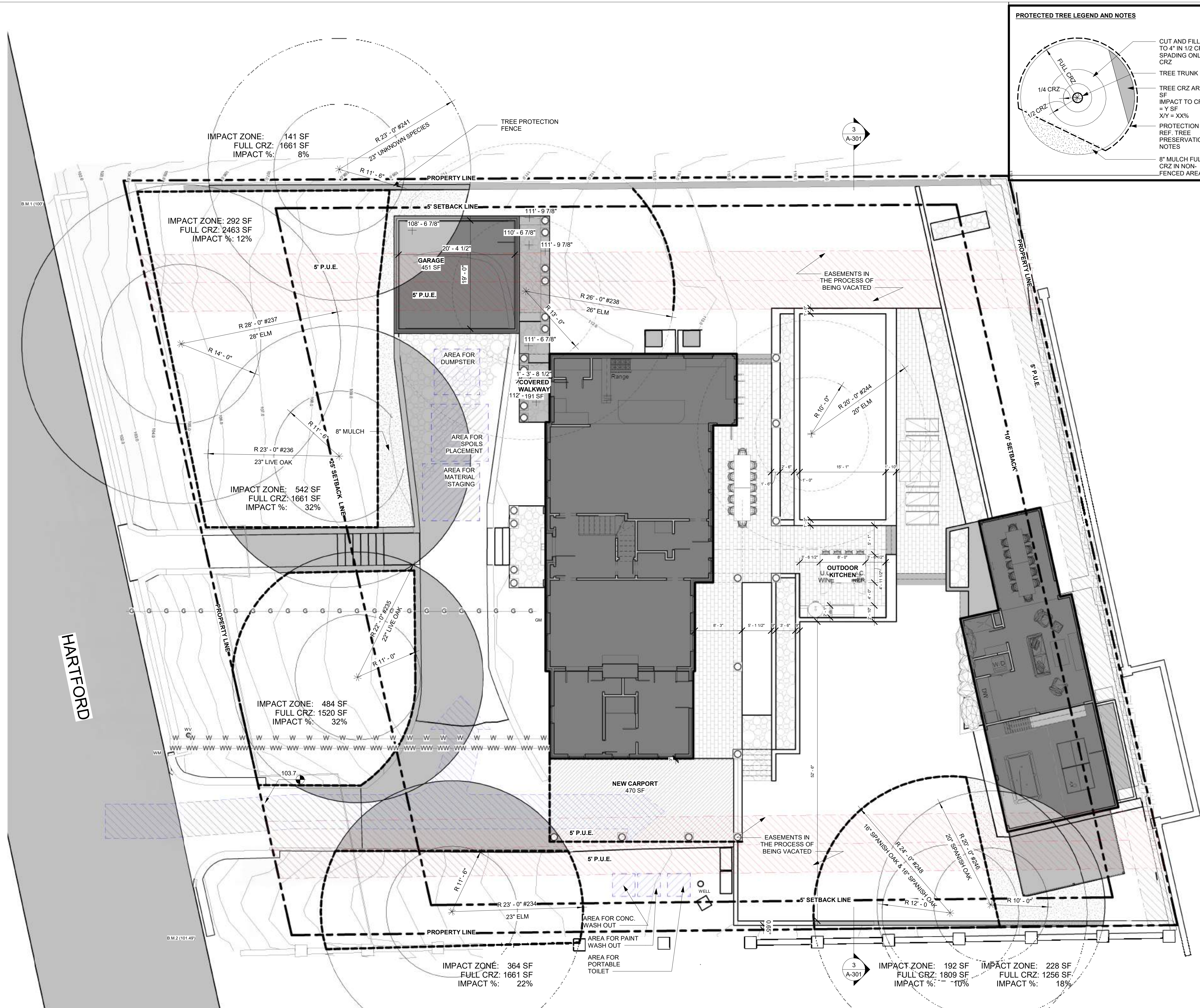
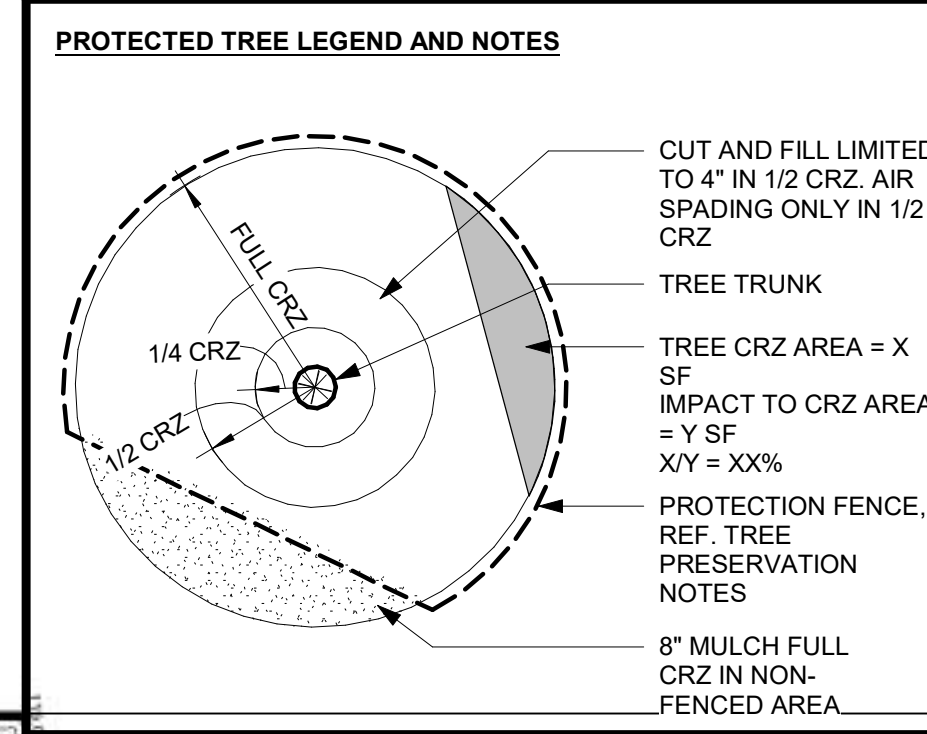
No.	Description	Date



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1. CHAIN LINK FENCING FOR PROTECTED TREES SHALL BE A MINIMUM OF 5' - 0" WHEN TREE PROTECTION FENCING CANNOT INCORPORATE THE ENTIRE CIRCUMFERENCE OF THE LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE IS REQUIRED.
2. DEMOLITION IN THE 1/4 & 1/2 CRZ OF PROTECTED TREES MUST BE DONE WITH HAND TOOLS.
3. 5' - 0" HIGH CHAIN-LINK PROTECTION FENCE SHOULD BE INSTALLED DURING DEMOLITION AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE, IF, FOR ANY REASON, THE FENCE ENCLOSES INTO THE 1/2 CRZ, STRAP 2x4 LUMBER (6" - 10" MIN.) SECURELY AROUND TRUNK OF TREE.
4. IF HEAVY EQUIPMENT WILL BE ROLLING OVER THE AREA OF THE 1/2 CRZ OF PROTECTED TREES, PROVIDE 3/4" PLYWOOD OVER 2x4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE MAX LAYER OF 3" WITHIN ROOT ZONES.
5. TO POUR CONCRETE ON THE FOUNDATION OF THE NEW ADDITION, CONCRETE TRUCKS AND / OR USING A LINE PUMP, TRAP HOSE CONNECTIONS WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES.
6. IF NEW UTILITY YARD LINES ARE REQUIRED, ANY LINES WITHIN CRZ OF A PROTECTED TREE TO BE AIR SPADED FOR THE TREE TO REMAIN AND ENSURE NO ROOTS GREATER THAN 15" ARE CUT.

NO.	TYPE	SIZE	NOTE
234	ELM	23"	
235	LIVE OAK	22"	
236	LIVE OAK	23"	
237	ELM	28"	
238	ELM	26"	
241	UNKNOWN SPECIES	23"	
244	ELM	20"	
246	SPANISH OAK	20"	
248	SPANISH OAK	16" + 16"	



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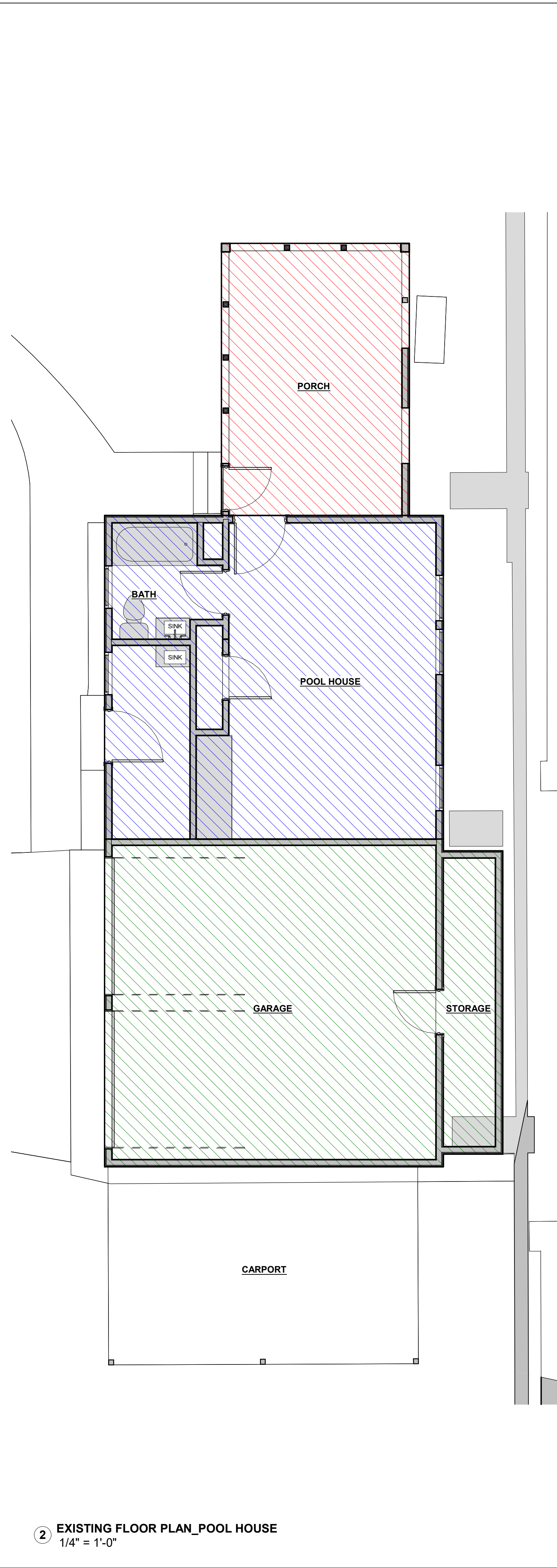
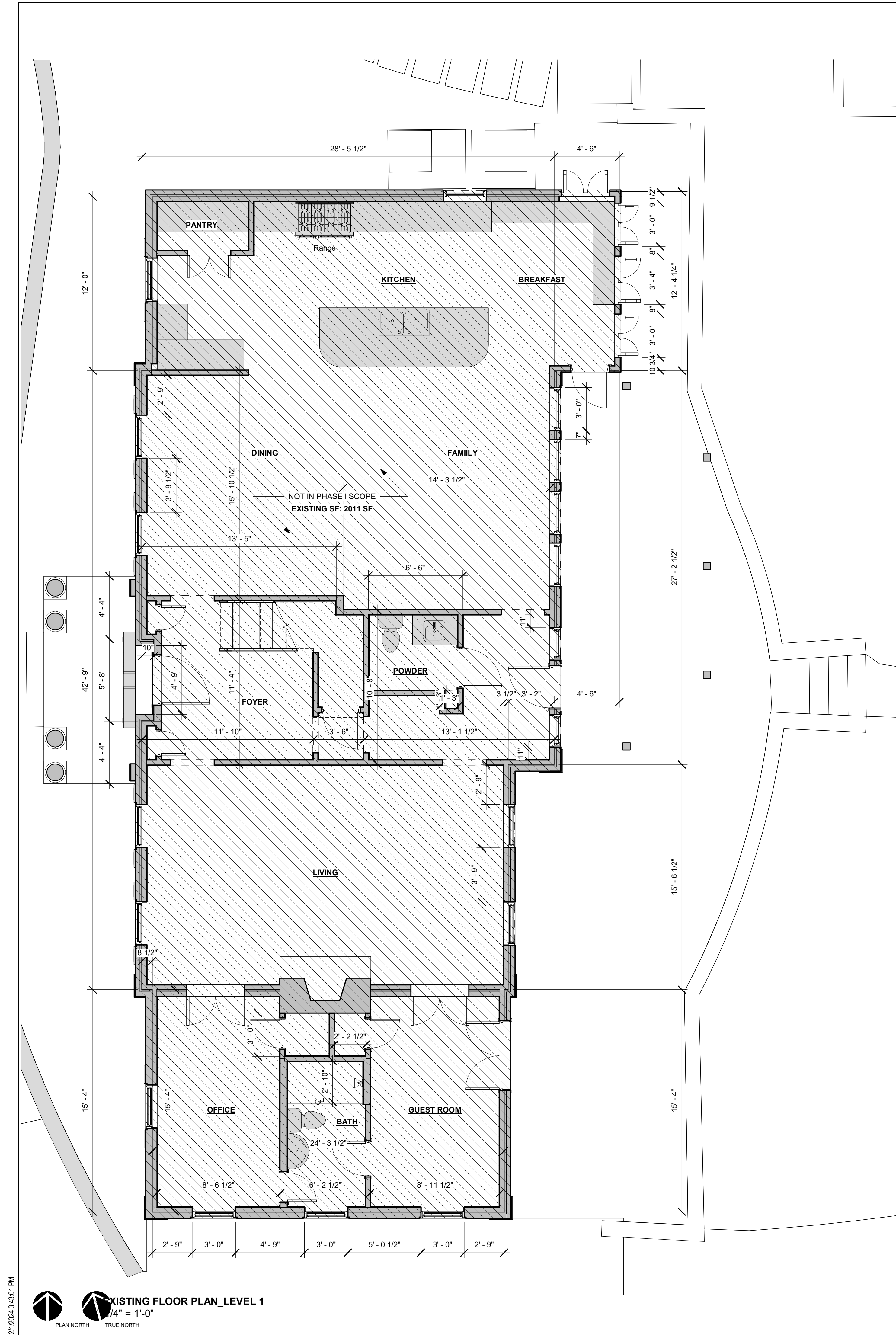
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Project # 23.33.HARTFORD

