



SITE PLAN - LEGEND

- PROPOSED ADDITION
- EXISTING TO REMAIN
- TREE TRUNK DIAMETER
- FULL CRITICAL ROOT ZONE
- 1/2 CRITICAL ROOT ZONE
- 1/4 CRITICAL ROOT ZONE
- OE-OE- OVERHEAD ELECTRIC LINE
- UE-UE- UNDERGROUND ELECTRIC LINE
- IRON FENCE

TREE PROTECTION NOTES:

- PROVIDE 5' TALL CHAIN LINK MESH TREE PROTECTION FENCING PER CITY OF AUSTIN REQUIREMENTS AND 8" MULCH GROUND COVER DURING CONSTRUCTION AROUND ALL TREES IN THE CONSTRUCTION AREA.
- PROVIDE BREATHABLE RUBBER MAT OVER 8" MULCH AT LOCATIONS WHERE TREE PROTECTION FENCING IS NOT POSSIBLE.
- WRAP 2X4 BOARDS AROUND ALL TREE TRUNKS ON SITE OR IN ADJACENT RIGHT OF WAY DURING CONSTRUCTION.
- ALL LIMBS AND TREE TRIMMING TO BE PERFORMED BY OWNER PROVIDED ARBORIST.
- GC TO ENSURE THAT ANY CONCRETE WASHOUT DOES NOT OCCUR WITHIN THE CRZ OF ANY TREES.
- GC TO AVOID TRENCHING WITHIN 1/2 CRZ OF ANY TREES.
- IN AREAS WHERE SILT FENCE IS LOCATED WITHIN THE 1/2 CRZ OF ANY PROTECTED TREE, A MULCH SOCK IS TO BE USED IN-PLACE OF SILT FENCE.
- TREE PROTECTION FENCING MUST BE ON GRADE (FLAT POST BASES WEIGHTED DOWN WITH SAND BAGS) AND MUST ENCOMPASS THE 1/4 CRZ AT MINIMUM.

GENERAL NOTES:

1. NO UNDERGROUND UTILITY TRENCHES PERMITTED IN THE 1/2 CRITICAL ROOT ZONE.
2. NO ACCESS, PARKING OR MATERIAL STORAGE WITHIN THE LIMITS OF THE TREE PROTECTION FENCE.
3. ALL ROOT CUTS TO BE CLEAN (NO FRAVED EDGES)
4. FERTILIZE TREE ROOTS AND PROVIDE IRRIGATION DURING CONSTRUCTION.
5. NO UNDERGROUND UTILITY TRENCHING WITHIN 12' OF TREE TRUNKS.
6. PROVIDE 5' TALL CHAIN LINK MESH TREE PROTECTION FENCING PER CITY OF AUSTIN REQUIREMENTS AND 8" MULCH GROUND COVER DURING CONSTRUCTION AROUND ALL TREES IN THE CONSTRUCTION AREA.
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14. MINIMIZE DISTURBANCE OF EXISTING GRADE AND LANDSCAPE WHEREVER POSSIBLE, WHILE PROVIDING POSITIVE DRAINAGE AWAY FROM HOUSE.
15. AFTER CONSTRUCTION, AIRSPADE ALL TREES WHERE CONSTRUCTION ACTIVITIES HAVE COMPACTED SOIL WITHIN CRITICAL ROOT ZONE.
16. PROVIDE AND MAINTAIN AN EROSION CONTROL SYSTEM WITH APPROPRIATE DEVICES PER STATUTORY REQUIREMENTS.
17. NOTIFY APPROPRIATE AUTHORITY TO LOCATE EXISTING UTILITY LINES AND PROTECT ALL UTILITIES FROM EXCAVATION OR SIMILAR HAZARDS.
18. PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.
19. REFERENCE LIST OF FINISHES FOR FLATWORK. USE 1X4 REDWOOD AT ALL CONTROL JOINTS.
20. GRAVEL (BY LANDSCAPE); RAINBOW PEA GRAVEL (FINAL COLOR SELECTION TO BE APPROVED BY ARCHITECT) FOR AREAS AS SPECIFIED ON DRAWINGS.
21. STONE PAVERS (BY LANDSCAPE); REFERENCE LIST OF FINISHES: 2 1/4" THICK PAVERS, SET PAVERS IN SAND BED OVER MINIMUM 6" LAYER OF COMPACTED FILL. PAVERS ARE TO BE BUTTED TIGHT WITH MINIMAL JOINTS THAT REQUIRE NO GROUT.
22. STEEL EDGING AND RETAINING WALLS (BY LANDSCAPE); REFERENCE DIVISION 5 SPECIFICATIONS.
23. ALL DIMENSIONS ARE TO FACE OF FOUNDATION UNLESS OTHERWISE NOTED.

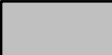





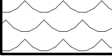

TREE LEGEND	
Mark	Comments
2430	23" LIVE OAK
2431	20" LIVE OAK
2436	20 7/17" LIVE OAK
2445	12 7/10" 10" SPANISH OAK

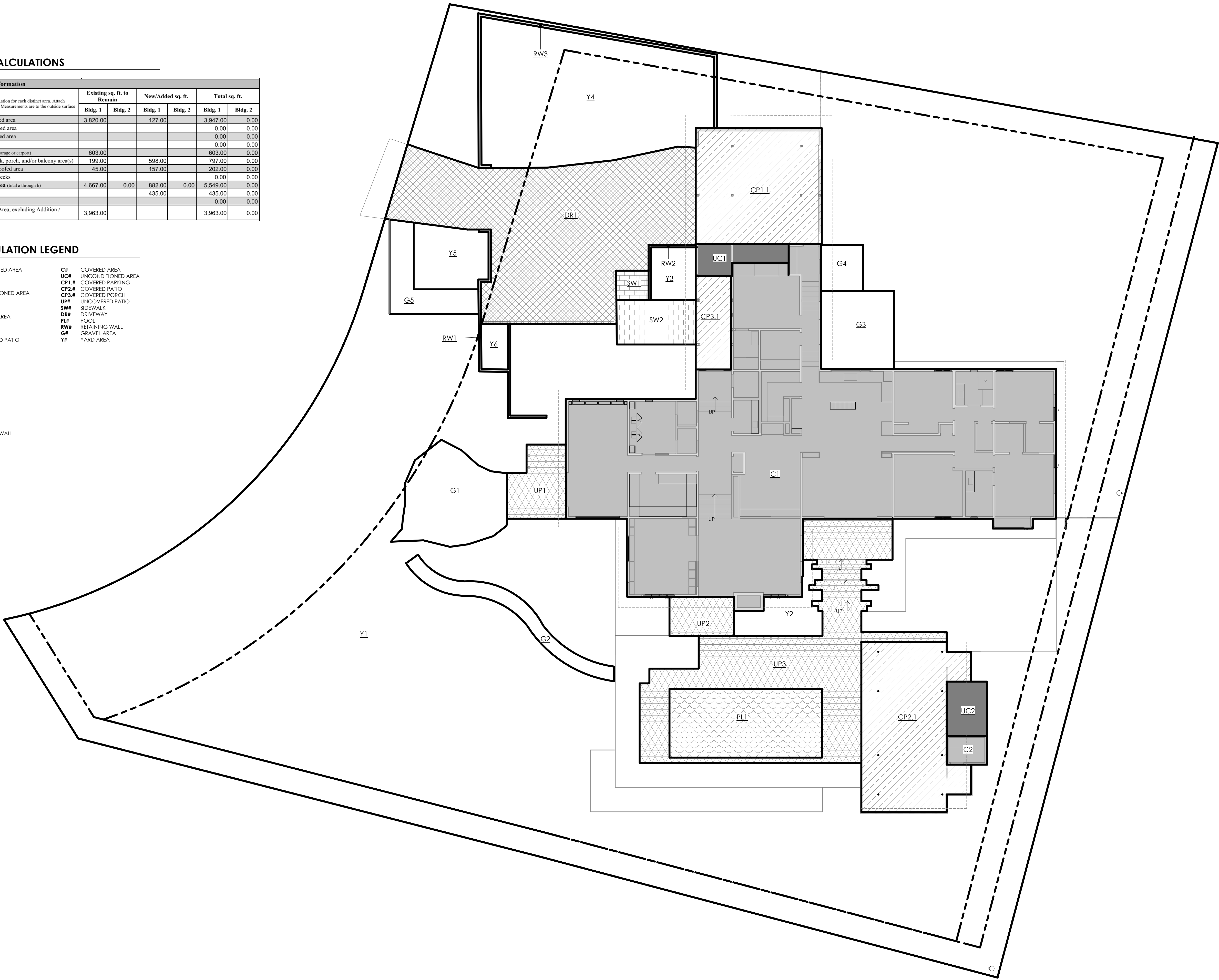


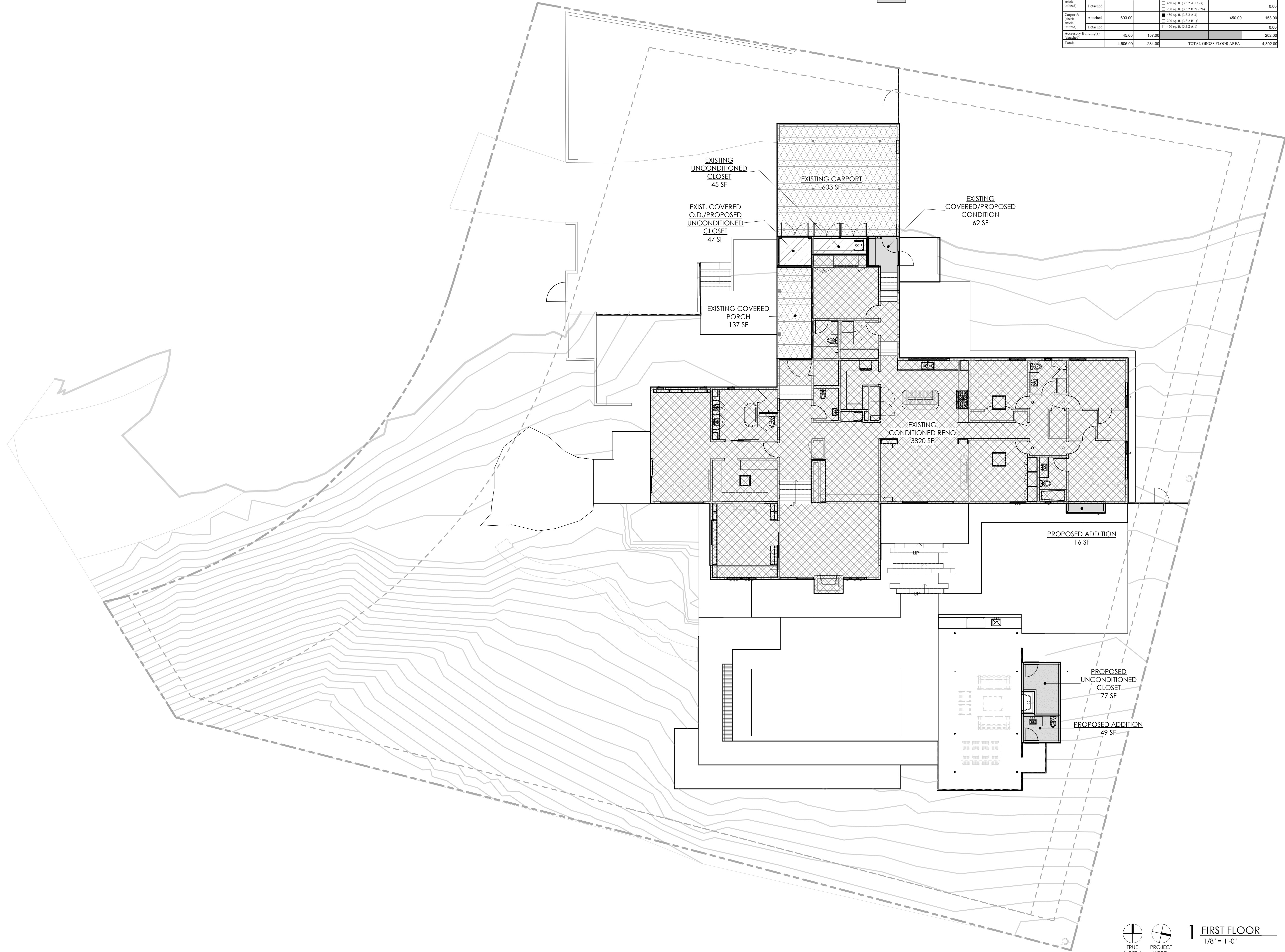
SITE AREA CALCULATIONS

Site Development Information						
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing sq. ft. to Remain		New/Added sq. ft.		Total sq. ft.	
	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2
a) 1 st Floor conditioned area	3,820.00		127.00		3,947.00	0.00
b) 2 nd Floor conditioned area					0.00	0.00
c) 3 rd Floor conditioned area					0.00	0.00
d) Basement					0.00	0.00
e) Covered parking (garage or carport)	603.00				603.00	0.00
f) Covered patio, deck, porch, and/or balcony area(s)	199.00		598.00		797.00	0.00
g) Other covered or roofed area	45.00		157.00		202.00	0.00
h) Uncovered wood decks					0.00	0.00
Total Building Area (total a through h)	4,667.00	0.00	882.00	0.00	5,549.00	0.00
i) Pool				435.00		435.00
j) Spa					0.00	0.00
k) Remodeled Floor Area, excluding Addition / New Construction	3,963.00				3,963.00	0.00

AREA CALCULATION LEGEND

	CONDITIONED AREA	CP#	COVERED AREA
	UNCONDITIONED AREA	UC#	UNCONDITIONED AREA
	COVERED AREA	CP1.#	COVERED PARKING
	UNCOVERED PATIO	CP2.#	COVERED PATIO
	SIDEWALK	CP3.#	COVERED PORCH
	DRIVEWAY	UP#	UNCOVERED PATIO
	POOL	SW#	SIDEWALK
	RETAINING WALL	DR#	DRIVEWAY
		PL#	POOL
		RW#	RETAINING WALL
		G#	GRAVEL AREA
		Y#	YARD AREA



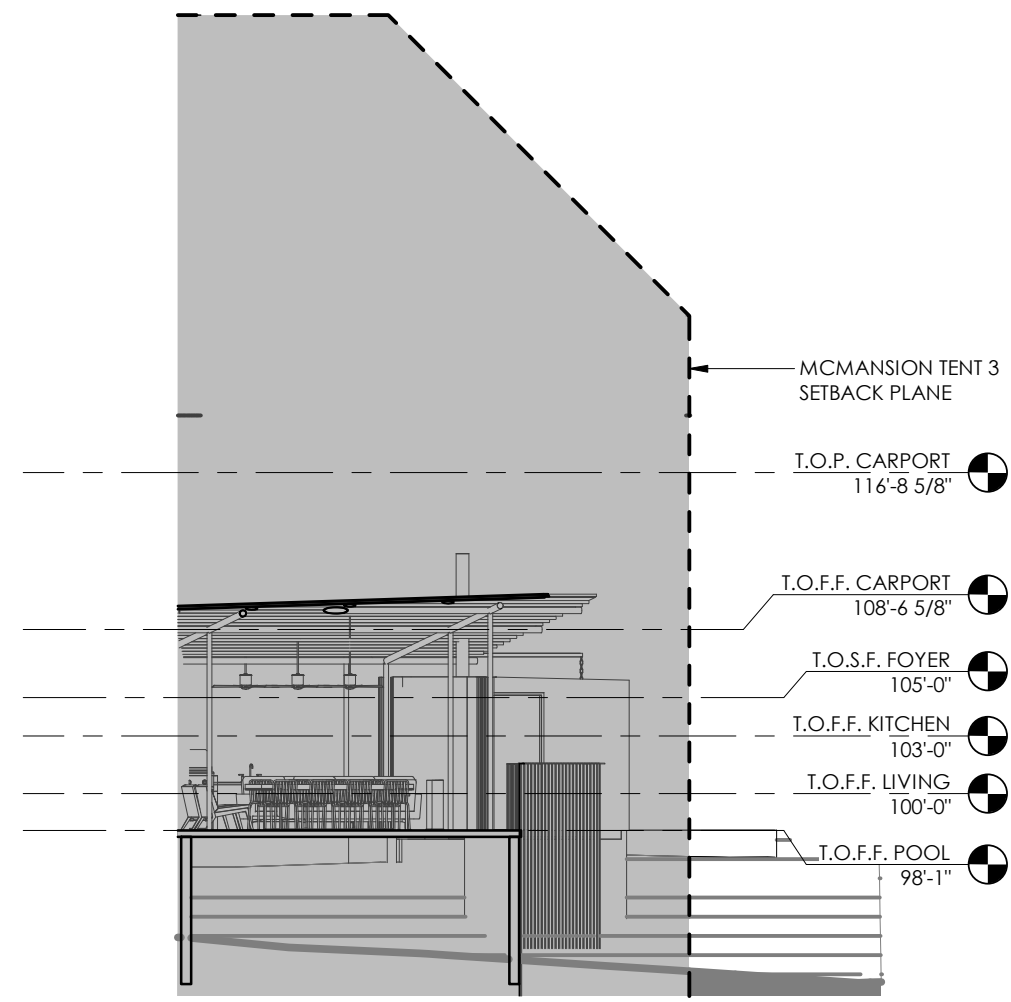


AREA CALCULATION LEGEND

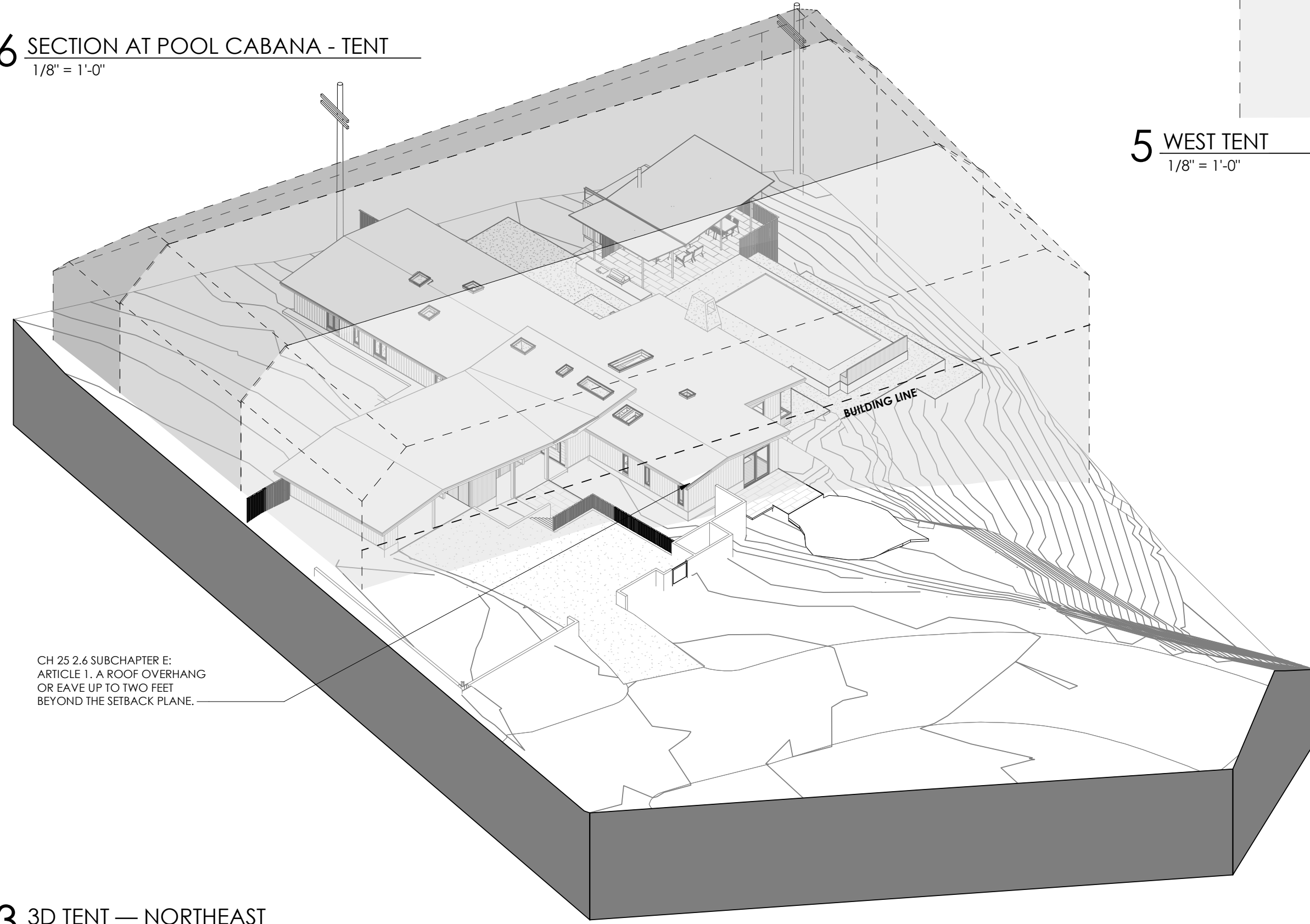
- EXISTING CONDITIONED AREA
- EXISTING UNCONDITIONED AREA
- EXISTING COVERED AREA
- PROPOSED AREA

GROSS FLOOR AREA

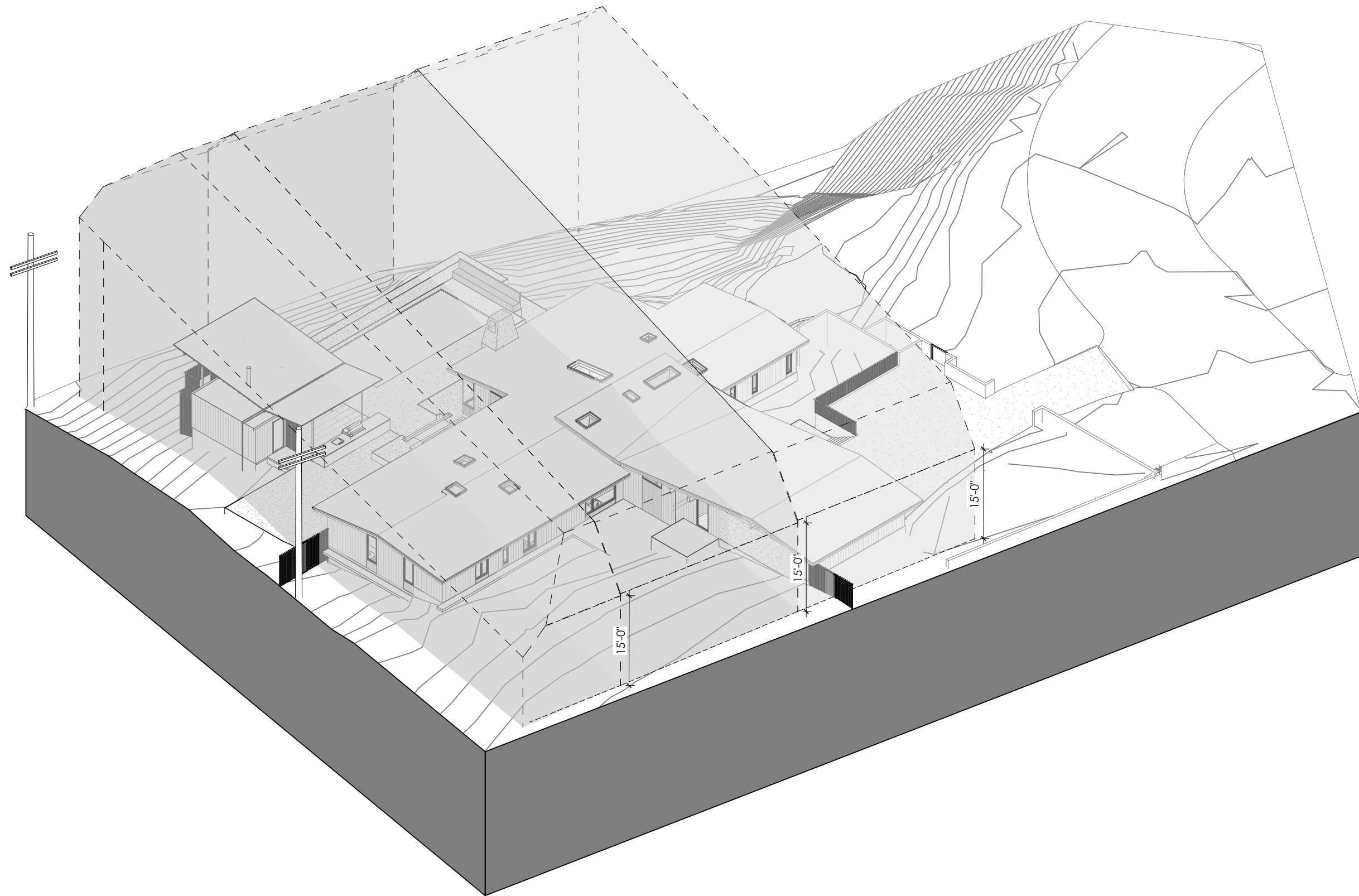
	Existing sq. ft. to remain	New/Added sq. ft.	Proposed Exemption (check article/section)	Applied Exemption sq. ft.	Total sq. ft.
1 st Floor	3,850.00	127.00			3,947.00
2 nd Floor					0.00
3 rd Floor					0.00
Area w/ ceilings > 15'			Must follow article 3.3.3		0.00
Ground Floor Porch (check article/section)	137.00		■ 400 sq. ft. (3.3.3 A.2)	137.00	0.00
Basement*			Must follow article 3.3.3B		0.00
Attic *			Must follow article 3.3.3C		0.00
Carport (check article/section)	Attached		■ 400 sq. ft. (3.3.2 B.1)		0.00
	Detached		□ 400 sq. ft. (3.3.2 A.1, 3a)		0.00
			□ 200 sq. ft. (3.3.2 B.2, 2b)		0.00
Carport (check article/section)	Attached	603.00	■ 400 sq. ft. (3.3.2 A.1)	450.00	153.00
	Detached		□ 200 sq. ft. (3.3.2 B.1)		0.00
Accessory Building(s) (check article/section)	45.00	157.00			202.00
Totals	4,605.00	284.00			4,302.00
TOTAL GROSS FLOOR AREA					4,302.00



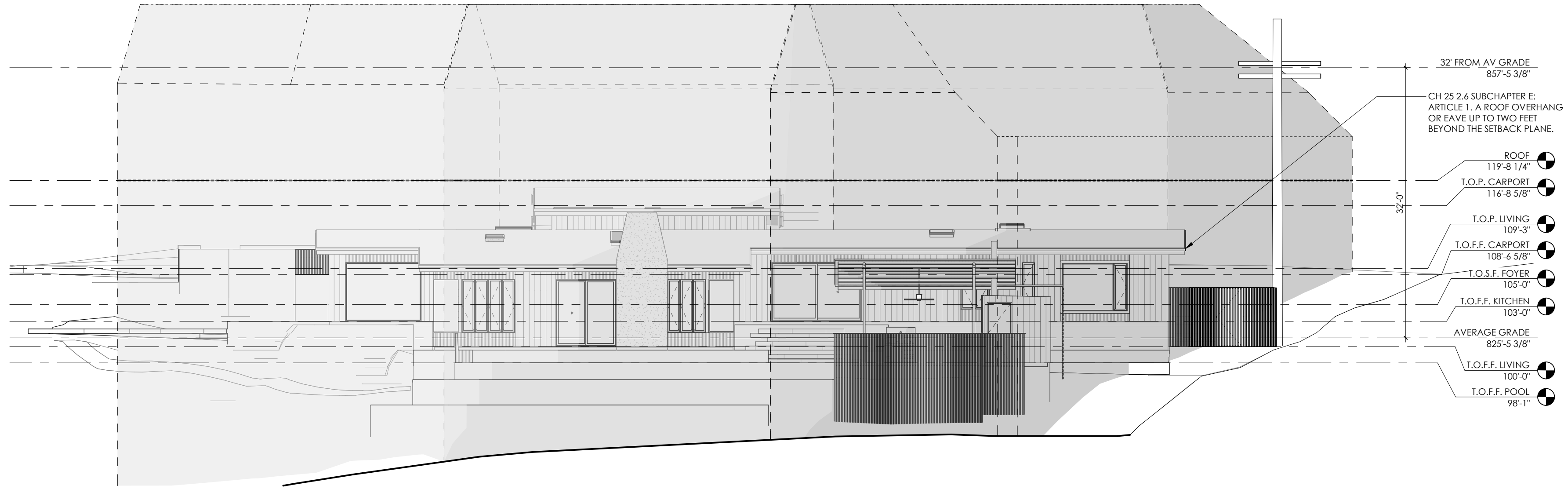
6 SECTION AT POOL CABANA - TENT
1/8" = 1'-0"