Date 2.1.2024

EXISTING FLOOR PLAN

A-005



2 EXISTING FLOOR PLAN_POOL HOUSE
1/4" = 1'-0"



EXISTING FLOOR PLAN_LEVEL 1
1/4" = 1'-0"

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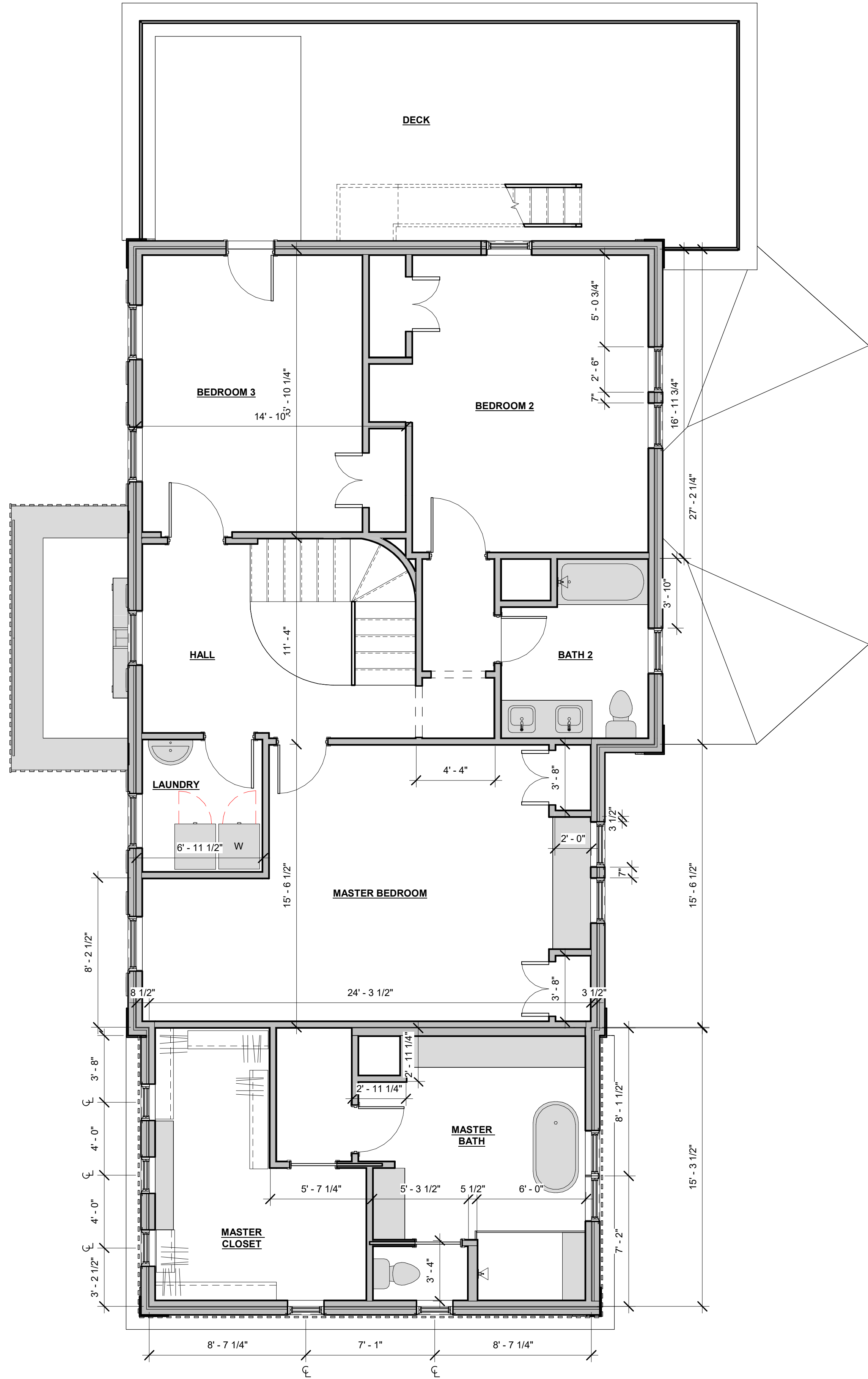
EXISTING FLOOR PLAN

A-006

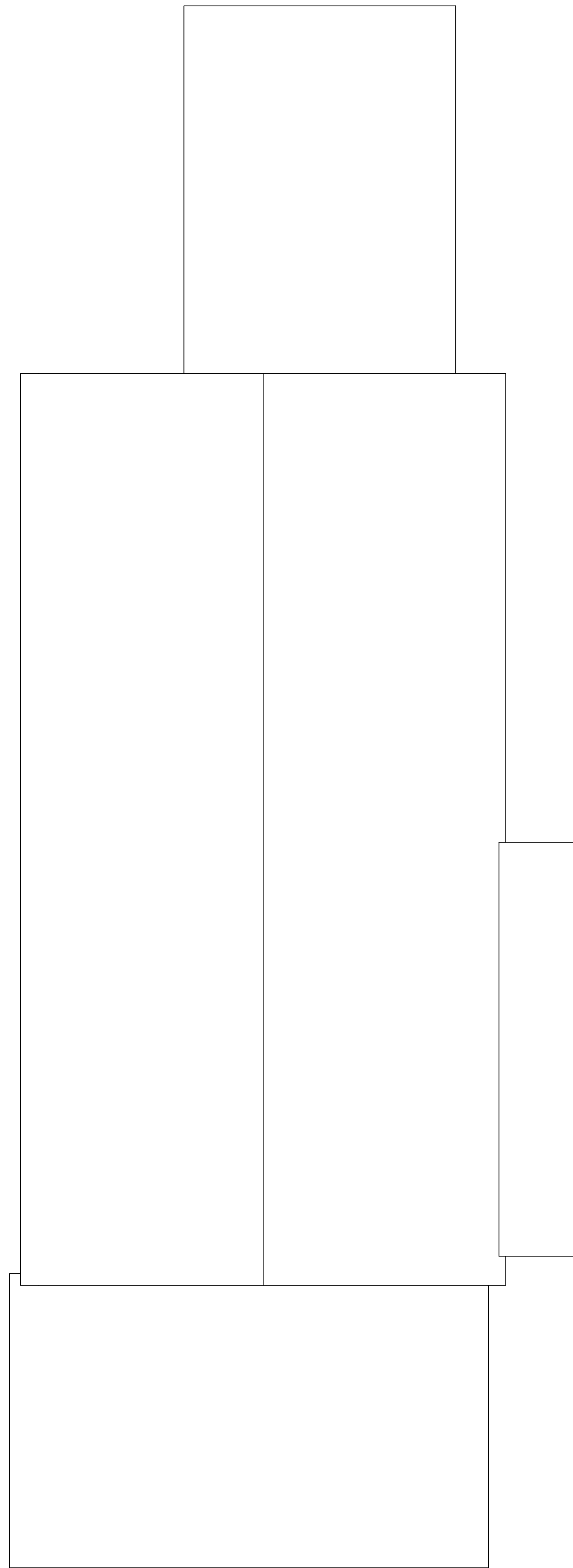
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1 EXISTING PLAN_LEVEL 2
1/4" = 1'-0"