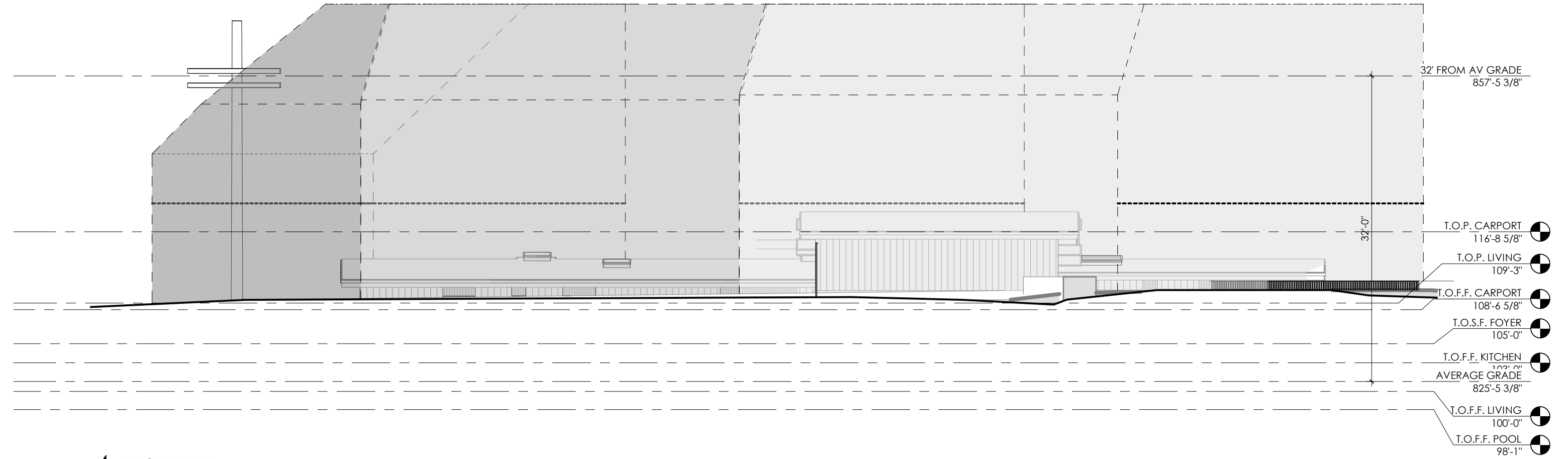
3 3D TENT — NORTHEAST



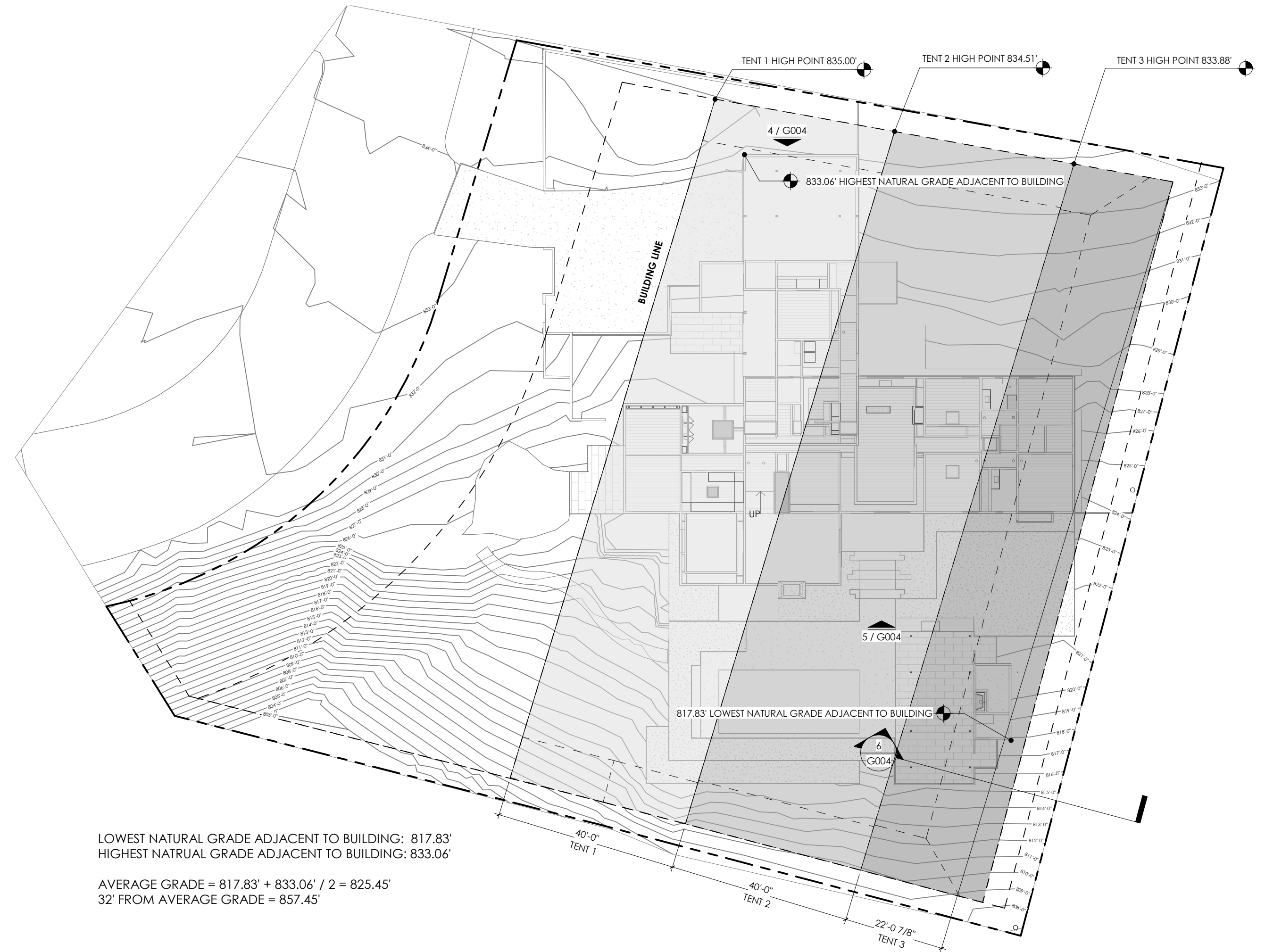
2 3D TENT — SOUTHEAST



5 WEST TENT
1/8" = 1'-0"

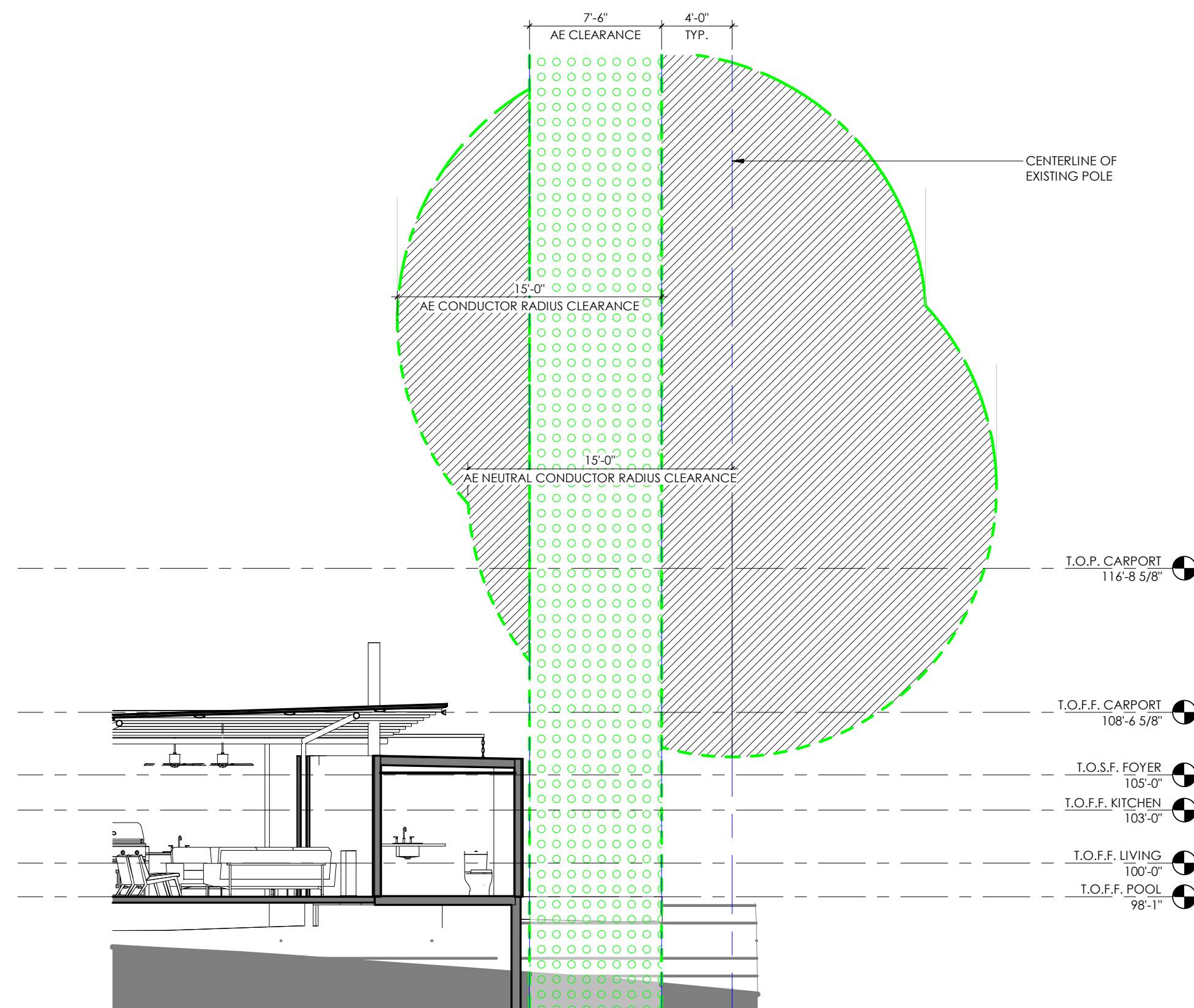


4 EAST TENT
1/8" = 1'-0"

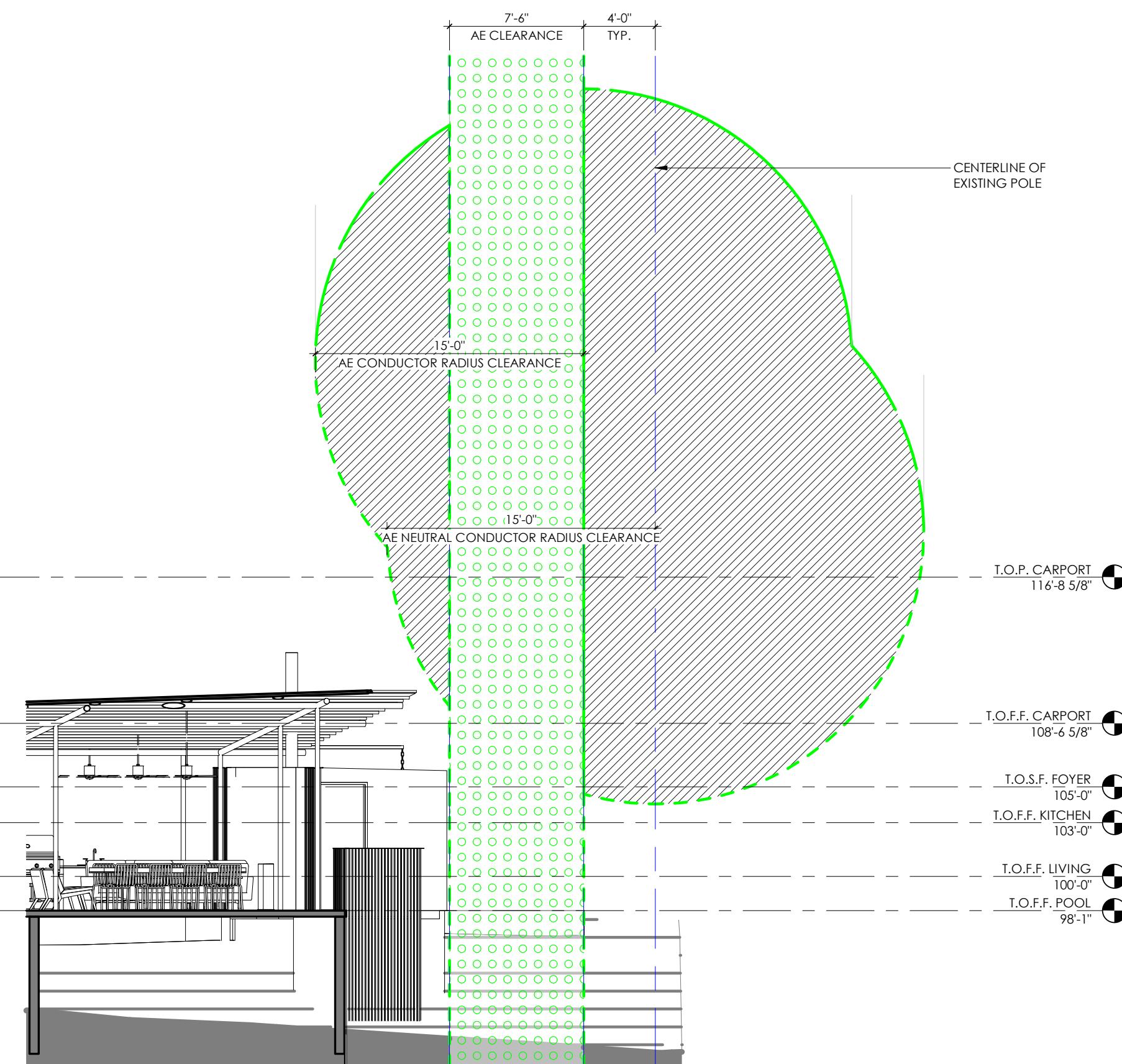


LOWEST NATURAL GRADE ADJACENT TO BUILDING: 817.83'
HIGHEST NATURAL GRADE ADJACENT TO BUILDING: 833.06'
AVERAGE GRADE = 817.83' + 833.06' / 2 = 825.45'
32' FROM AVERAGE GRADE = 857.45'

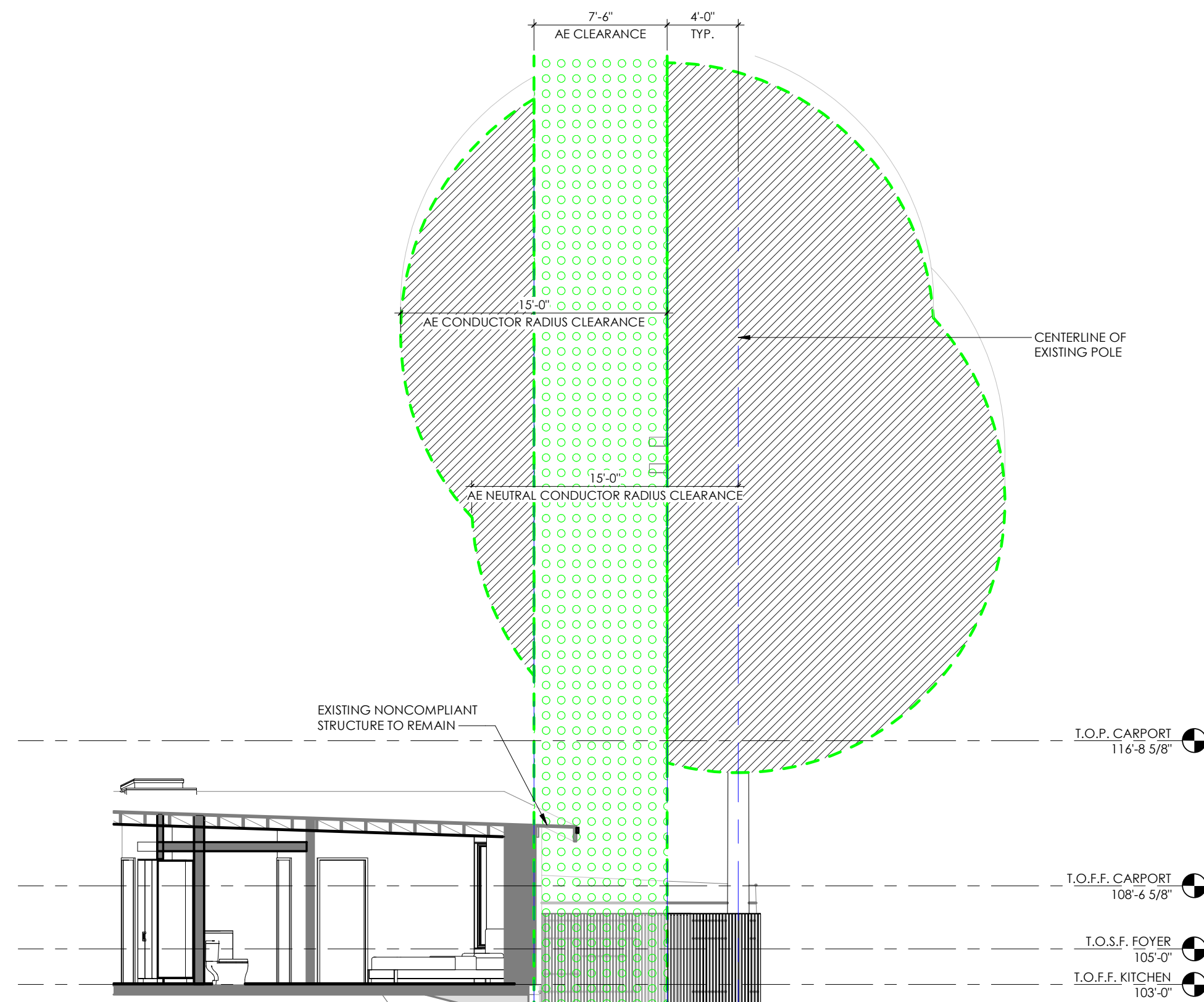
1 SITE PLAN - TENT
1/16" = 1'-0"



4 SECTION AT SOUTHWEST CORNER OF POOL CABANA BATH
3/16" = 1'-0"



3 SECTION AT SOUTHWEST CORNER OF POOL CABANA



2 SECTION AT SOUTHWEST CORNER OF EXISTING HOUSE
3/16" = 1'-0"

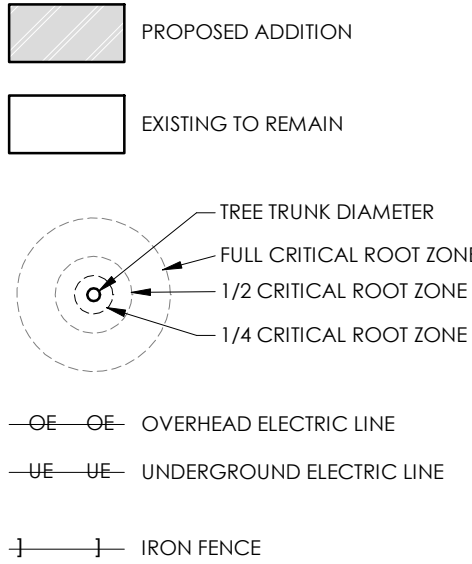


1 SITE PLAN - AE CLEARANCE
1/16" = 1'-0"



TREE LEGEND	
Mark	Comments
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SITE PLAN - LEGEND