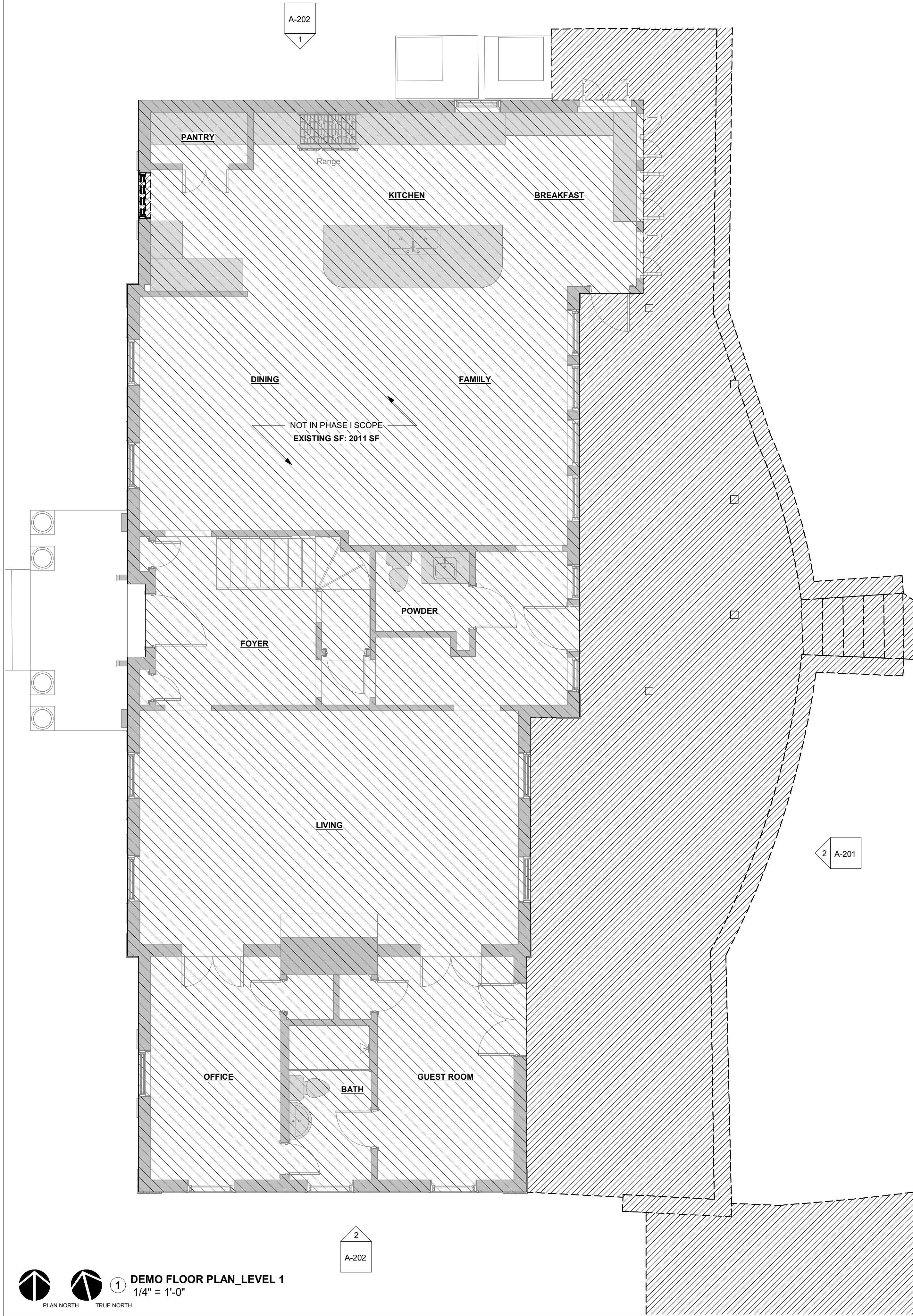
2 EXISTING ROOF PLAN_POOL HOUSE
1/4" = 1'-0"



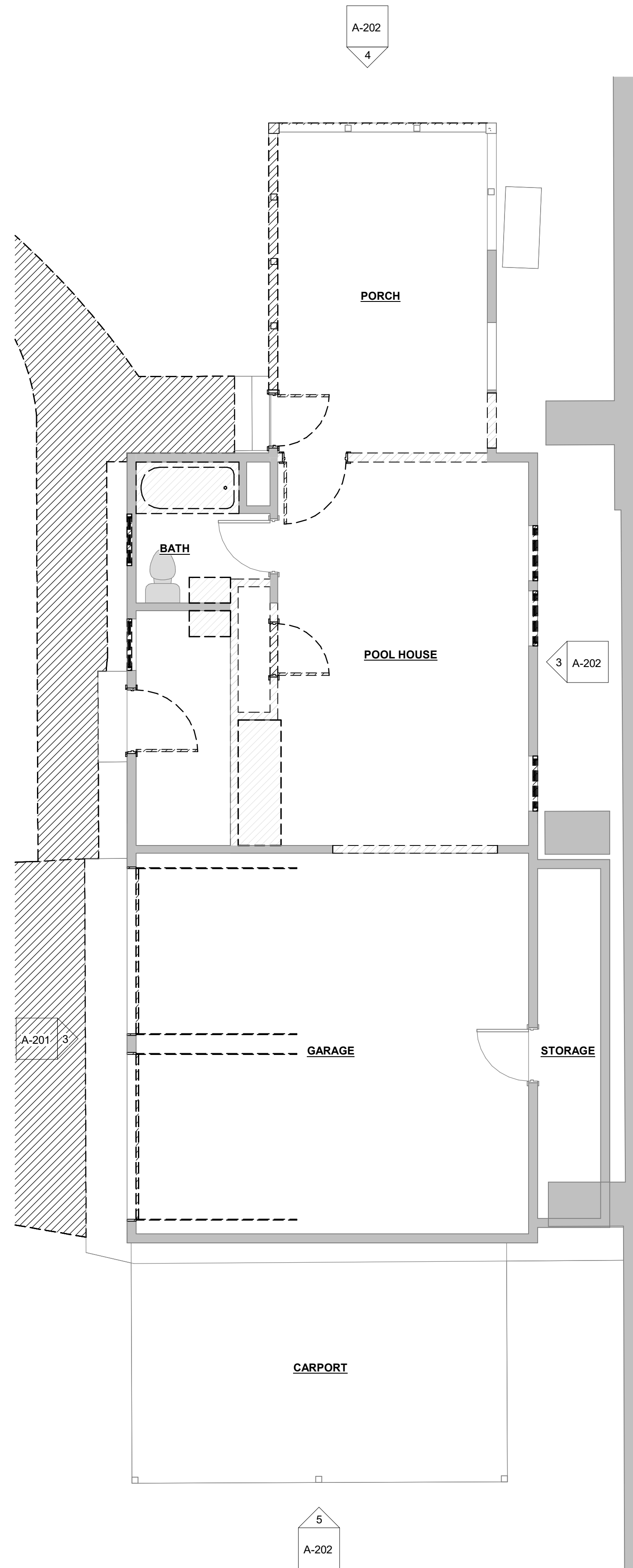
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1 DEMO FLOOR PLAN_LEVEL 1
1/4" = 1'-0"



2 DEMO FLOOR PLAN_LEVEL 1_POOL HOUSE
1/4" = 1'-0"



GENERAL NOTES - DEMOLITION

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WEBSTER

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Project # 23.33.HARTFORD

Date 2.1.2024

DEMOLITION FLOOR PLAN

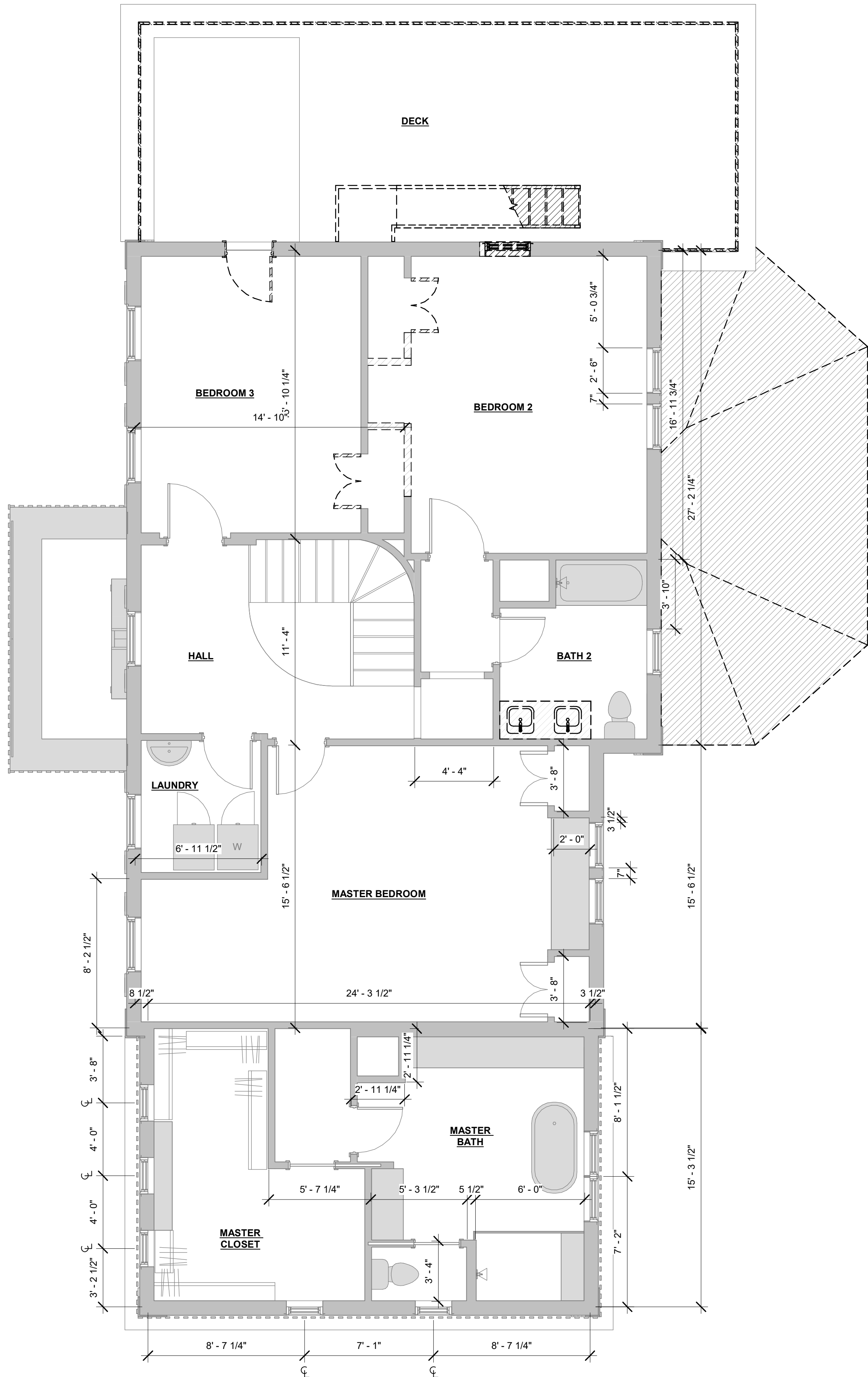
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1

DEMO FLOOR PLAN_LEVEL 2
1/4" = 1'-0"

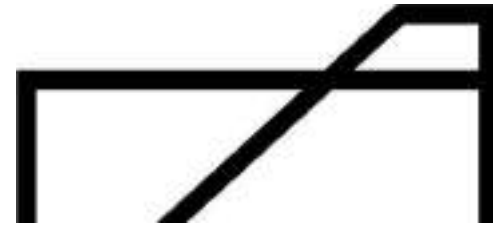


2

DEMO ROOF PLAN_POOL HOUSE
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Date 2.1.2024

DEMOLITION FLOOR PLAN

A-008

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FRONT OF HOUSE



BACK OF HOUSE



REAR STRUCTURE



SIDE OF HOUSE



SIDE OF HOUSE



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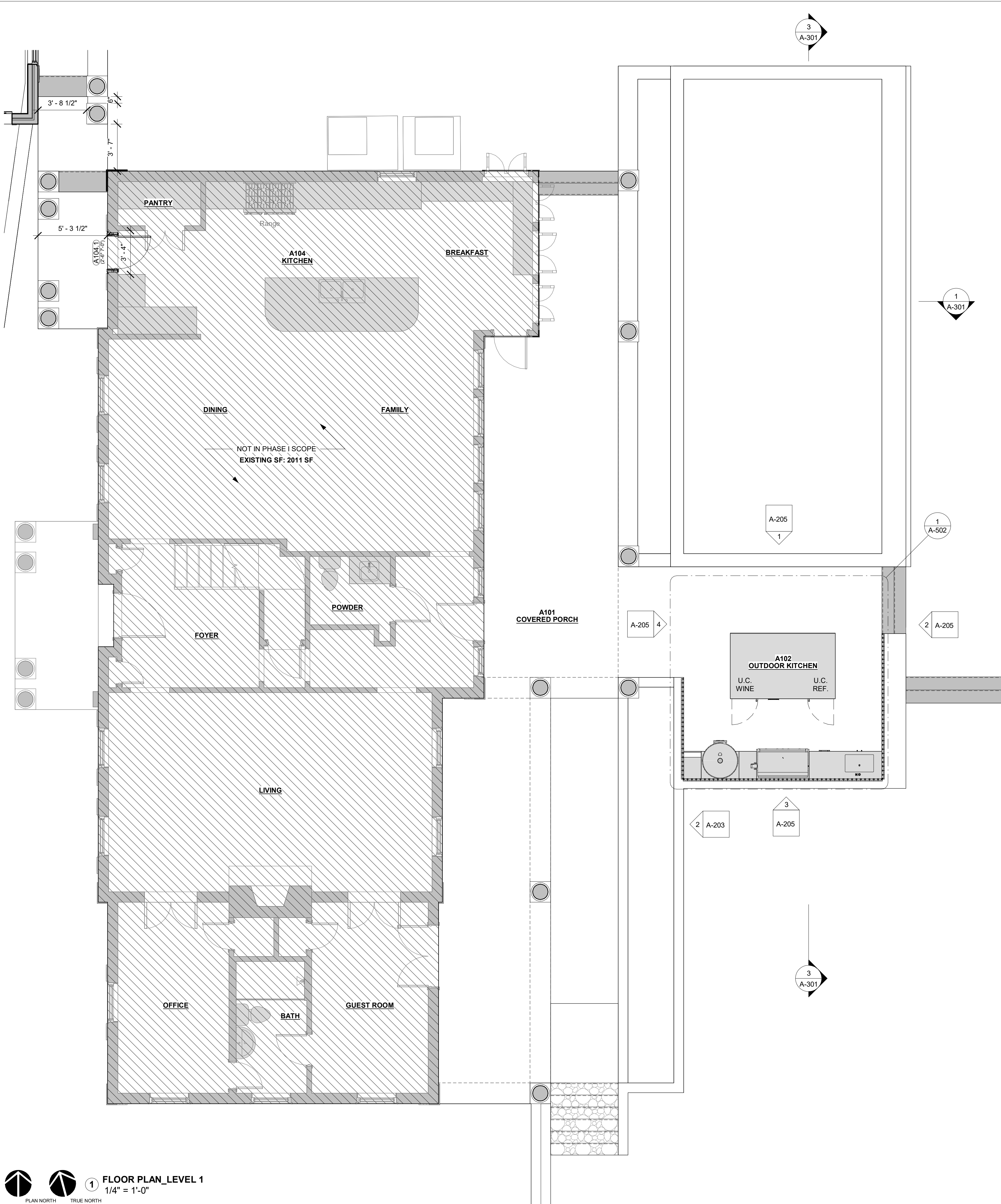
Project # 23.33.HARTFORD
Date 2.1.2024

REFERENCE PHOTOS

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1 FLOOR PLAN_LEVEL 1
1/4" = 1'-0"



2 FLOOR PLAN_LEVEL 1_POOL HOUSE
1/4" = 1'-0"

GENERAL NOTES - FLOOR PLAN

- WALL INSULATION TO BE MINIMUM R-20 OR OTHERWISE COMPLIANT W/ 2021 IECC TABLE C402.1.3.
- ROOF INSULATION TO BE MINIMUM OF R-38 OR OTHERWISE COMPLIANT W/ 2021 IECC TABLE C402.1.3. CLOSED CELL SPRAY FOAM RECOMMENDED WITH CODE COMPLIANT THERMAL/FIRE BARRIER. R-38 BATT REQUIRES 12" CAVITY. CONTRACTOR TO PROVIDE FURRING IF BATT INSULATION IS CHOSEN.
- FLOORS OVER UNCONDITIONED SPACE TO BE R-30 OR OR OTHERWISE COMPLIANT W/ 2021 IECC TABLE C402.1.3.
- WINDOWS TO HAVE MAXIMUM SHGC OF 0.25
- ALL INTERIOR WALL DIMENSIONS TO FACE OF STUD U.N.O.
- GYP SUM WALL BOARD TO BE 5/8" ON ALL WALLS.
- BUILDING ENVELOPE, VAPOR BARRIER, WATER PROOFING AND FLASHING TO BE COMPLIANT WITH 2021 IRC.
- VAPOR BARRIER AT ALL EXTERIOR WALLS. TAPE SEAMS AND AND ALL DOOR AND WINDOW OPENINGS. SELF ADHERING SHEET AIR BARRIER RECOMMENDED BY CARLISLE CCW-705 TDS OR SIMILAR.
- SMOKE DETECTORS MARKED "SD" TO BE COMPLIANT WITH CITY OF AUSTIN REQUIREMENTS. IN EACH SLEEPING ROOM, IN THE IMMEDIATE VICINITY OUTSIDE OF EACH SLEEPING ROOM. DEVICES SHALL BE HARD-WIRED AND INTERCONNECTED WITH BATTERY BACK-UP. REF. R314 LOCAL AMENDMENT.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA AND IN THE IMMEDIATE VICINITY OF BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND DWELLING UNITS HAVING ATTACHED GARAGES. REF. R315 LOCAL AMENDMENT.
- PROVIDE SOLID PINE 1X6 WALL BASE, PNT.
- PROVIDE SOLID PINE 1X4 DOOR TRIMS, PNT.
- PROVIDE SOLID PINE 1X6 WINDOW SILLS, PNT.
- 1-1/8" FLOOR DECKING TO BE USED U.N.O.
- LIGHT SWITCHES AND CONTROLS MAX 48" A.F.F.
- OUTLETS MIN. 15" A.F.F. EXCEPT FLOOR OUTLETS.
- ALL INTERIOR PARTITIONS ARE 4" WOOD STUDS W/ 1/2" GYP. BD. EACH SIDE U.N.O. WITH "6" TAG INDICATING A 6" WOOD STUD.
- ALL FLOORS OVER ENCLOSED PARKING AREAS TO BE 1 HR. FIRE RATED PER 2021 IRC.
- FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION, PER IRC 2021 TABLE R302.1(1), IN THE FOLLOWING LOCATIONS:
 - CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCLUDING FURRED SPACES & PARALLEL ROWS OF STUD OR STAGGERED STUDS, VERTICALLY AT CEILING AND FLOOR LEVELS. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10' - 0".
 - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS & COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP & BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
- FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.
- FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
- ALL EXTERIOR WALLS TO BE 2X6 WALLS U.N.O.
- ALL WALLS WITH T.O.P. GREATER THAN OR EQUAL TO 10' ARE TO BE 2X6 WALLS U.N.O.
- ALL INTERIOR FULL HEIGHT TILE OR STUCCO WALLS TO LSL FRAMING

GENERAL NOTES - VISIBILITY

- LIGHT SWITCH AND ENVIRONMENTAL CONTROLS NO HIGHER THAN 48" ABOVE INTERIOR FINISH FLOOR LEVEL. THIS NOTE PERTAINS TO LEVEL 01 ONLY.
- OUTLETS AND RECEPTACLES MINIMUM 15" ABOVE INTERIOR FINISH FLOOR LEVEL EXCEPT FOR FLOOR OUTLETS. THIS NOTE PERTAINS TO LEVEL 01 ONLY.
- CONTRACTOR TO PROVIDE BLOCKING, CENTERED AT 34" ABOVE FINISH FLOOR ALONG ALL WALLS, EXCEPT BEHIND LAVATORIES, IN ALL BATHROOMS

GENERAL NOTES - COA FLOOR PLAN

- VISITABLE BATHROOM TO HAVE 2X6 BLOCKING AT 34" A.F.F. AROUND ENTIRE BATHROOM EXCEPT AT LAVATORY.
- A VISITABLE ROUTE COMPLIANT WITH ORDINANCE NO. 20140130-021. 1/2" MAX BEVELED THRESHOLD. MAX CROSS SLOPE OF 1:50.