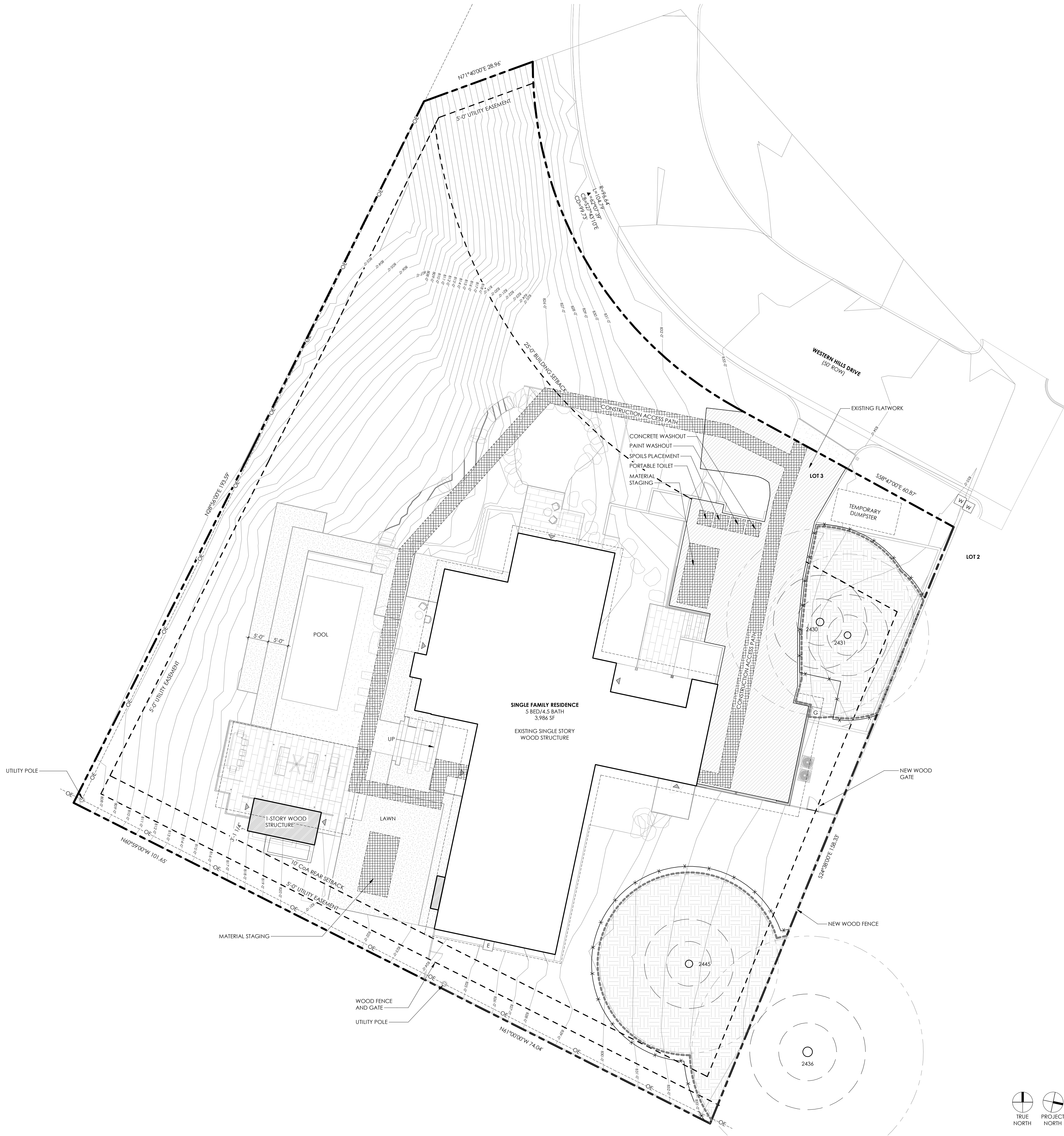
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SITE PLAN - LEGEND

PROPOSED ADDITION

EXISTING TO REMAIN

TREE TRUNK DIAMETER
FULL CRITICAL ROOT ZONE
1/2 CRITICAL ROOT ZONE
1/4 CRITICAL ROOT ZONE

OVERHEAD ELECTRIC LINE

UNDERGROUND ELECTRIC LINE

IRON FENCE

6' TALL TEMPORARY CHAIN LINK FENCE
OR VERTICAL 2X4 BOARDS AROUND
TREE TRUNKS

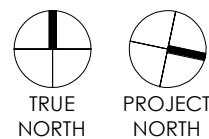
8' LAYER OF MULCH

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1 CONSTRUCTION STAGING SITE PLAN
1" = 10'-0"



ISSUED DATE 02/08/2023
PROJECT NUMBER 2303

PERMIT

WESTERN HILLS RESIDENCE

5304 WESTERN HILLS DRIVE
AUSTIN, TX 78731

A002
CONSTRUCTION
STAGING SITE
PLAN

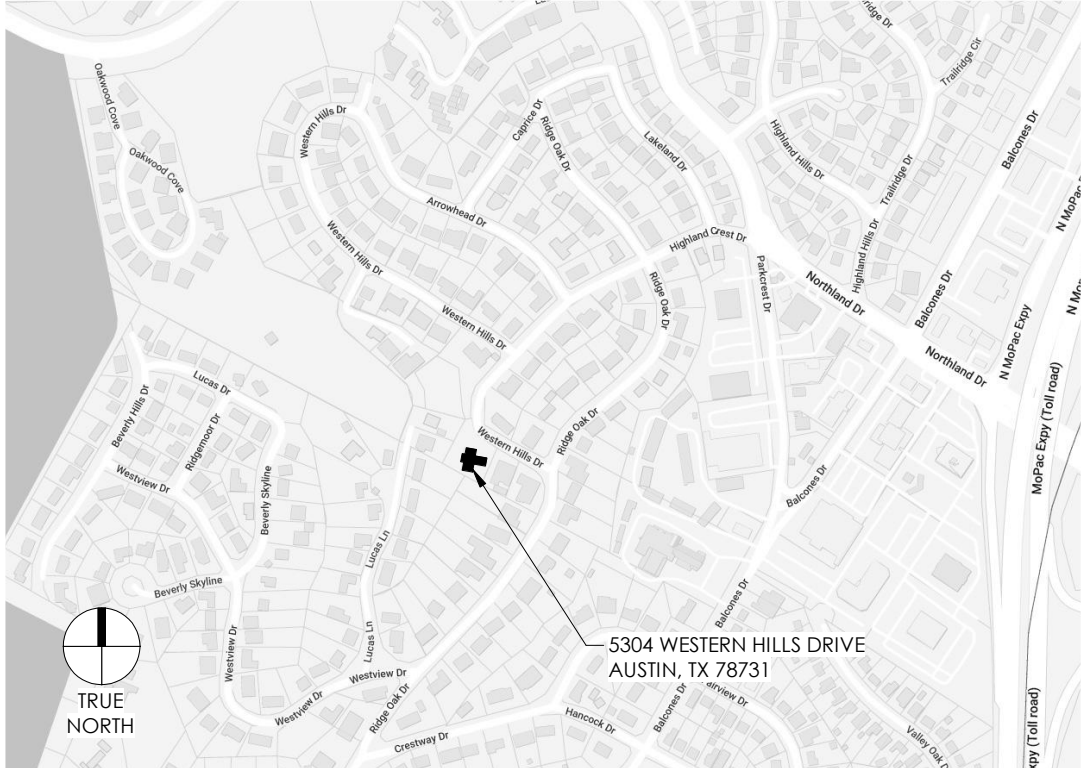
CONCEPT RENDER FOR REFERENCE ONLY



GENERAL NOTES

1. ALL WORK SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES, AND TO INCLUDE ALL REQUIREMENTS OF OTHER AGENCIES HAVING JURISDICTION.
2. EXAMINATION OF THE SITE AND PORTIONS THEREOF THAT AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE EXISTING CONDITIONS WITH THE CONTRACT DOCUMENTS AND SATISFY HIM/HERSELF AS TO THE EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. CONTRACTOR SHALL AT SUCH TIME ASCERTAIN AND VERIFY THE LOCATIONS OF EXISTING STRUCTURES.
3. THE CONTRACT DOCUMENTS DESCRIBE DESIGN INTENT, AND ARE NOT INTENDED TO BE ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS TO PROVIDE COMPLETE OPERATIONAL SYSTEMS AND INSTALLATIONS. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK WHICH IS DESCRIBED IN THESE DOCUMENTS OR WHICH IS REASONABLY INFERRABLE FROM THEM.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGH COORDINATION OF TRADES, ALL CLAIMS FOR ADDITIONAL WORK WILL NOT BE AWARDED FOR ANY AND ALL WORK RELATED TO SUCH COORDINATION.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS AT THE SITE. CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY AND ALL WORK IN QUESTION.
6. ALL DIMENSIONS ARE TO FINISH FACE OF CONCRETE, CENTERLINE OF STEEL, FACE OF STUD OR CASEWORK UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECTS APPROVAL UNLESS NOTED AS "+/-". VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
7. ALL DIMENSIONS, NOTES AND DETAILS SHOWN ON ONE PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITE HAND AND/OR CONDITIONS UNLESS OTHERWISE NOTED.
8. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
9. THE CONTRACT DOCUMENTS ARE COMPLIMENTARY. WHAT IS SHOWN OR REFERRED TO PARTIALLY OR WHOLE ON ANY SHALL BE PROVIDED AS THOUGH SHOWN ON ALL.
10. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DRAWINGS AT A LARGE SCALE SHALL TAKE PRECEDENCE OVER DRAWINGS OF A SMALL SCALE. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
11. CONTRACTOR SHALL VERIFY LAYOUT OF PARTITIONS, DOORS, ELECTRICAL OUTLETS, DATA AND TELEPHONE OUTLETS, LIGHT FIXTURES, AND SWITCHES WITH ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY MECHANICAL, TELEPHONE, DATA, ELECTRICAL, LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE BUT NOT LIMITED TO ALL PIPING, DUCTWORK, AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
12. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
13. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONTRACT DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE.
14. IN CASE OF CONFLICTS BETWEEN ARCHITECT'S AND ENGINEER'S DRAWINGS IN THE LOCATION OF MATERIALS AND/OR EQUIPMENT, ARCHITECTURAL DRAWINGS SHALL GOVERN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH CONFLICT.
15. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED PER THE MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
16. ALL WORK NOTED AS "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT, SUBMIT TO THE ARCHITECT AND OWNER SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN THE CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
17. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A DAILY BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING ANY FINISHED AREAS IN OR OUTSIDE THE JOB SITE. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
18. CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT AUTHORIZATION FROM THE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.

VICINITY MAP



SYMBOL LEGEND

	ELEVATION	ROOM NAME	ROOM NAME
	INTERIOR ELEVATION	1.01	ROOM NAME
	BUILDING SECTION	1.01	DOOR NUMBER
	WALL SECTION	A1	WINDOW TYPE
	SECTION DETAIL	A	PARTITION TYPE
	DETAIL	TA-1	PLUMBING FIXTURE TYPE
		A-1	TOILET ACCESSORY TYPE
		1	FINISH KEY
		1	REVISION TAG

PROJECT TEAM

OWNER	CATHERINE AND SCOTT WORLEY 5304 Western Hills Drive Austin, TX 78731	STRUCTURAL ENGINEER	SMITH STRUCTURAL ENGINEERS 9701 Brodie Ln A-204 Austin, TX 78748
ARCHITECT	OUTWARD ARCHITECTURE Joe Boyle, AIA joe@outwardarchitecture.com 347.409.4457		WHIT SMITH, P.E. whit@smith-structural.com 512.478.5281
GENERAL CONTRACTOR	MIARS CONSTRUCTION Jason Miars jason@miarsconstruction.com 512.750.9519	LANDSCAPE ARCHITECT	WORD + CARR DESIGN GROUP 2201 N Lamar Blvd Austin, TX 78705
INTERIOR DESIGNER	SHANNON EDDINGS INTERIORS 3908 Avenue B Suite 102 Austin, TX 78751 Shannon Eddings shannon@shannoneddings.com 512.496.7578		LAURA BRYANT lbours@wordandcarr.com 512.440.0013

ZONING & CODE ANALYSIS

LEGAL DESCRIPTION	LOT 3 RIDGE OAK PARK ADDITION
PARCEL ID	0131030138
ZONING	SF-3
BUILDING CODES	2021 INTERNATIONAL BUILDING CODE 2021 UNIFORM MECHANICAL CODE 2021 UNIFORM PLUMBING CODE 2020 NATIONAL ELECTRIC CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE UNIFIED DEVELOPMENT CODE
BUILDING DESCRIPTION	1-STORY WOOD FRAME SINGLE FAMILY RESIDENCE
LEGAL JURISDICTION	CITY OF AUSTIN, TRAVIS COUNTY
OCCUPANCY CLASSIFICATION	R-3
TYPE OF CONSTRUCTION	V-8
FIRE SPRINKLER	TBD

DRAWING INDEX

ARCHITECTURAL	
G000	COVER SHEET
G002	SITE AREA PLANS
G003	BUILDING AREA PLANS
G004	COA SUBCHAPTER F
G005	AE CLEARANCE ENVELOPE EXHIBIT
D101	DEMOLITION FLOOR PLANS
D102	DEMOLITION PHOTOS
D103	DEMOLITION PHOTOS
A001	ARCHITECTURAL SITE PLAN
A002	CONSTRUCTION STAGING SITE PLAN
A100	KEY PLAN
A111	FIRST FLOOR PLAN
A121	ROOF PLAN
A131	CABANA FLOOR PLAN
A141	CABANA ROOF PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	EXTERIOR ELEVATIONS
A204	EXTERIOR ELEVATIONS — POOL
A301	BUILDING SECTIONS
A302	BUILDING SECTIONS