HARTFORD

2321 HARTFORD RD,
AUSTIN, TX 78703

CLIENTS: WADE AND SARAH WEBSTER

No.	Description	Date



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Project # 23.33.HARTFORD

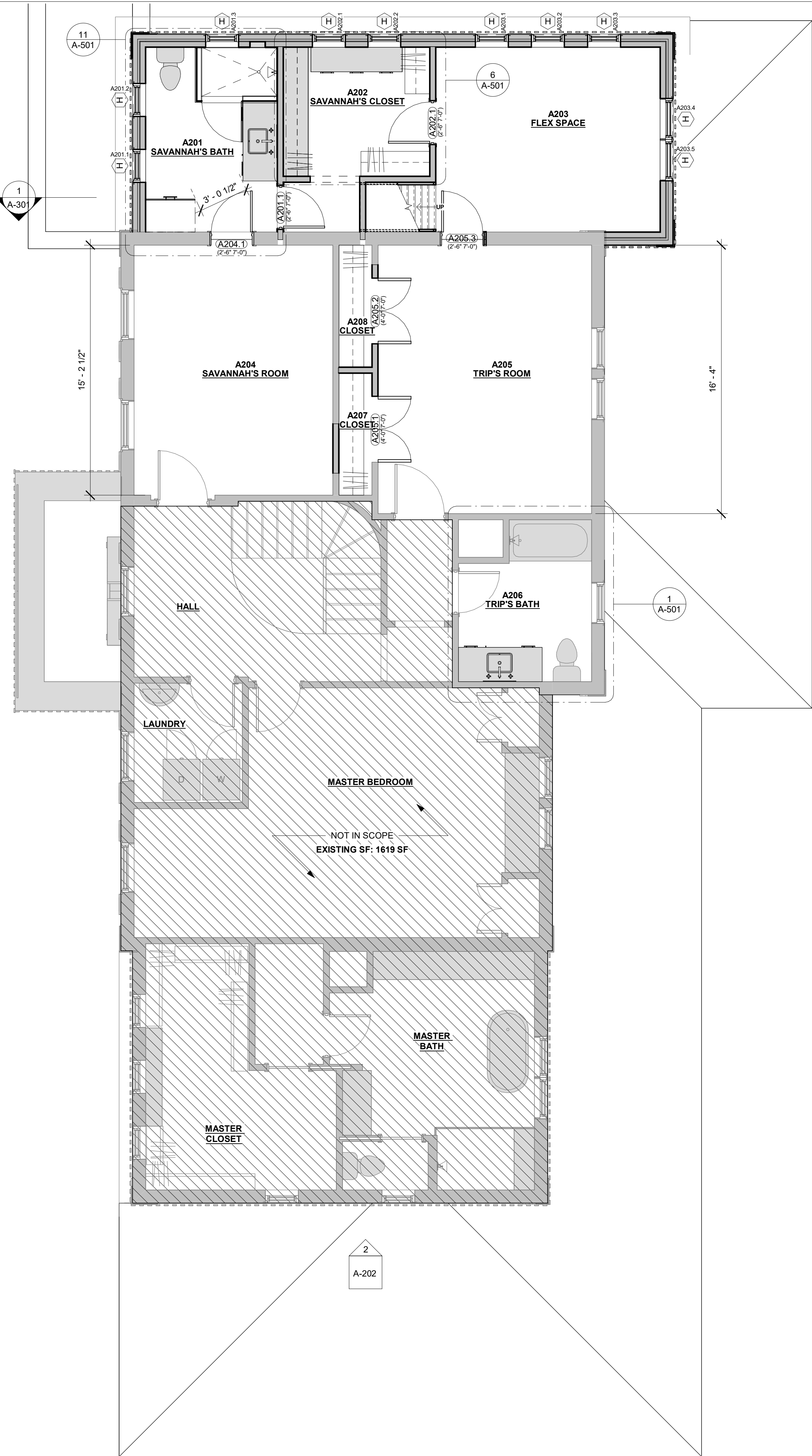
Date 2.1.2024

LEVEL 1 FLOOR PLAN

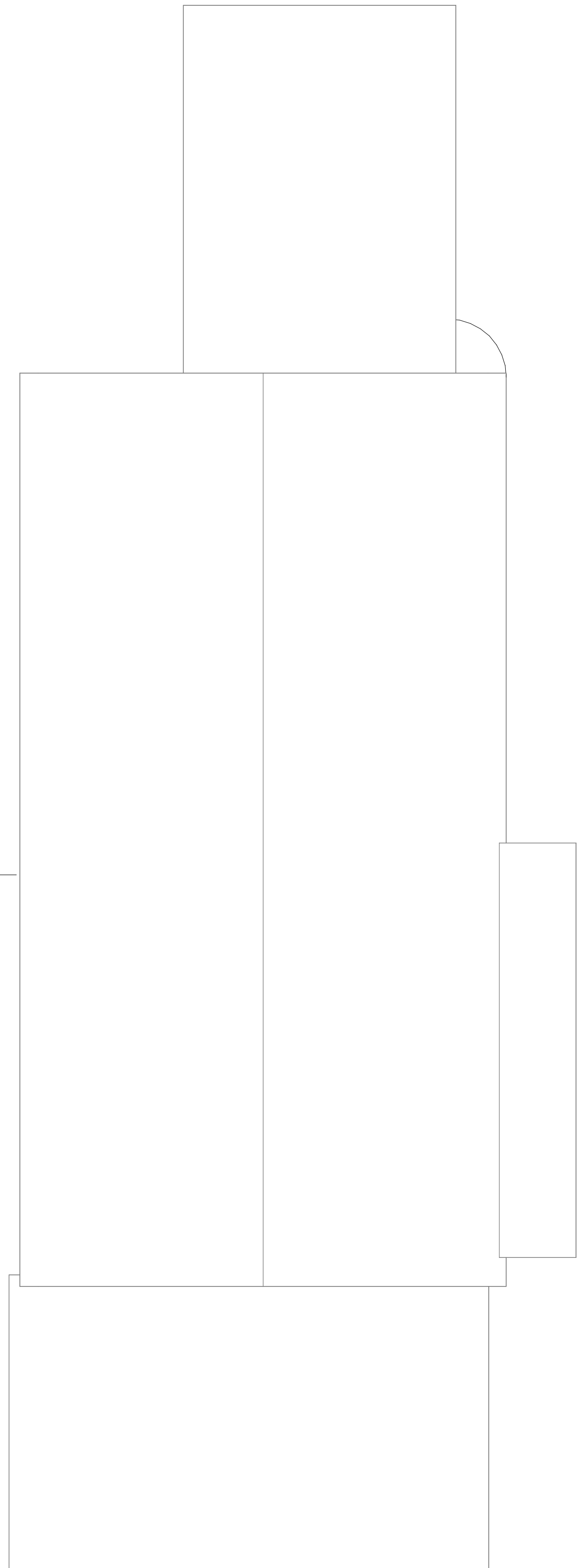
A-101



1 FLOOR PLAN_LEVEL 2
1/4" = 1'-0"



2 ROOF PLAN_POOL HOUSE
1/4" = 1'-0"



GENERAL NOTES - FLOOR PLAN

- WALL INSULATION TO BE MINIMUM R-20 OR OTHERWISE COMPLIANT W/ 2021 IECC TABLE C402.1.3.
- ROOF INSULATION TO BE MINIMUM OF R-38 OR OTHERWISE COMPLIANT W/ 2021 IECC TABLE C402.1.3. CLOSED CELL SPRAY FOAM RECOMMENDED WITH CODE COMPLIANT THERMAL/FIRE BARRIER. R-38 BATT REQUIRES 12" CAVITY. CONTRACTOR TO PROVIDE FURRING IF BATT INSULATION IS CHOSEN.
- FLOORS OVER UNCONDITIONED SPACE TO BE R-30 OR OR OTHERWISE COMPLIANT W/ 2021 IECC TABLE C402.1.3.
- WINDOWS TO HAVE MAXIMUM SHGC OF 0.25
- ALL INTERIOR WALL DIMENSIONS TO FACE OF STUD U.N.O.
- GYPSUM WALL BOARD TO BE 5/8" ON ALL WALLS.
- BUILDING ENVELOPE, VAPOR BARRIER, WATER PROOFING AND FLASHING TO BE COMPLIANT WITH 2021 IRC.
- VAPOR BARRIER AT ALL EXTERIOR WALLS, TAPE SEAMS AND AND ALL DOOR AND WINDOW OPENINGS. SELF ADHERING SHEET AIR BARRIER RECOMMENDED BY CARLISLE CCW-705 TDS OR SIMILAR.
- SMOKE DETECTORS MARKED "SD" TO BE COMPLIANT WITH CITY OF AUSTIN REQUIREMENTS. IN EACH SLEEPING ROOM, IN THE IMMEDIATE VICINITY OUTSIDE OF EACH SLEEPING ROOM, DEVICES SHALL BE HARD-WIRED AND INTERCONNECTED WITH BATTERY BACK-UP. REF. R314 LOCAL AMENDMENT.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA AND IN THE IMMEDIATE VICINITY OF BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND DWELLING UNITS HAVING ATTACHED GARAGES. REF. R315 LOCAL AMENDMENT.
- PROVIDE SOLID PINE 1X6 WALL BASE, PNT.
- PROVIDE SOLID PINE 1X4 DOOR TRIMS, PNT.
- PROVIDE SOLID PINE 1X6 WINDOW SILLS, PNT.
- 1-1/8" FLOOR DECKING TO BE USED U.N.O.
- LIGHT SWITCHES AND CONTROLS MAX 48" A.F.F.
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- FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
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GENERAL NOTES - VISIBILITY

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GENERAL NOTES - COA FLOOR PLAN

- VISITABLE BATHROOM TO HAVE 2X6 BLOCKING AT 34" A.F.F. AROUND ENTIRE BATHROOM EXCEPT AT LAVATORY.
- A VISITABLE ROUTE COMPLIANT WITH ORDINANCE NO. 20140130-021. 1/2" MAX BEVELED THRESHOLD. MAX CROSS SLOPE OF 1:50.



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HARTFORD

2321 HARTFORD RD,
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CLIENTS: WADE AND SARAH
WEBSTER

No.	Description	Date



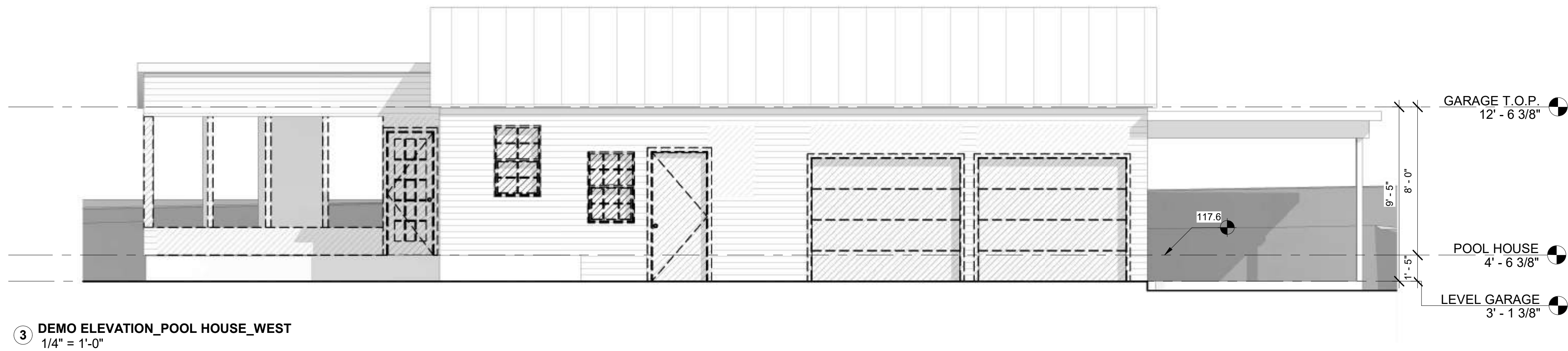
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Date 2.1.2024

LEVEL 2 FLOOR PLAN

A-102



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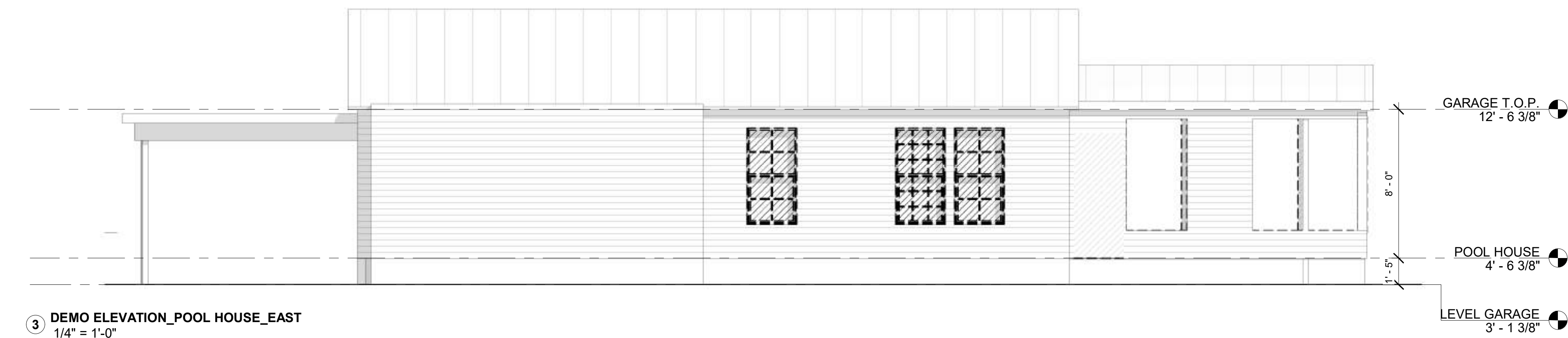
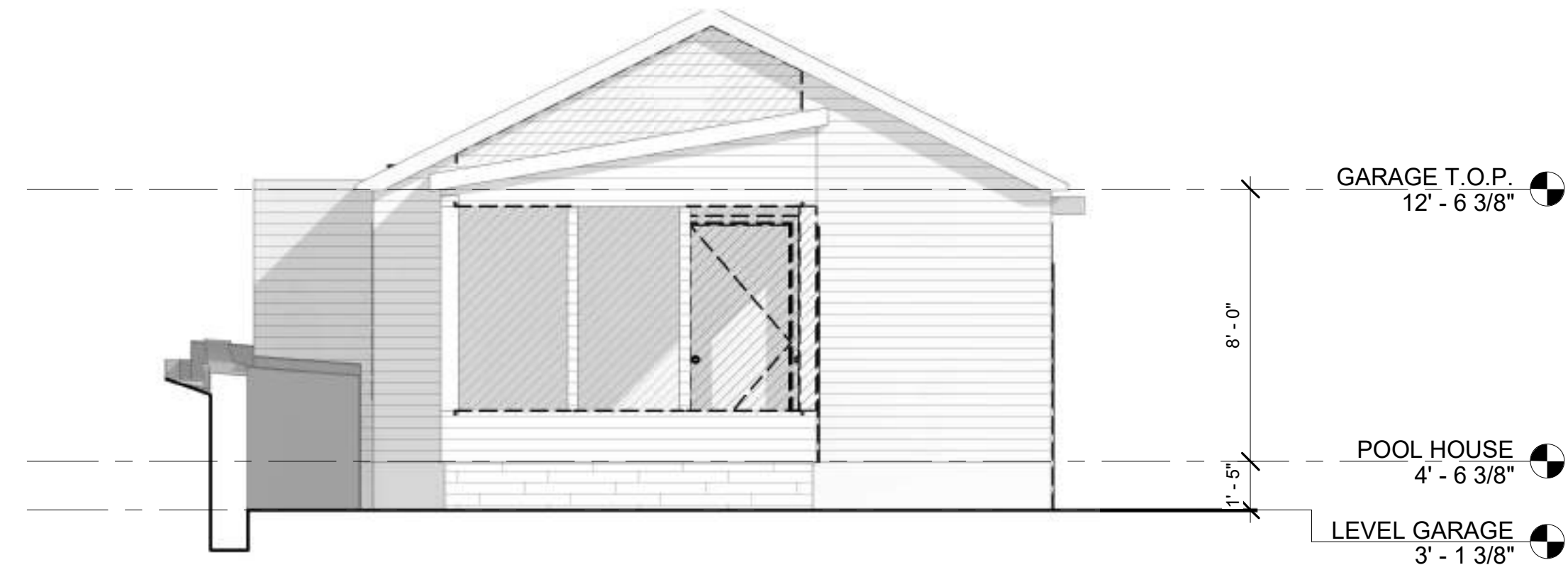
Project # 23.33.HARTFORD

Date 2.1.2024

DEMO ELEVATIONS

A-201

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FINISH SCHEDULE KEY

- BR.1 MATCH EXISTING BRICK
C.P.1 CEMENT PLASTER, SMOOTH
BURNISHED W/ INTEGRAL COLOR.
CONC.1 CEMENT PLASTER, SMOOTH
BURNISHED W/ INTEGRAL COLOR
OVER CONCRETE SITE WALLS.
CONC.2 POLISHED & SEALED CONCRETE
SLAB FLOOR.
PNT.1 BASE WALL PAINT COLOR. FINAL
SELECTION BY OWNER.
PNT.2 METAL PAINT, DARK GREY. FASCIA,
INTERIOR RAILS & STAIR
STRUCTURES. FINAL SELECTION
BY OWNER.
S.S.1 PRE-FINISHED STANDING SEAM
METAL ROOF & WALL CLADDING W/
CONTINUOUS ICE & WATER SHIELD
UNDERLAYMENT-MATCH EXISTING
S.STL.1 STAINLESS STEEL
SD.1 CEMENT BOARD HARDI SIDING-PTD
TO MATCH EXISTING HORIZONTAL
SIDING
TL.1 GLAZED PORCELAIN TILE. FINAL
SELECTION BY OWNER.
TL.2 GLAZED PORCELAIN SHOWER TILE.
FINAL SELECTION BY OWNER.
WD.1 PRE-FINISHED TONGUE & GROOVE
SQUARE EDGE SOFFIT. FINAL
SELECTION BY OWNER.
WD.2 VERTICAL WOOD SLATS. FINAL
SELECTION BY OWNER.
WD.3 SOLID WOOD STAIR TREADS TO
MATCH WD.2.
WD.4 HARDWOOD FLOORING. FINAL
SELECTION BY OWNER.



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WEBSTER

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Date 2.1.2024

DEMO ELEVATIONS

A-202



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HARIFORD

2321 HARTFORD RD,
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2.1.2024

ELEVATIONS

A-203



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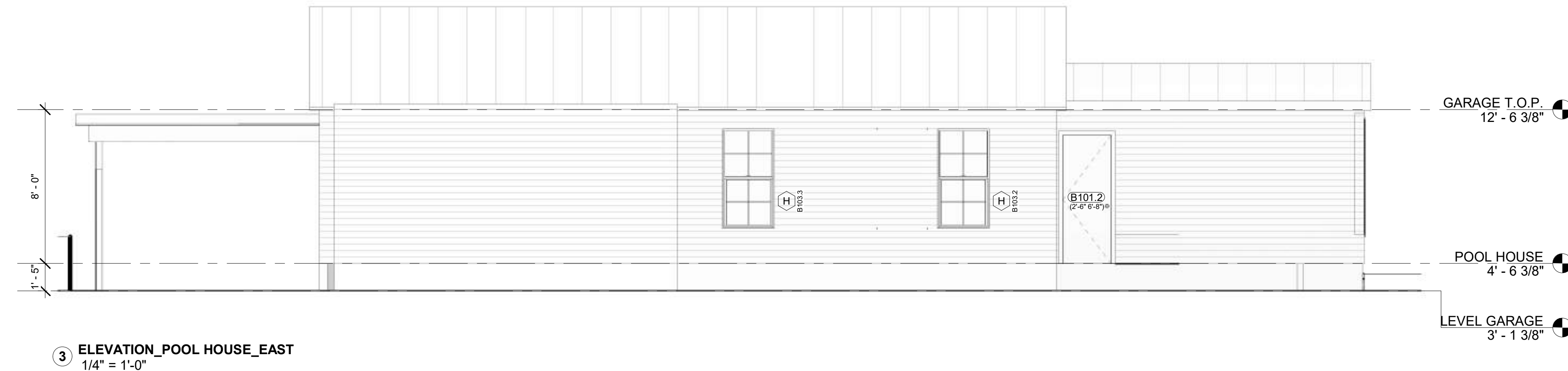
FULL SCALE IS 24X36 SHEET | HALF SCALE IS 12X18 SHEET



1 ELEVATION_NORTH
1/4" = 1'-0"



2 ELEVATION_SOUTH
1/4" = 1'-0"



3 ELEVATION_POOL HOUSE_EAST
1/4" = 1'-0"

- FINISH SCHEDULE KEY**
- BR.1 MATCH EXISTING BRICK
 - C.P.1 CEMENT PLASTER, SMOOTH BURNISHED W/ INTEGRAL COLOR.
 - CONC.1 CEMENT PLASTER, SMOOTH BURNISHED W/ INTEGRAL COLOR OVER CONCRETE SITE WALLS.
 - CONC.2 POLISHED & SEALED CONCRETE SLAB FLOOR.
 - PNT.1 BASE WALL PAINT COLOR. FINAL SELECTION BY OWNER.
 - PNT.2 METAL PAINT, DARK GREY. FASCIA, INTERIOR RAILS & STAIR STRUCTURES. FINAL SELECTION BY OWNER.
 - S.S.1 PRE-FINISHED STANDING SEAM METAL ROOF & WALL CLADDING W/ CONTINUOUS ICE & WATER SHIELD UNDERLAYMENT-MATCH EXISTING
 - S.STL.1 STAINLESS STEEL
 - SD.1 CEMENT BOARD HARDI SIDING-PTD TO MATCH EXISTING HORIZONTAL SIDING
 - TL.1 GLAZED PORCELAIN TILE. FINAL SELECTION BY OWNER.
 - TL.2 GLAZED PORCELAIN SHOWER TILE. FINAL SELECTION BY OWNER.
 - WD.1 PRE-FINISHED TONGUE & GROOVE SQUARE EDGE SOFFIT. FINAL SELECTION BY OWNER.
 - WD.2 VERTICAL WOOD SLATS. FINAL SELECTION BY OWNER.
 - WD.3 SOLID WOOD STAIR TREADS TO MATCH WD.2.
 - WD.4 HARDWOOD FLOORING. FINAL SELECTION BY OWNER.