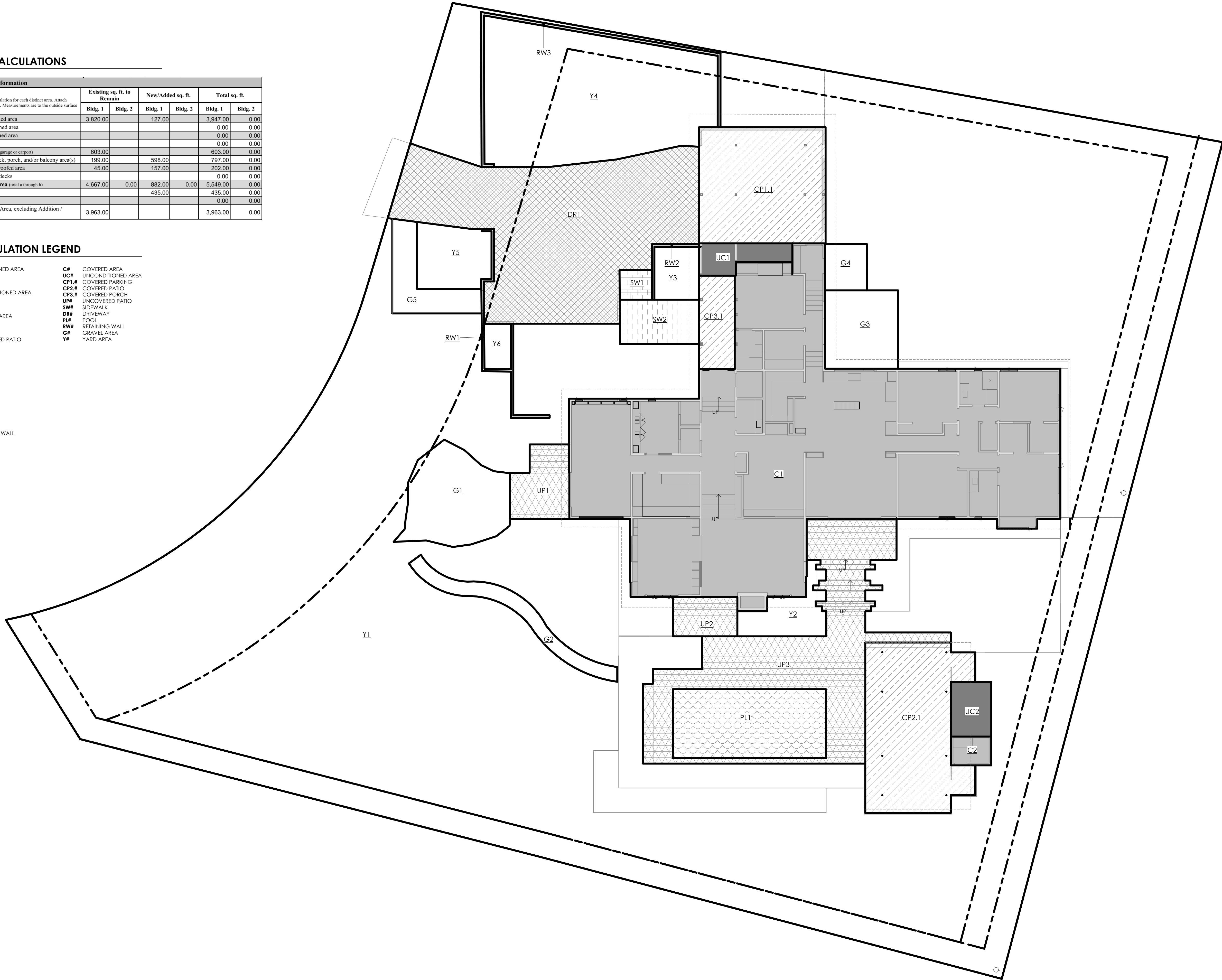
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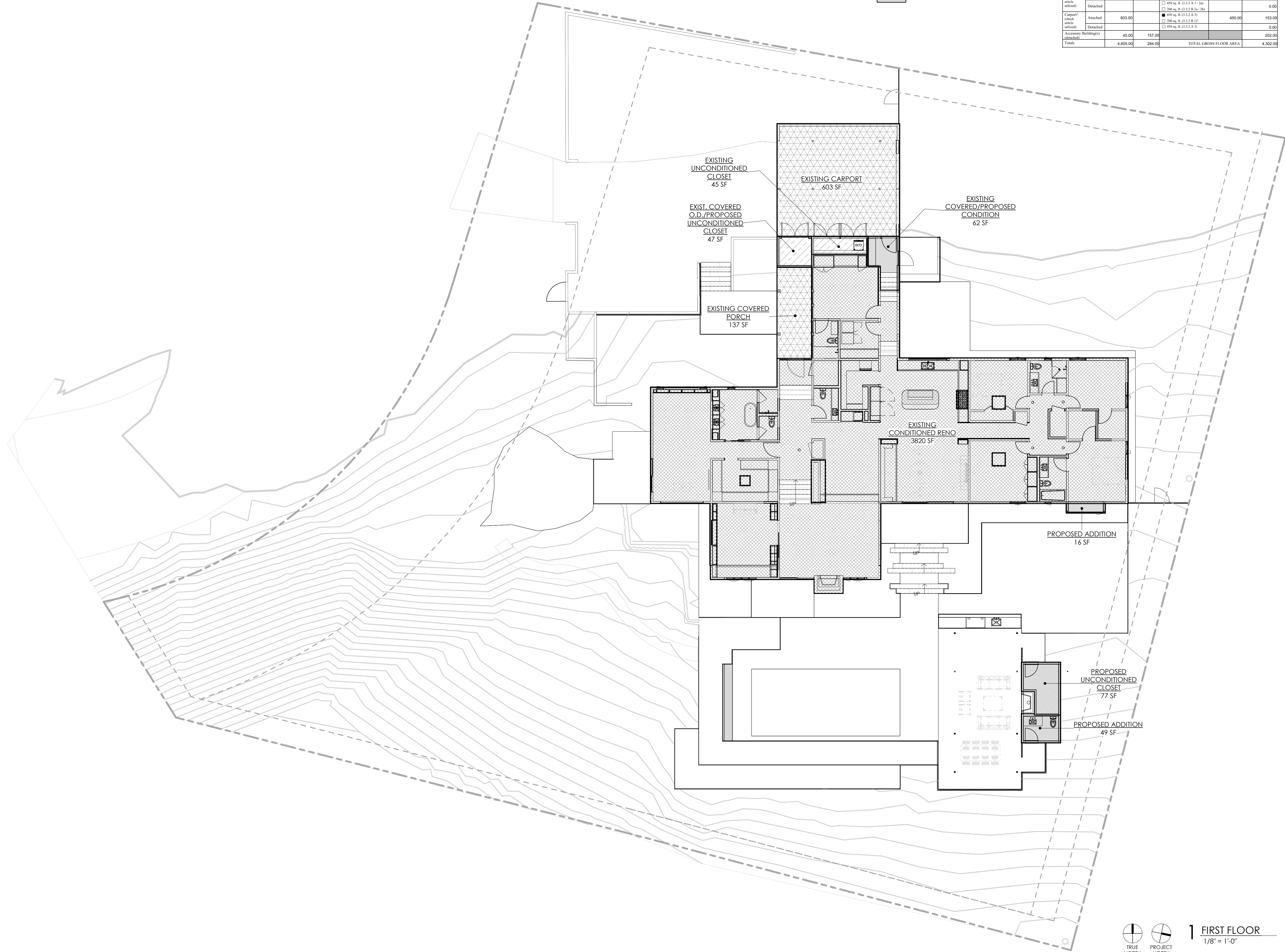
SITE AREA CALCULATIONS

Site Development Information						
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing sq. ft. to Remain		New/Added sq. ft.		Total sq. ft.	
	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2
a) 1 st Floor conditioned area	3,820.00		127.00		3,947.00	0.00
b) 2 nd Floor conditioned area					0.00	0.00
c) 3 rd Floor conditioned area					0.00	0.00
d) Basement					0.00	0.00
e) Covered parking (garage or carport)	603.00				603.00	0.00
f) Covered patio, deck, porch, and/or balcony area(s)	199.00		598.00		797.00	0.00
g) Other covered or roofed area	45.00		157.00		202.00	0.00
h) Uncovered wood decks					0.00	0.00
Total Building Area (total a through h)	4,667.00	0.00	882.00	0.00	5,549.00	0.00
i) Pool				435.00		435.00
j) Spa					0.00	0.00
k) Remodeled Floor Area, excluding Addition / New Construction	3,963.00				3,963.00	0.00

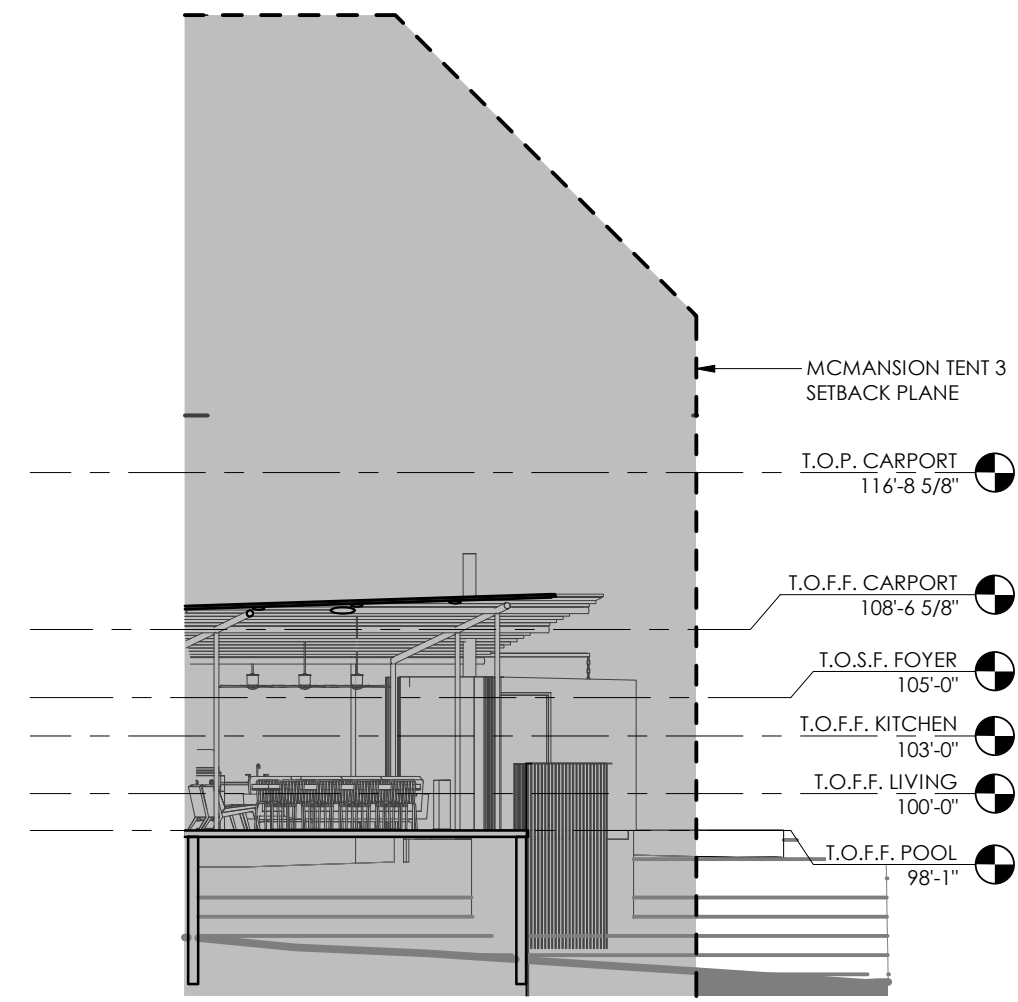
AREA CALCULATION LEGEND

	CONDITIONED AREA	CP#	COVERED AREA
	UNCONDITIONED AREA	UC#	UNCONDITIONED AREA
	COVERED AREA	CP1.#	COVERED PARKING
	UNCOVERED PATIO	CP2.#	COVERED PATIO
	SIDEWALK	CP3.#	COVERED PORCH
	DRIVEWAY	UP#	UNCOVERED PATIO
	POOL	SW#	SIDEWALK
	RETAINING WALL	DR#	DRIVEWAY
		PL#	POOL
		RW#	RETAINING WALL
		G#	GRAVEL AREA
		Y#	YARD AREA

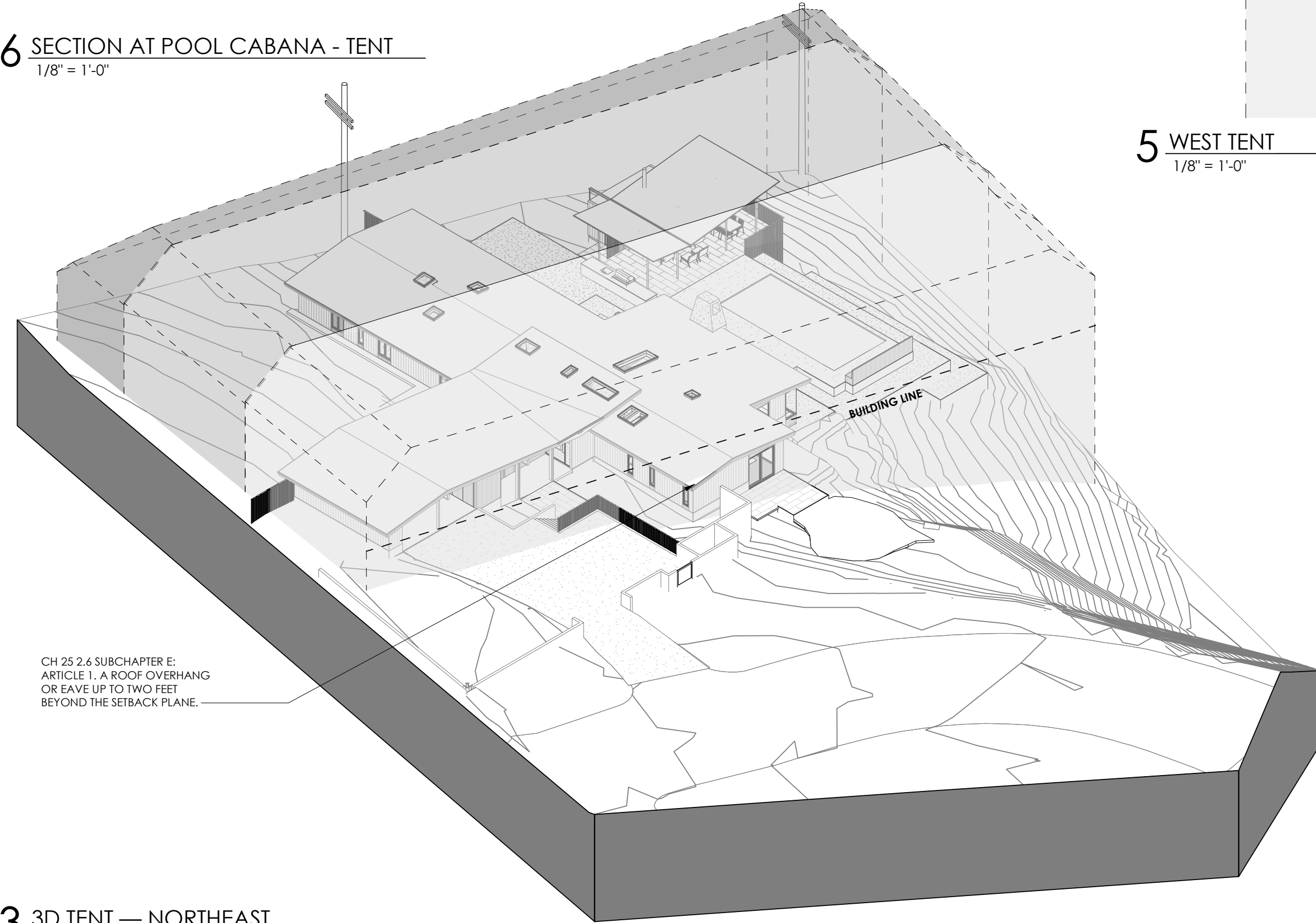




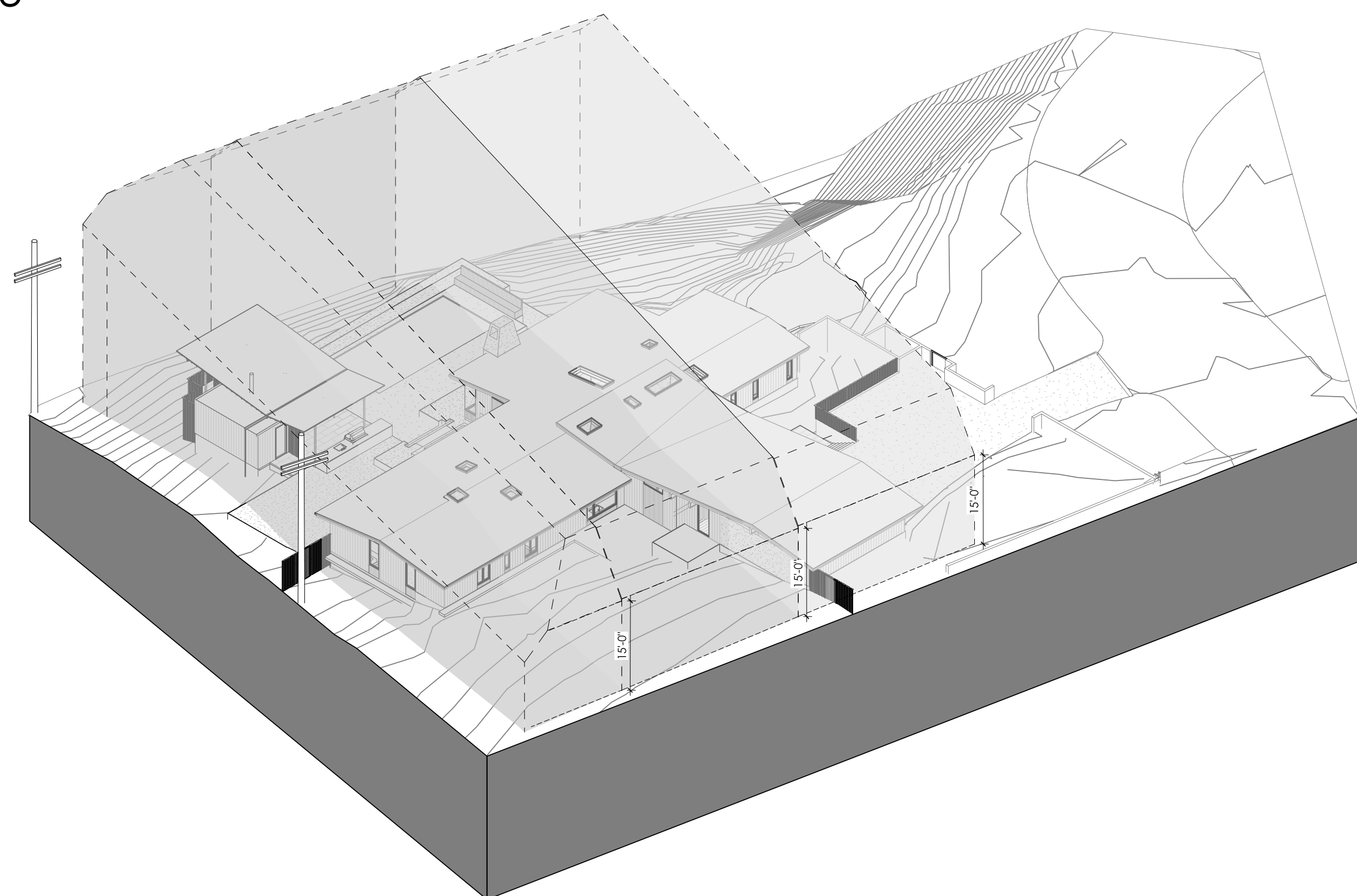
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6 SECTION AT POOL CABANA - TENT
1/8" = 1'-0"



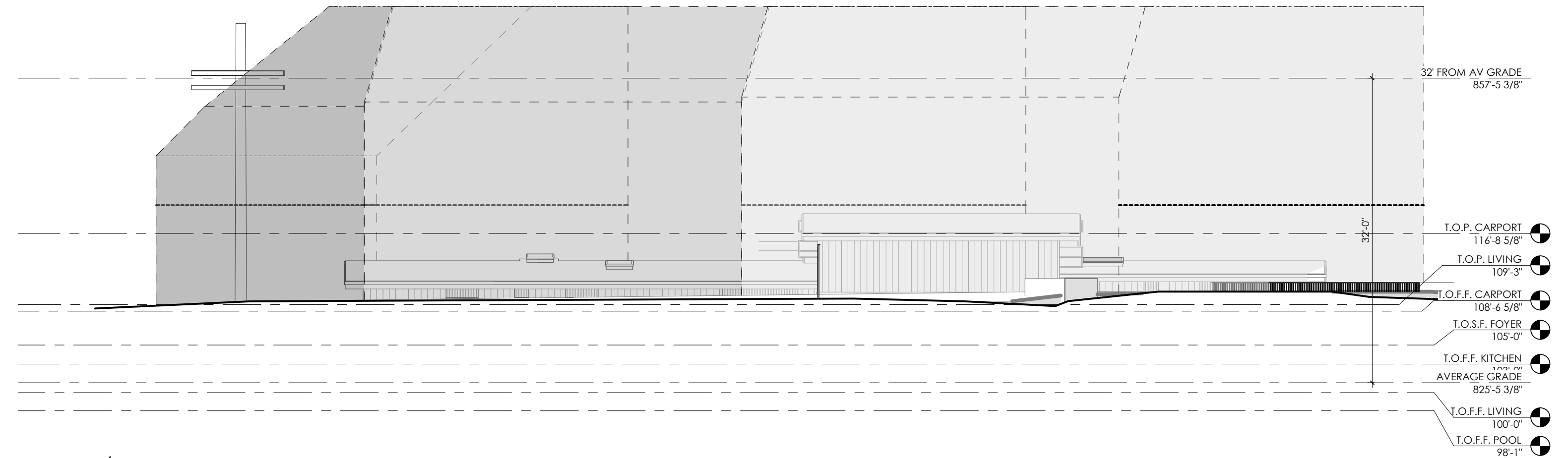
3 3D TENT — NORTHEAST



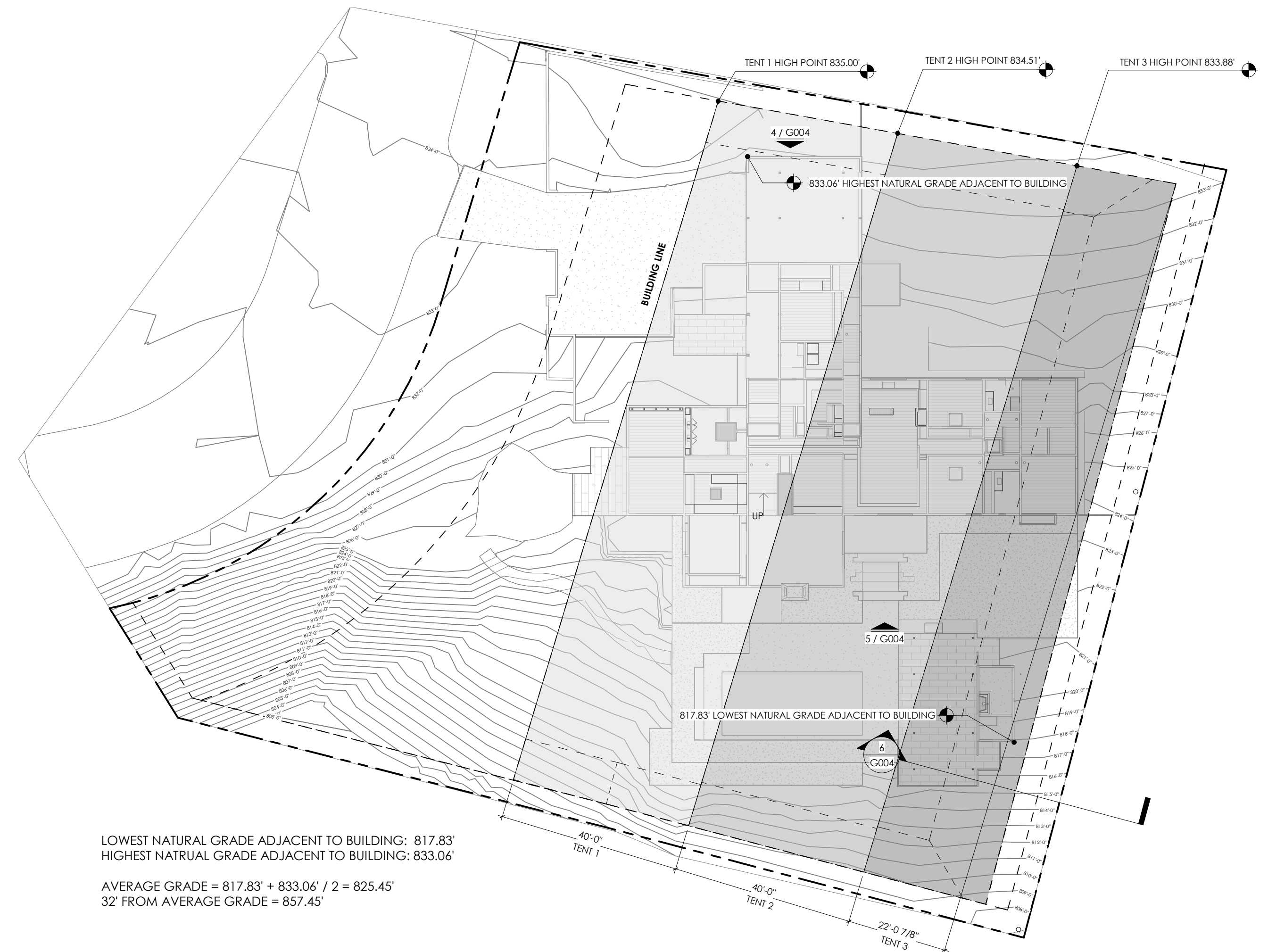
2 3D TENT — SOUTHEAST



5 WEST TENT
1/8" = 1'-0"



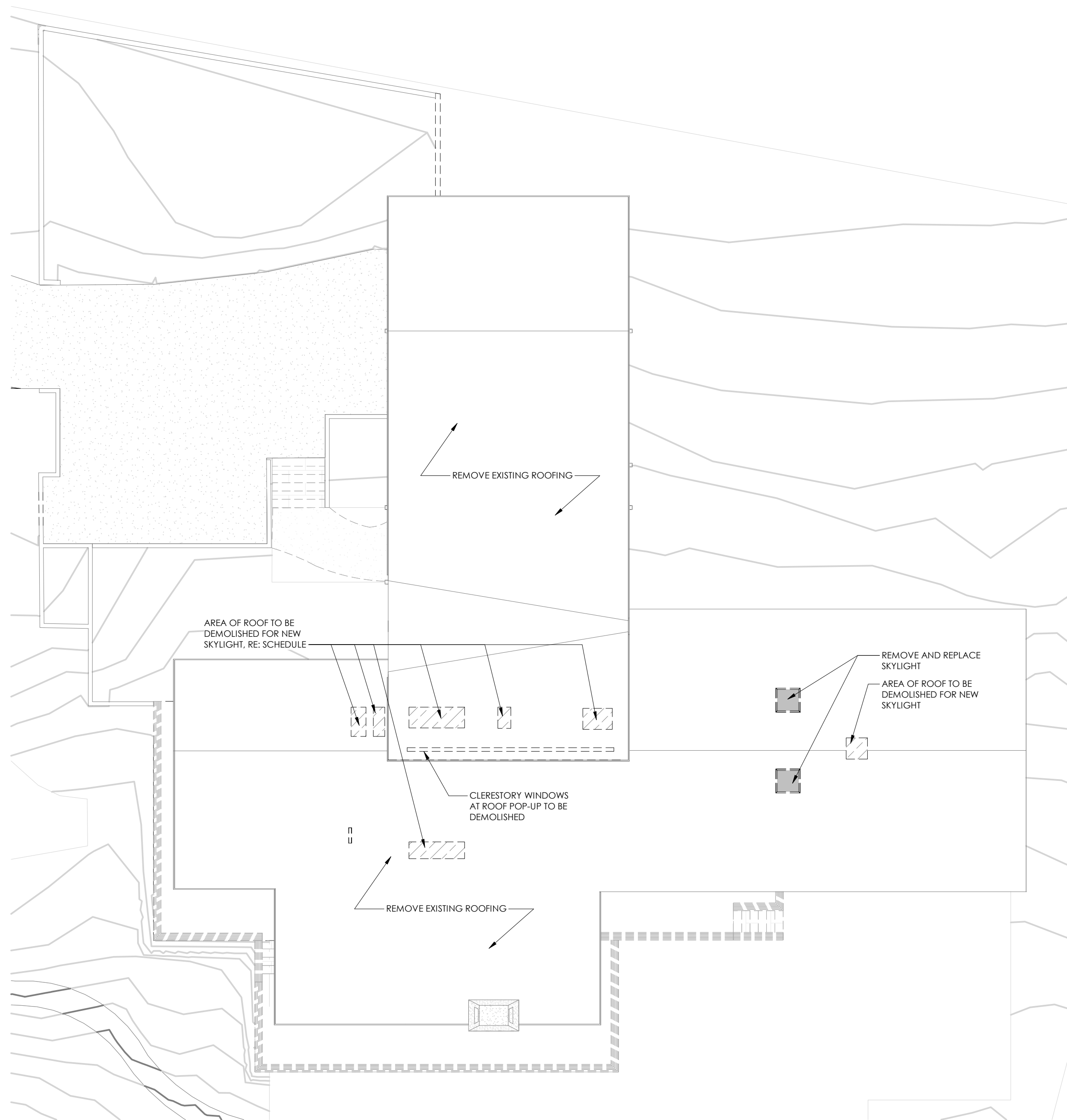
4 EAST TENT
1/8" = 1'-0"



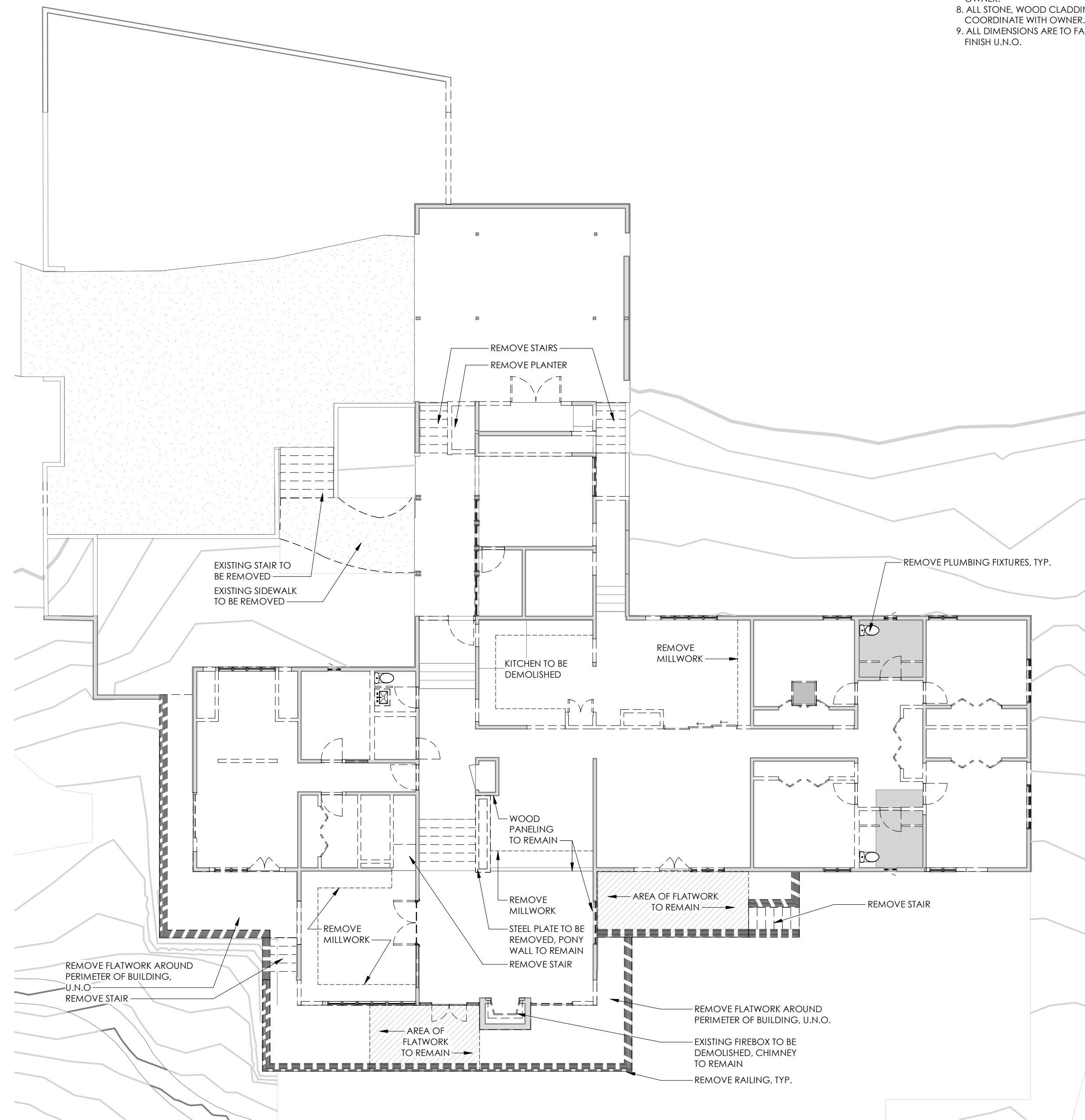
LOWEST NATURAL GRADE ADJACENT TO BUILDING: 817.83'
HIGHEST NATURAL GRADE ADJACENT TO BUILDING: 833.06'
AVERAGE GRADE = 817.83' + 833.06' / 2 = 825.45'
32' FROM AVERAGE GRADE = 857.45'

1 SITE PLAN - TENT
1/16" = 1'-0"





2 ROOF PLAN - DEMOLITION
1/8" = 1'-0"



1 FIRST FLOOR PLAN - DEMOLITION
1/8" = 1'-0"

DEMO LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	DEMO AREA
	WOOD FLOORING
	WOOD DECKING
	TILE FLOORING
	CONCRETE FLOORING

DEMOLITION NOTES

1. ALL EXISTING COMPONENTS TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION BY THE GENERAL CONTRACTOR (GC). ANY DAMAGED MATERIAL IS TO BE REPAIRED, REPLACED, OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT.
2. THE GC IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION OF THE BUILDING SYSTEMS, AND PATCHING OR REPAIR OF EXISTING BUILDING FINISHES/ SITE FEATURES AFFECTED BY NEW CONSTRUCTION.
3. DAMAGES TO THE PROPERTY OF THE OWNER SHALL BE REPAIRED OR PAID FOR BY THE GC. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, DAMAGE TO THE BUILDING GROUNDS, PLANTINGS, WALLS, PAVEMENT, VEHICLES, UTILITIES, FINISHES, FURNISHINGS, ETC.
4. PATCH, REPAIR, AND PREPARE ALL SURFACES AS REQUIRED TO ACCOMMODATE NEW FINISHES INDICATED.
5. CONTRACTOR TO BRACE/SHORE EXISTING CONSTRUCTION TO REMAIN.
6. ALL APPLIANCES AND PLUMBING FIXTURES TO BE SALVAGED FOR REUSE OR SALE, COORDINATE WITH OWNER.
7. ALL CASEWORK TO BE REMOVED TO BE SALVAGED FOR REUSE OR DONATION, COORDINATE WITH OWNER.
8. ALL STONE, WOOD CLADDING TO BE SALVAGED, COORDINATE WITH OWNER.
9. ALL DIMENSIONS ARE TO FACE OF EXISTING WALL FINISH U.N.O.