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AUSTIN, TX 78703

CLIENTS: WADE AND SARAH WEBSTER

No.	Description	Date



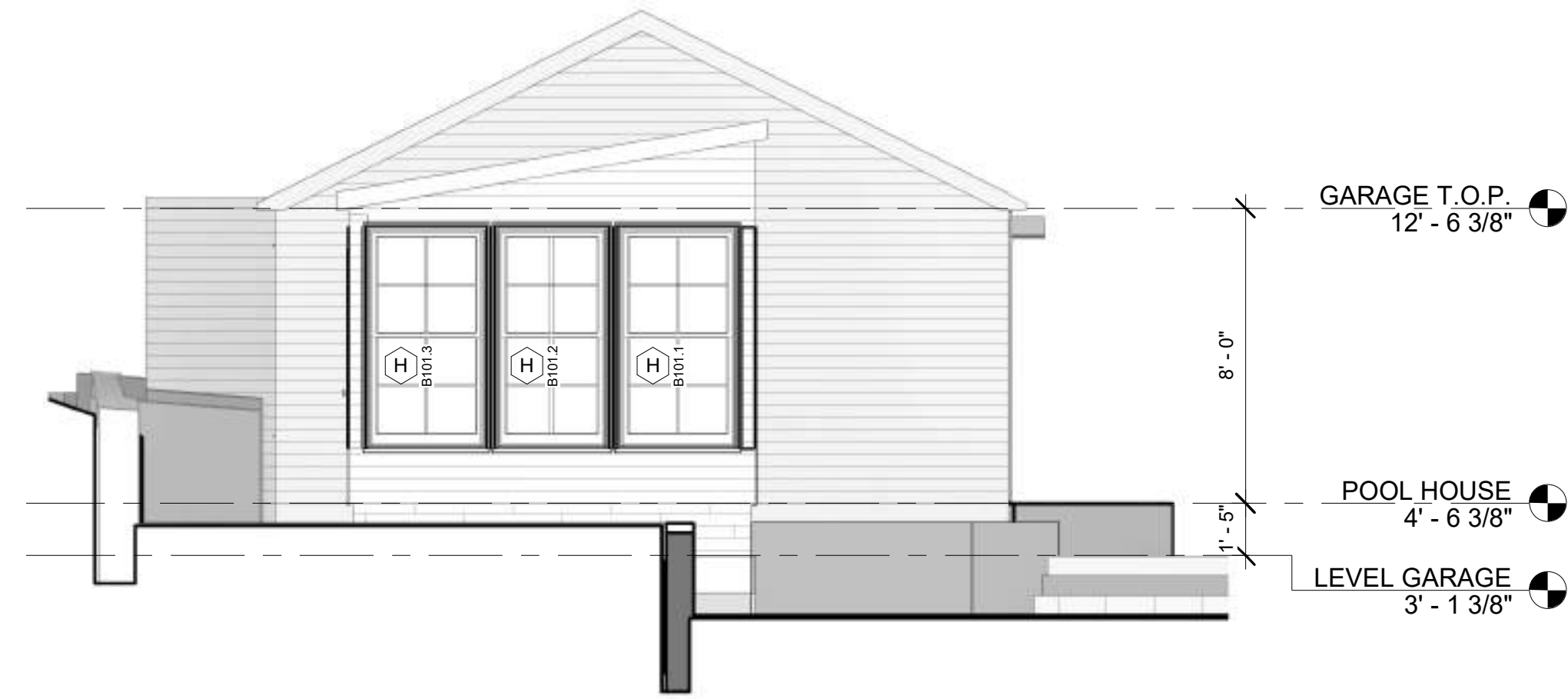
PERMIT SET

Project # 23.33.HARTFORD

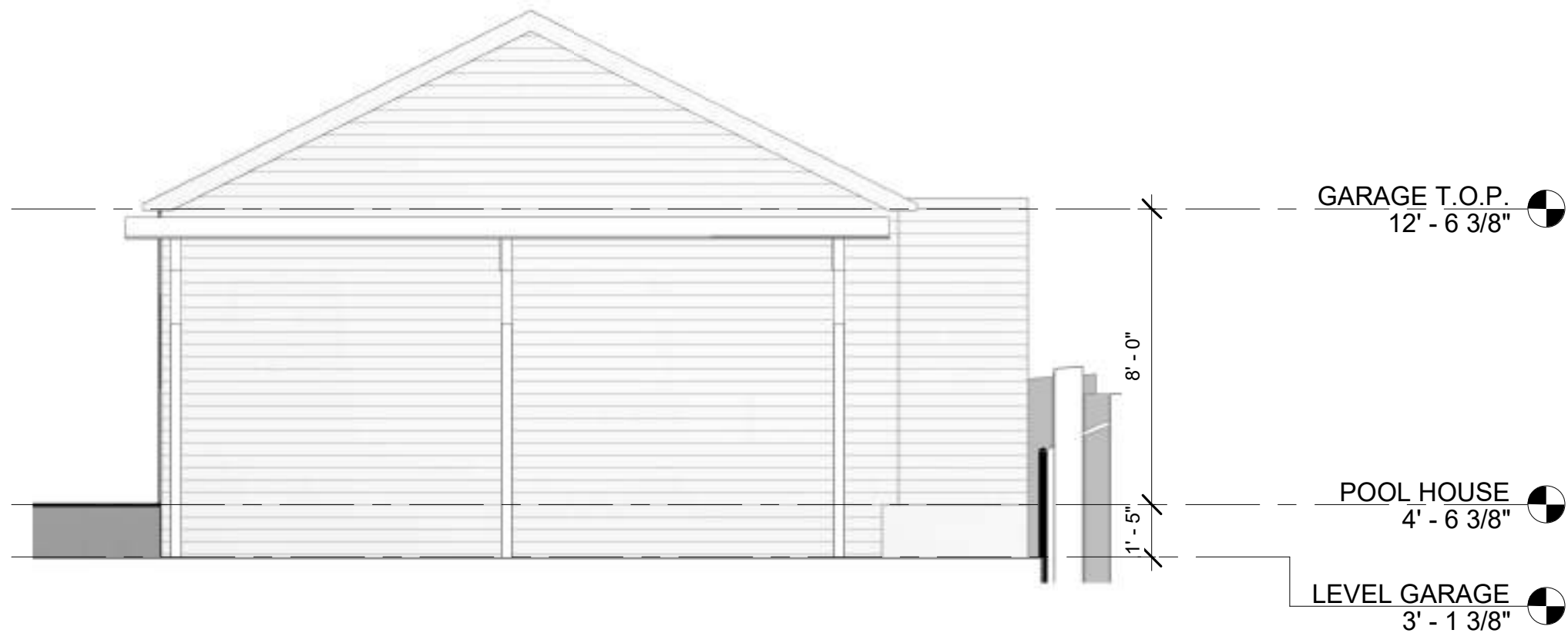
Date 2.1.2024

ELEVATIONS

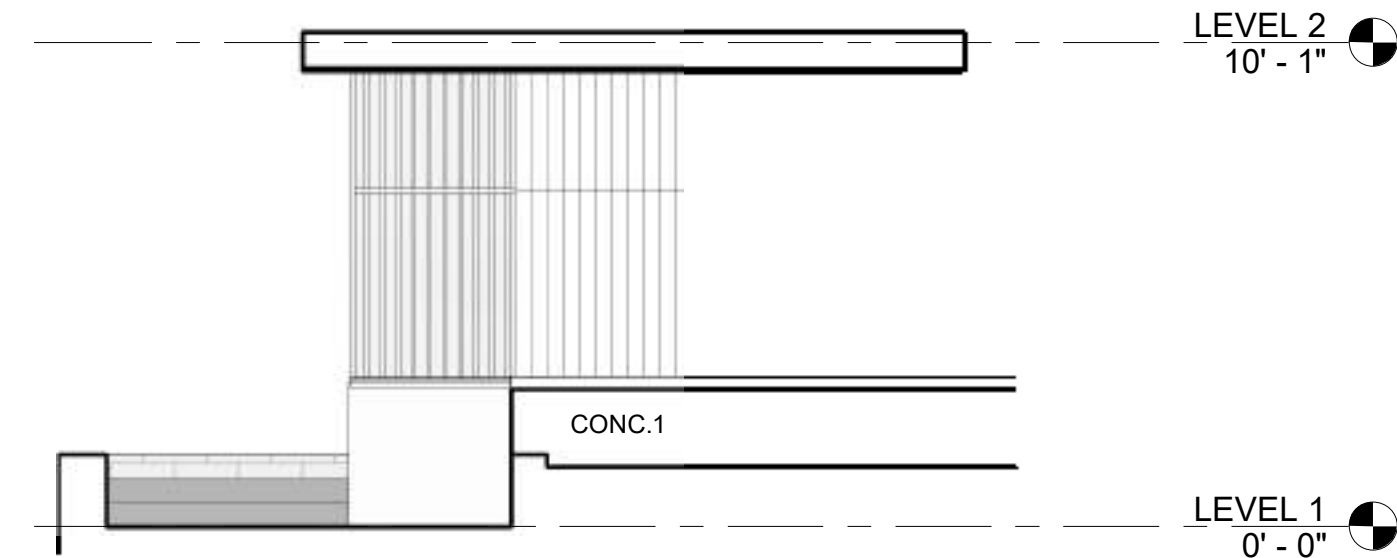
A-204



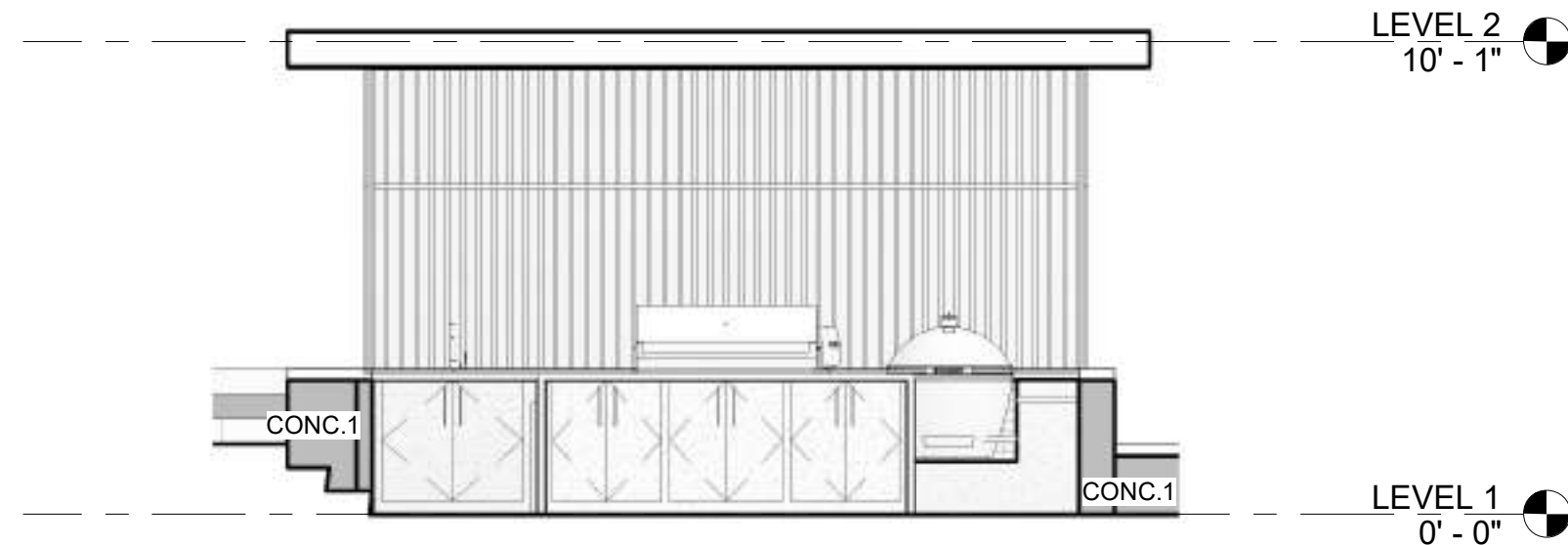
5 ELEVATION_POOL HOUSE_NORTH
1/4" = 1'-0"



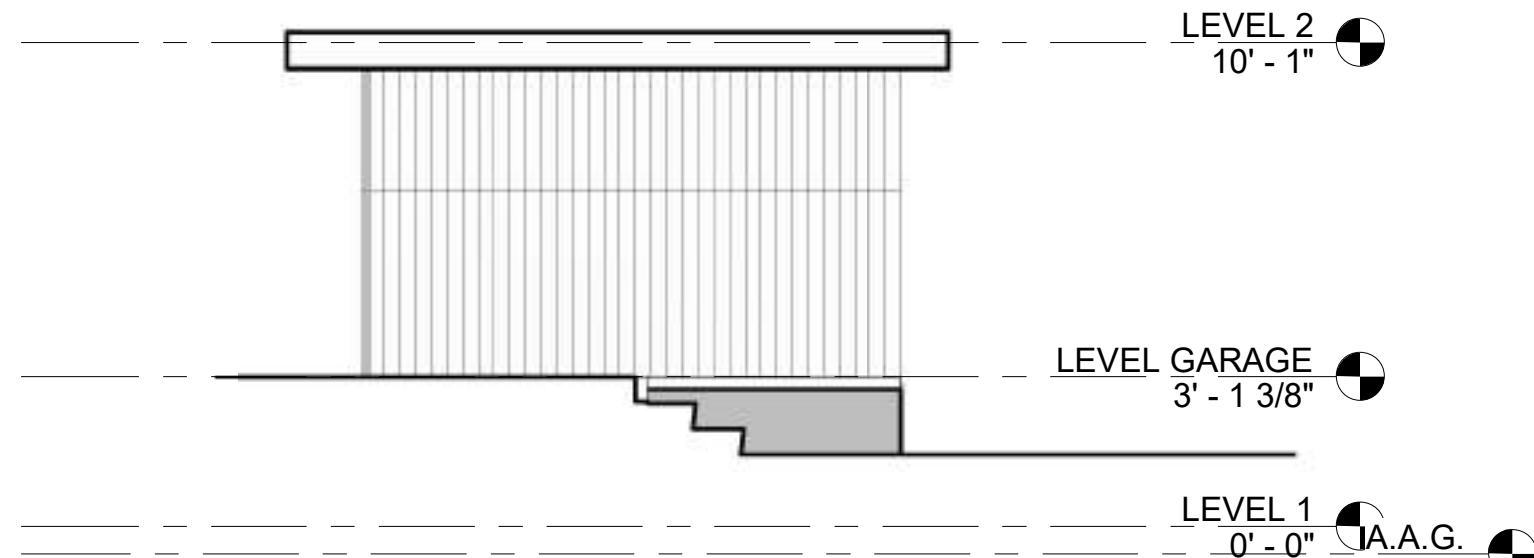
6 ELEVATION_POOL HOUSE_SOUTH
1/4" = 1'-0"



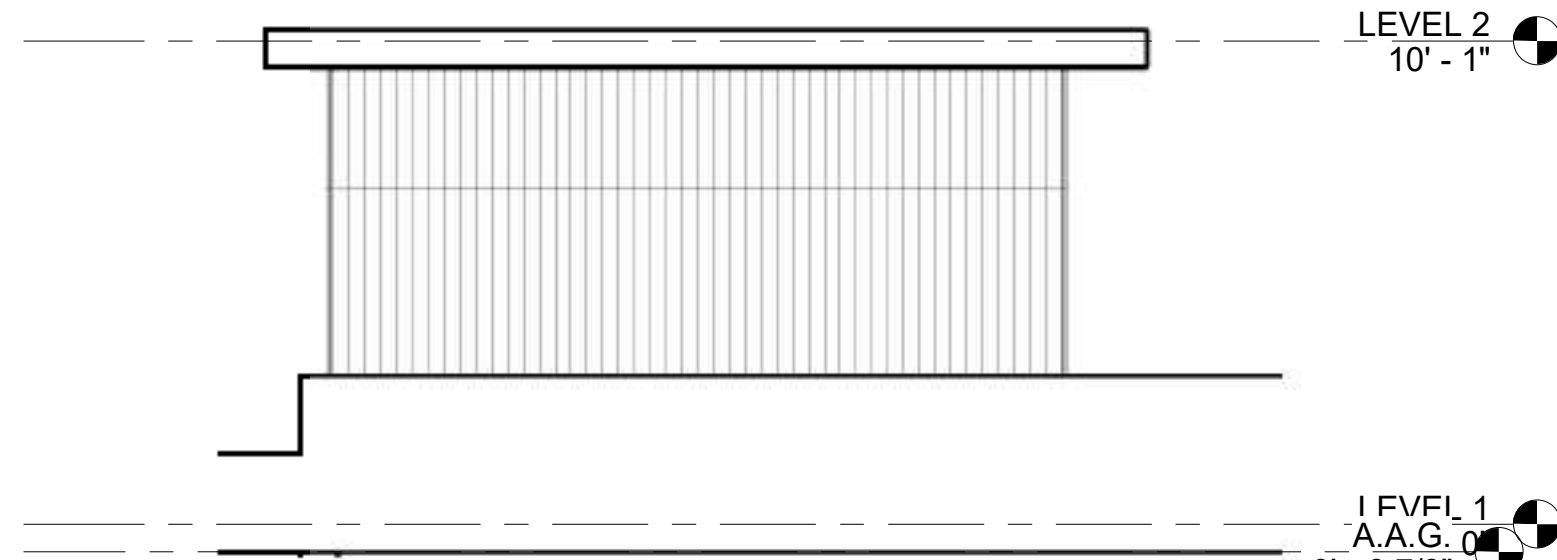
4 ELEVATION_OUTDOOR KITCHEN_WEST
1/4" = 1'-0"



1 ELEVATION_OUTDOOR KITCHEN_NORTH
1/4" = 1'-0"



2 ELEVATION_OUTDOOR KITCHEN_EAST
1/4" = 1'-0"



3 ELEVATION_OUTDOOR KITCHEN_SOUTH
1/4" = 1'-0"

- FINISH SCHEDULE KEY**
- BR.1 MATCH EXISTING BRICK
 - C.P.1 CEMENT PLASTER, SMOOTH BURNISHED W/ INTEGRAL COLOR.
 - CONC.1 CEMENT PLASTER, SMOOTH BURNISHED W/ INTEGRAL COLOR OVER CONCRETE SITE WALLS.
 - CONC.2 POLISHED & SEALED CONCRETE SLAB FLOOR.
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 - S.S.1 PRE-FINISHED STANDING SEAM METAL ROOF & WALL CLADDING W/ CONTINUOUS ICE & WATER SHIELD UNDERLAYMENT-MATCH EXISTING
 - S.STL.1 STAINLESS STEEL
 - SD.1 CEMENT BOARD HARDI SIDING-PTD TO MATCH EXISTING HORIZONTAL SIDING
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 - TL.2 GLAZED PORCELAIN SHOWER TILE. FINAL SELECTION BY OWNER.
 - WD.1 PRE-FINISHED TONGUE & GROOVE SQUARE EDGE SOFFIT. FINAL SELECTION BY OWNER.
 - WD.2 VERTICAL WOOD SLATS. FINAL SELECTION BY OWNER.
 - WD.3 SOLID WOOD STAIR TREADS TO MATCH WD.2.
 - WD.4 HARDWOOD FLOORING. FINAL SELECTION BY OWNER.

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No.	Description	Date



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Project # 23.33.HARTFORD

Date 2.1.2024

ELEVATIONS

DOOR SCHEDULE					
TAG	ROOM	R.O. WIDTH	R.O. HEIGHT	OPERATION	COMMENTS
A103.1	GARAGE	18' - 0"	8' - 0"		
A103.2	GARAGE	18' - 0"	8' - 0"		
A103.3	GARAGE	3' - 0"	8' - 0"		
A104.1	KITCHEN	2' - 6"	7' - 0"		
A201.1	SAVANNAH'S BATH	2' - 6"	7' - 0"		
A202.1	SAVANNAH'S CLOSET	2' - 6"	7' - 0"		
A204.1	SAVANNAH'S ROOM	2' - 6"	7' - 0"		REPLACEMENT DOOR
A205.1	CLOSET	4' - 0"	7' - 0"		
A205.2	CLOSET	4' - 0"	7' - 0"		
A205.3	FLEX SPACE	2' - 6"	7' - 0"		
B101.1	DINING	15' - 0"	7' - 6"		
B101.2	DINING	2' - 6"	6' - 8"		
B103.1	LIVING	3' - 6"	7' - 0"		
B105.1	GAME ROOM	8' - 2"	8' - 6"		
B105.2	GAME ROOM	8' - 2"	8' - 6"		

WINDOW SCHEDULE								
TAG	MARK	ROOM	R.O. WIDTH	R.O. HEIGHT	SILL	HEAD HEIGHT	OPERATION	COMMENTS
H	A103.1	GARAGE	3' - 0"	5' - 4"	0' - 0"	5' - 4"		
H	A103.2	GARAGE	3' - 0"	5' - 4"	0' - 0"	5' - 4"		
H	A103.3	GARAGE	2' - 0"	3' - 6"	2' - 9"	6' - 3"		
H	A103.4	GARAGE	2' - 0"	3' - 6"	2' - 9"	6' - 3"		
H	A103.5	GARAGE	3' - 0"	5' - 4"	0' - 0"	5' - 4"		
H	A201.1	SAVANNAH'S BATH	2' - 0"	3' - 6"	3' - 0"	6' - 6"		
H	A201.2	SAVANNAH'S BATH	2' - 0"	3' - 6"	3' - 0"	6' - 6"		
H	A201.3	SAVANNAH'S BATH	2' - 0"	3' - 6"	3' - 0"	6' - 6"		
H	A202.1	SAVANNAH'S CLOSET	2' - 0"	3' - 6"	3' - 0"	6' - 6"		
H	A202.2	SAVANNAH'S CLOSET	2' - 0"	3' - 6"	3' - 0"	6' - 6"		
H	A203.1	FLEX SPACE	2' - 0"	3' - 6"	3' - 0"	6' - 6"		
H	A203.2	FLEX SPACE	2' - 0"	3' - 6"	3' - 0"	6' - 6"		
H	A203.3	FLEX SPACE	2' - 0"	3' - 6"	3' - 0"	6' - 6"		
H	A203.4	FLEX SPACE	2' - 6"	3' - 11"	2' - 7"	6' - 6"		
H	A203.5	FLEX SPACE	2' - 6"	3' - 11"	2' - 7"	6' - 6"		
H	A301.1	ATTIC	2' - 0"	3' - 6"	1' - 0"	4' - 6"		
H	B101.1	DINING	3' - 2 1/2"	6' - 0"	1' - 6"	7' - 6"		REPLACEMENT WINDOW VERIFY R.O.
H	B101.2	DINING	3' - 0 1/2"	6' - 0"	1' - 6"	7' - 6"		REPLACEMENT WINDOW VERIFY R.O.
H	B101.3	DINING	3' - 2 1/2"	6' - 0"	1' - 6"	7' - 6"		REPLACEMENT WINDOW VERIFY R.O.
H	B102.1	POOL BATH	2' - 6"	3' - 10"	3' - 2"	7' - 0"		REPLACEMENT WINDOW VERIFY R.O.
H	B103.1	LIVING	2' - 6"	3' - 10"	3' - 2"	7' - 0"		REPLACEMENT WINDOW VERIFY R.O.
H	B103.2	LIVING	2' - 8"	5' - 2"	1' - 10"	7' - 0"		REPLACEMENT WINDOW VERIFY R.O.
H	B103.3	LIVING	2' - 8"	5' - 2"	1' - 10"	7' - 0"		REPLACEMENT WINDOW VERIFY R.O.

SWING INDICATOR

HANDLE

101

DOOR TAG

DOOR

SWING INDICATOR

HANDLE

1t

WINDOW TAG

CASEMENT WINDOWS

ROOM SCHEDULE

A101

COVERED PORCH

A102

OUTDOOR KITCHEN

A103

GARAGE

A104

KITCHEN

A201

SAVANNAH'S BATH

A202

SAVANNAH'S CLOSET

A203

FLEX SPACE

A204

SAVANNAH'S ROOM

A205

TRIP'S ROOM

A206

TRIP'S BATH

A207

CLOSET

A208

CLOSET

A301

ATTIC

B101

DINING

B102

POOL BATH

B103

LIVING

B104

LAUNDRY CLOSET

B105

GAME ROOM

WINDOW KEY

(E)

EXISTING

A

AWNING

C

CASEMENT

F

FIXED

H

HUNG

S

SLIDER

SK

SKYLIGHT

T

TRANSOM

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No.	Description	Date



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Project # 23.33.HARTFORD
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SCHEDULES & DIAGRAMS

A-601



2/1/2024 3:43:31 PM

FULL SCALE IS 24X36 SHEET | HALF SCALE IS 12X18 SHEET

HARTFORD
2321 HARTFORD RD,
AUSTIN, TX 78703

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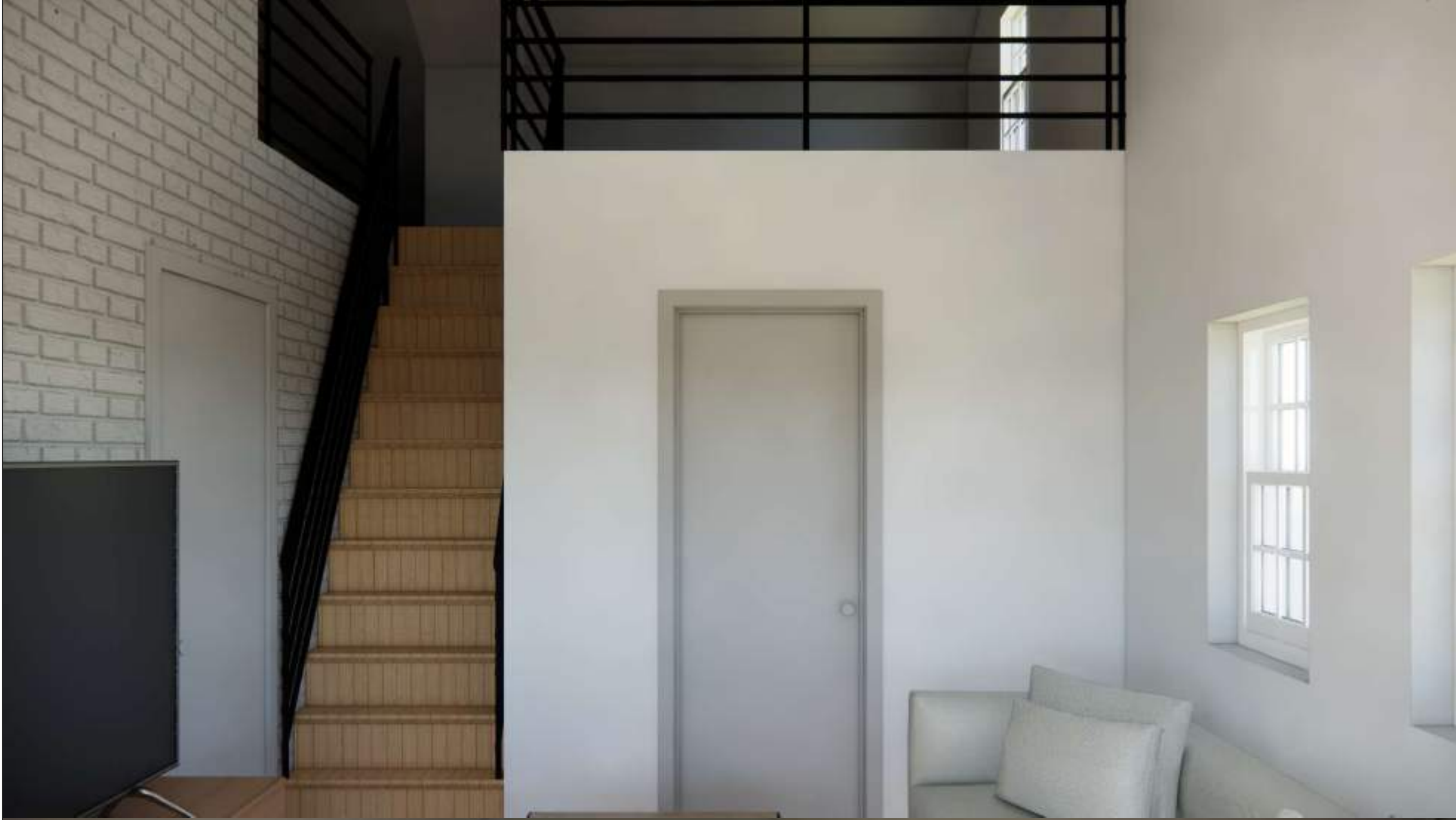
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Date 2.1.2024

3D

A-701



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Date 2.1.2024

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