NORTH AND WEST ELEVATION

REPLACE CLADDING WITH
WOOD BATTENS
NEW CORNER WINDOW

REMOVING FOR NEW
WINDOWS
REPLACE CLADDING ABOVE
AND BELOW WINDOWS WITH
WOOD BATTENS
REMOVE AND REPLACE WITH
NEW WOOD SIDING



NORTH ELEVATION - 2

REPLACE WINDOWS IN
EXISTING OPENINGS

ALL SIDING TO BE REPLACED,
SAME SIZE AND PROPORTION
AS EXISTING
REMOVING FOR NEW SLIDING
GLASS DOOR TO PRIMARY
BEDROOM
REMOVING PERIMETER PATIOS,
RAIL, AND STONE WALLS

REPLACE WINDOW IN EXISTING
OPENING



WEST ELEVATION - 1

REPLACE CLADDING WITH
WOOD BATTENS
REPLACE WITH NEW SLIDING
DOOR
REPLACE WITH NEW WINDOWS
REPLACE CLADDING WITH
WOOD BATTENS



NORTH ELEVATION - 1

REPLACING STUCCO WITH
WOOD BATTENS

REMOVING FOR NEW
CORNER WINDOW

REPLACING STUCCO WITH WOOD BATTENS

ALL SIDING TO BE REPLACED, SAME SIZE AND PROPORTION AS EXISTING

REMOVING AND REPLACING WITH NEW WINDOWS, RE: 1/A2.2



EAST ELEVATION - 1

ALL SIDING TO BE REPLACED, SAME SIZE AND PROPORTION AS EXISTING

REMOVING AND REPLACING WITH NEW WINDOWS, RE: 1/A2.2



SOUTH ELEVATION - 2

REPLACING STUCCO WITH WOOD BATTENS

REMOVING AND REPLACING WITH NEW WINDOWS

REMOVING FENCE AND HVAC PAD, HVAC PAD TO BE RELOCATED



EAST AND SOUTH ELEVATION

ALL SIDING TO BE REPLACED, SAME SIZE AND PROPORTION AS EXISTING

INFILL STUCCO WALL TO MATCH EXISTING



SOUTH ELEVATION - 1

REPLACING WINDOW IN EXISTING OPENING

REMOVING AND REPLACING WITH WOOD BATTENS

INFILLING WITH EXTERIOR WALL

REMOVING FOR NEW EXTERIOR DOOR

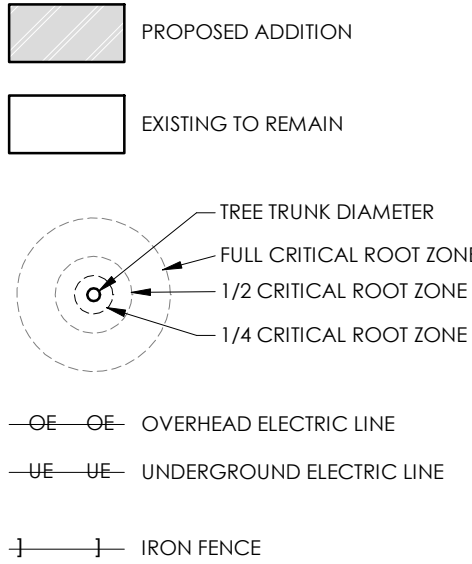
ALL SIDING TO BE REPLACED, SAME SIZE AND PROPORTION AS EXISTING

NEW WOOD GATE BEYOND



TREE LEGEND	
Mark	Comments
2430	23' LIVE OAK
2431	20' LIVE OAK
2436	20'/17' LIVE OAK
2445	12'/10'/10' SPANISH OAK

SITE PLAN - LEGEND

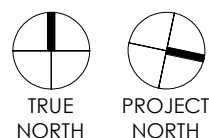


TREE PROTECTION NOTES:

- PROVIDE 5' TALL CHAIN LINK MESH TREE PROTECTION FENCING PER CITY OF AUSTIN REQUIREMENTS AND 8" MULCH GROUND COVER DURING CONSTRUCTION AROUND ALL TREES IN THE CONSTRUCTION AREA.
- PROVIDE BREATHABLE RUBBER MAT OVER 8" MULCH AT LOCATIONS WHERE TREE PROTECTION FENCING IS NOT POSSIBLE.
- WRAP 2X4 BOARDS AROUND ALL TREE TRUNKS ON SITE OR IN ADJACENT RIGHT OF WAY DURING CONSTRUCTION.
- ALL LIMBS AND TREE TRIMMING TO BE PERFORMED BY OWNER PROVIDED ARBORIST.
- GC TO ENSURE THAT ANY CONCRETE WASHOUT DOES NOT OCCUR WITHIN THE CRZ OF ANY TREES.
- GC TO AVOID TRENCHING WITHIN 1/2 CRZ OF ANY TREES.
- IN AREAS WHERE SILT FENCE IS LOCATED WITHIN THE 1/2 CRZ OF ANY PROTECTED TREE, A MULCH SOCK IS TO BE USED IN-PLACE OF SILT FENCE.
- TREE PROTECTION FENCING MUST BE ON GRADE (FLAT POST BASES WEIGHTED DOWN WITH SAND BAGS) AND MUST ENCOMPASS THE 1/4 CRZ AT MINIMUM.

GENERAL NOTES:

1. NO UNDERGROUND UTILITY TRENCHES PERMITTED IN THE 1/2 CRITICAL ROOT ZONE.
2. NO ACCESS, PARKING OR MATERIAL STORAGE WITHIN THE LIMITS OF THE TREE PROTECTION FENCE.
3. ALL ROOT CUTS TO BE CLEAN (NO FRAYED EDGES)
4. FERTILIZE TREE ROOTS AND PROVIDE IRRIGATION DURING CONSTRUCTION.
5. NO UNDERGROUND UTILITY TRENCHING WITHIN 12' OF TREE TRUNKS.
6. PROVIDE 5' TALL CHAIN LINK MESH TREE PROTECTION FENCING PER CITY OF AUSTIN REQUIREMENTS AND 8" MULCH GROUND COVER DURING CONSTRUCTION AROUND ALL TREES IN THE CONSTRUCTION AREA.
7. PROVIDE BREATHABLE RUBBER MAT OVER 8" MULCH AT LOCATIONS WHERE TREE PROTECTION FENCING IS NOT POSSIBLE.
8. WRAP 2X4 BOARDS AROUND ALL TREE TRUNKS ON SITE OR IN ADJACENT RIGHT OF WAY DURING CONSTRUCTION.
9. ALL LIMBS AND TREE TRIMMING TO BE PERFORMED BY OWNER PROVIDED ARBORIST.
10. GC TO ENSURE THAT ANY CONCRETE WASHOUT DOES NOT OCCUR WITHIN THE CRZ OF ANY TREES.
11. GC TO AVOID TRENCHING WITHIN 1/2 CRZ OF ANY TREES.
12. IN AREAS WHERE SILT FENCE IS LOCATED WITHIN THE 1/2 CRZ OF ANY PROTECTED TREE, A MULCH SOCK IS TO BE USED IN-PLACE OF SILT FENCE.
13. TREE PROTECTION FENCING MUST BE ON GRADE (FLAT POST BASES WEIGHTED DOWN WITH SAND BAGS) AND MUST ENCOMPASS THE 1/4 CRZ AT MINIMUM.
14. MINIMIZE DISTURBANCE OF EXISTING GRADE AND LANDSCAPE WHEREVER POSSIBLE, WHILE PROVIDING POSITIVE DRAINAGE AWAY FROM HOUSE.
15. AFTER CONSTRUCTION, AIRSPADE ALL TREES WHERE CONSTRUCTION ACTIVITIES HAVE COMPACTED SOIL WITHIN CRITICAL ROOT ZONE.
16. PROVIDE AND MAINTAIN AN EROSION CONTROL SYSTEM WITH APPROPRIATE DEVICES PER STATUTORY REQUIREMENTS.
17. NOTIFY APPROPRIATE AUTHORITY TO LOCATE EXISTING UTILITY LINES AND PROTECT ALL UTILITIES FROM EXCAVATION OR SIMILAR HAZARDS.
18. PROTECT STRUCTURES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.
19. REFERENCE LIST OF FINISHES FOR FLATWORK. USE 1X4 REDWOOD AT ALL CONTROL JOINTS.
20. GRAVEL (BY LANDSCAPE); RAINBOW PEA GRAVEL (FINAL COLOR SELECTION TO BE APPROVED BY ARCHITECT) FOR AREAS AS SPECIFIED ON DRAWINGS.
21. STONE PAVERS (BY LANDSCAPE); REFERENCE LIST OF FINISHES: 2 1/4" THICK PAVERS, SET PAVERS IN SAND BED OVER MINIMUM 6" LAYER OF COMPACTED FILL. PAVERS ARE TO BE BUTTED TIGHT WITH MINIMAL JOINTS THAT REQUIRE NO GROUT.
22. STEEL EDGING AND RETAINING WALLS (BY LANDSCAPE); REFERENCE DIVISION 5 SPECIFICATIONS.
23. ALL DIMENSIONS ARE TO FACE OF FOUNDATION UNLESS OTHERWISE NOTED.



1 SITE PLAN
1" = 10'-0"





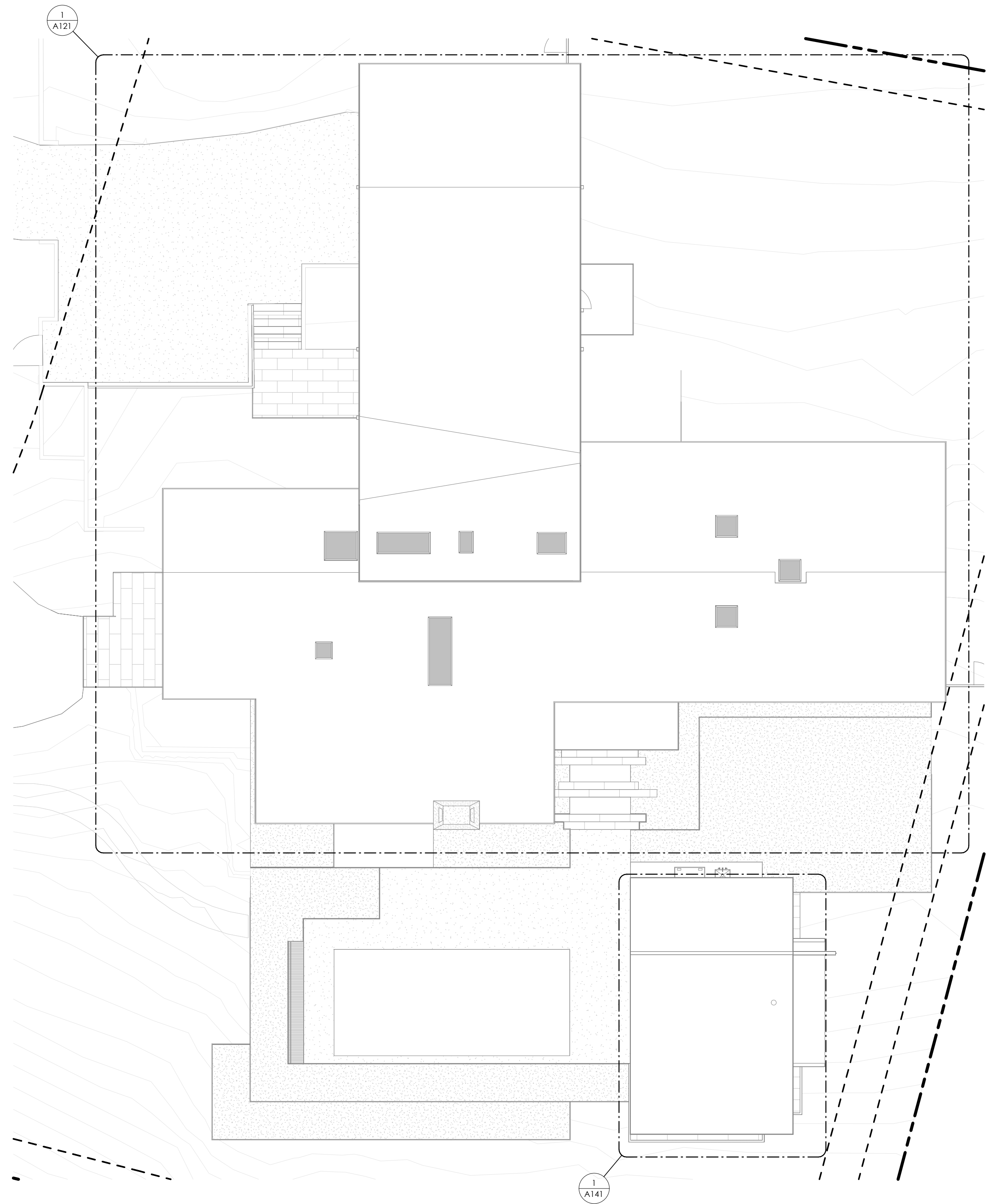
1. NO UNDEGROUND UTILITY TRENCHES PERMITTED IN THE 1/2 CRITICAL ROOT ZONE.
2. NO ACCESS, PARKING OR MATERIAL STORAGE WITHIN THE LIMITS OF THE CRZ OR ANY TREES.
3. ALL ROOT CUTS TO BE CLEAN (NO FRAYED EDGES)
4. ALL ROOT CUTS MUST BE PROTECTED AND IRRIGATION DURING CONSTRUCTION.
5. NO UNDEGROUND UTILITY TRENCHING WITHIN 12" OF TREE TRUNKS.
6. PROVIDE 5' TALL CHAIN LINK MESH TREE PROTECTION FENCING PER CITY OF LOS ANGELES SPECIFICATIONS. PROVIDE MULCH GROUND COVER DURING CONSTRUCTION AROUND ALL TREES WITHIN CRZ.
7. PROVIDE BREATHABLE RUBBER MAT OVER 8" MULCH AT LOCATIONS WHERE TREE PROTECTION FENCING IS NOT POSSIBLE.
8. WRAP X4 BOARDS AROUND ALL TREES WITHIN CRZ TO PROTECT ADJACENT ROOT OF WAY DURING CONSTRUCTION.
9. ALL TREES WITHIN CRZ TRIMMING TO BE APPROVED BY OWNER PROVIDED ANNUSTADT ENGINEER.
10. GC TO ENSURE THAT ANY CONCRETE OR OTHER WORK NOT OCCUR WITHIN THE CRZ OF ANY TREES.
11. GC TO AVOID TREENCHING WITHIN CRZ OF ANY TREES.
12. IN AREAS WHERE SILT FENCE IS LOCATED WITHIN THE 1/2 CRZ OF ANY TREE, THE SILT FENCE SHALL BE USED TO REPLACE IN-PLACE SILT FENCE.
13. TREE PROTECTION FENCING MUST BE MAINTAINED AT ALL TIMES. ALL SITES WEIGHTED DOWN WITH SAND BAGS AND MUST ENCOMPASS THE 1/2 CRZ AT ALL TIMES.
14. MINIMIZE DISTURBANCE OF EXISTING GRADE AND LANDSCAPE WHEREVER POSSIBLE, WHILE PROVIDING PROTECTION FOR ALL TREES WITHIN CRZ.
15. AFTER CONSTRUCTION, AIRSPRINK ALL TREES WITHIN CRZ ZONE.
16. PROVIDE AND MAINTAIN AN APPROPRIATE MULCH WITHIN CRZ WITHIN CRZ.
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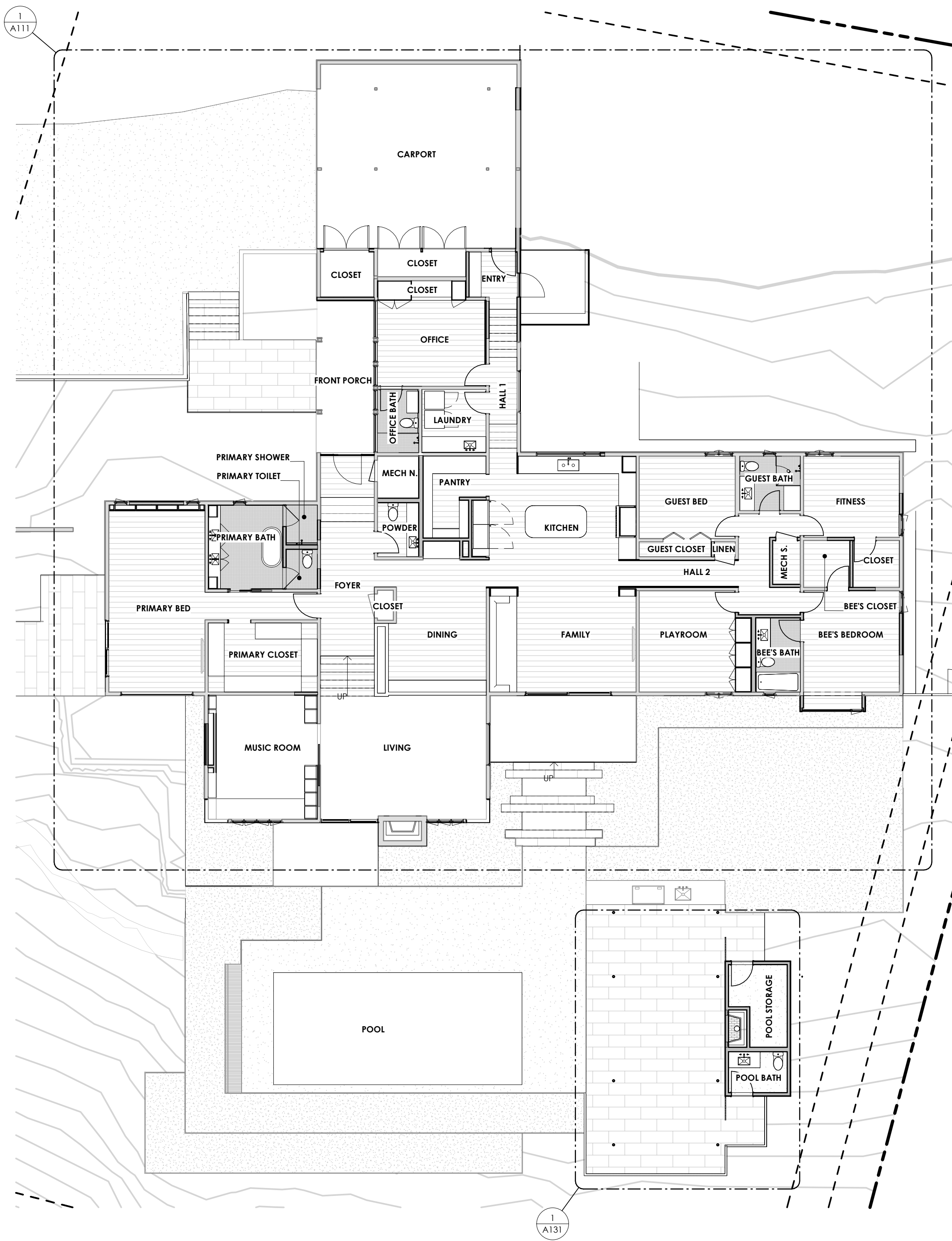
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AUSTIN, TX 78731

A002

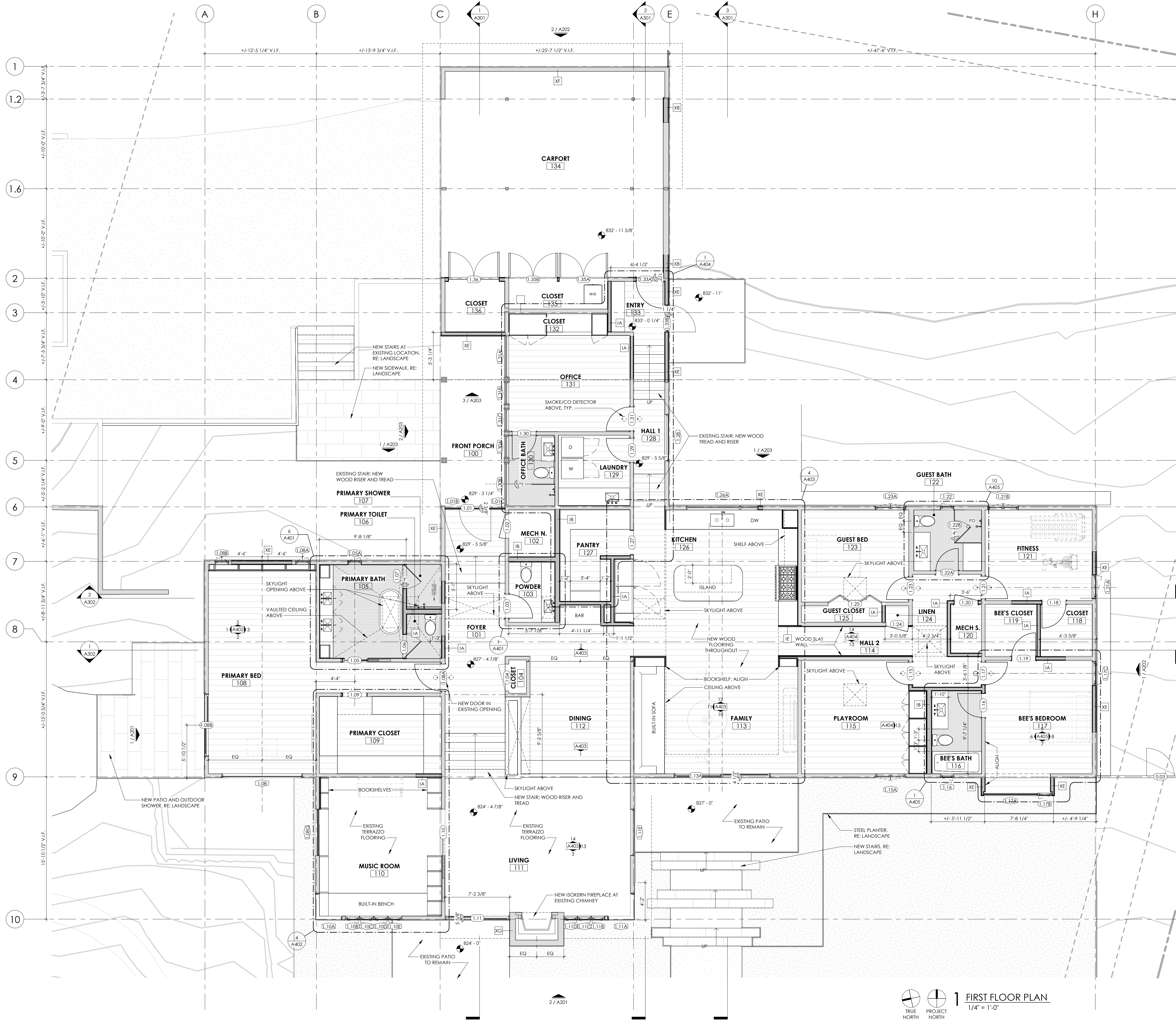
CONSTRUCTION STAGING SITE PLAN



TRUE NORTH PROJECT NORTH
2 KEY PLAN — ROOF
1/8" = 1'-0"



TRUE NORTH PROJECT NORTH
1 KEY PLAN
1/8" = 1'-0"



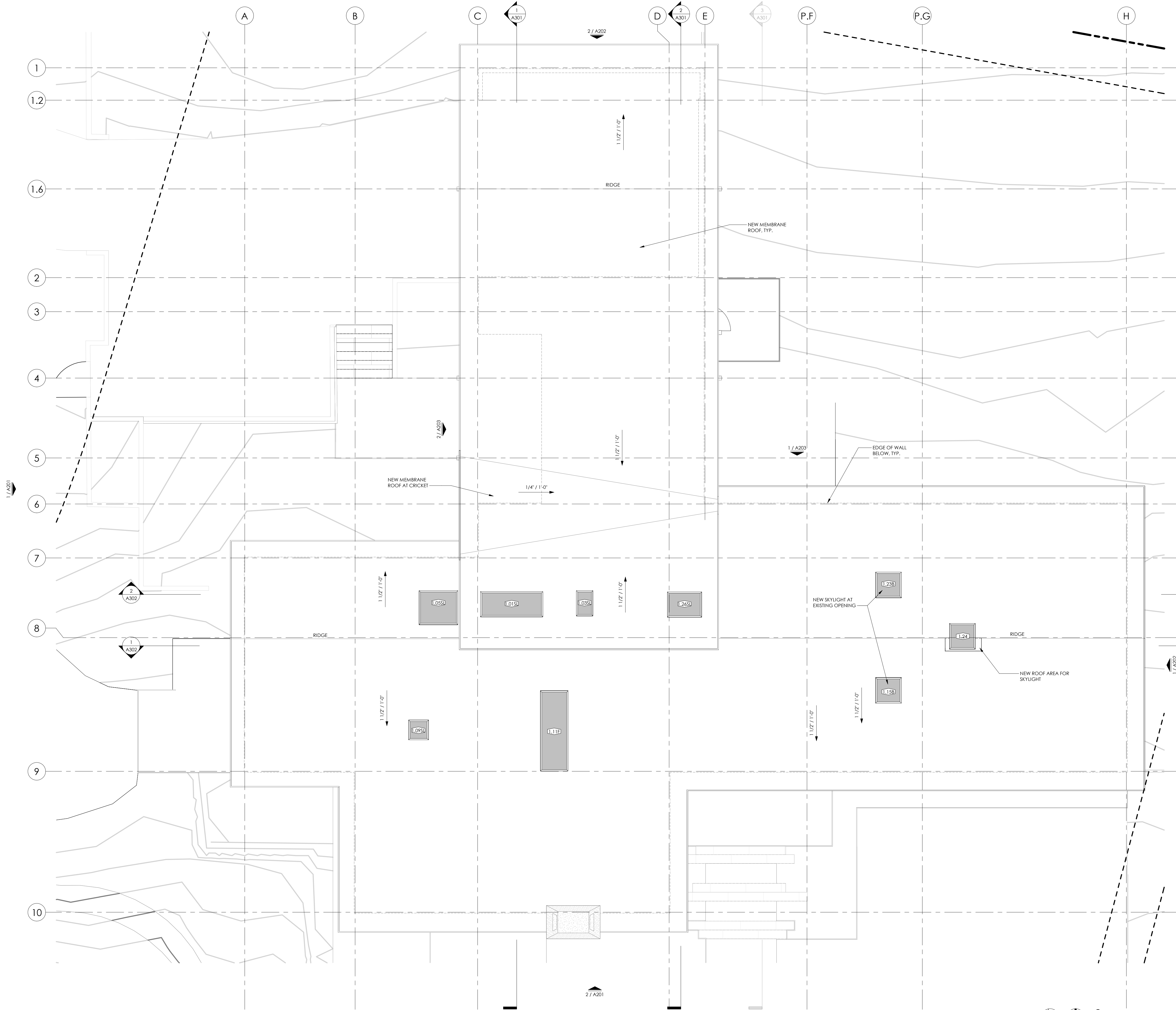
PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- WOOD FLOORING
- WOOD DECKING
- TILE FLOORING
- CONCRETE FLOORING
- CARPET
- SMOKE/CO DETECTOR

GENERAL NOTES

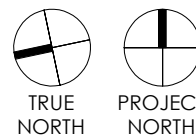
- SEE ARCHITECTURAL FOUNDATION PLAN FOR ALL DIMENSIONS PERTAINING TO CONCRETE SLAB, CONCRETE WALLS, STEEL COLUMNS, AND STRUCTURAL GRID LINES.
- EXTERIOR WALL DIMENSIONS ARE GENERALLY BASED ON THE ACTUAL FOUNDATION AS POURED AND NOT THE DIMENSIONS ON THE FLOOR PLANS OR THE FOUNDATION PLAN. CONTRACTOR IS TO NOTIFY ARCHITECT IN THE EVENT OF INCONSISTENCIES GREATER THAN 1" BETWEEN THE FOUNDATION PLAN DIMS AND THE ACTUAL FOUNDATION. WHEN DIMENSIONAL DISCREPANCIES ARE LESS THAN 1" EXTERIOR FRAME WALLS ARE TO BE PLACED PER NOTE 3 BELOW.
- EXTERIOR FACE OF FACE OF FRAMING ALIGNS WITH EDGE OF SLAB AND WILL DETERMINE PLACEMENT OF EXTERIOR WALLS.
- FLOOR AND ROOF TRUSS DIMENSIONS TO BE VERIFIED ON SITE AND BE SIZED TO ACTUAL FOUNDATION DIMENSIONS.
- ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
- F.O.P. = FACE OF PLYWOOD
- F.O.F. = FACE OF FINISH
- ALL EXTERIOR OPENINGS ARE TO CENTERLINE, U.N.O.
- ALL INTERIOR OPENINGS ARE TO CENTERLINE U.N.O.
- ALL EXTERIOR FRAMING TO BE 2X6 AND INTERIOR FRAMING TO BE 2X4 U.N.O.
- ALL EXTERIOR FLOOR ELEVATIONS ARE TO TOP OF FINISH GRADE OR FLATWORK, U.N.O.
- REFERENCE BUILDING SECTIONS AND ELEVATIONS FOR ALL VERTICAL DIMENSIONS.
- COORDINATE FLOOR AND WALL FRAMING WITH M.E.P.
- INSTALL SOUNDPROOFING FIBERGLASS BATT INSULATION AT WALLS IN THICKNESS TO MATCH FRAMING SIZE AT ALL BEDROOMS AND BATHROOMS.
- VERIFY ALL WINDOW LOCATIONS WITH BRICK COURSING.
- SEE ENLARGED FLOOR PLANS FOR ADDITIONAL DIMENSIONS AND INFORMATION.
- SEE A7.1 FOR WALL ASSEMBLIES



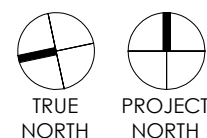
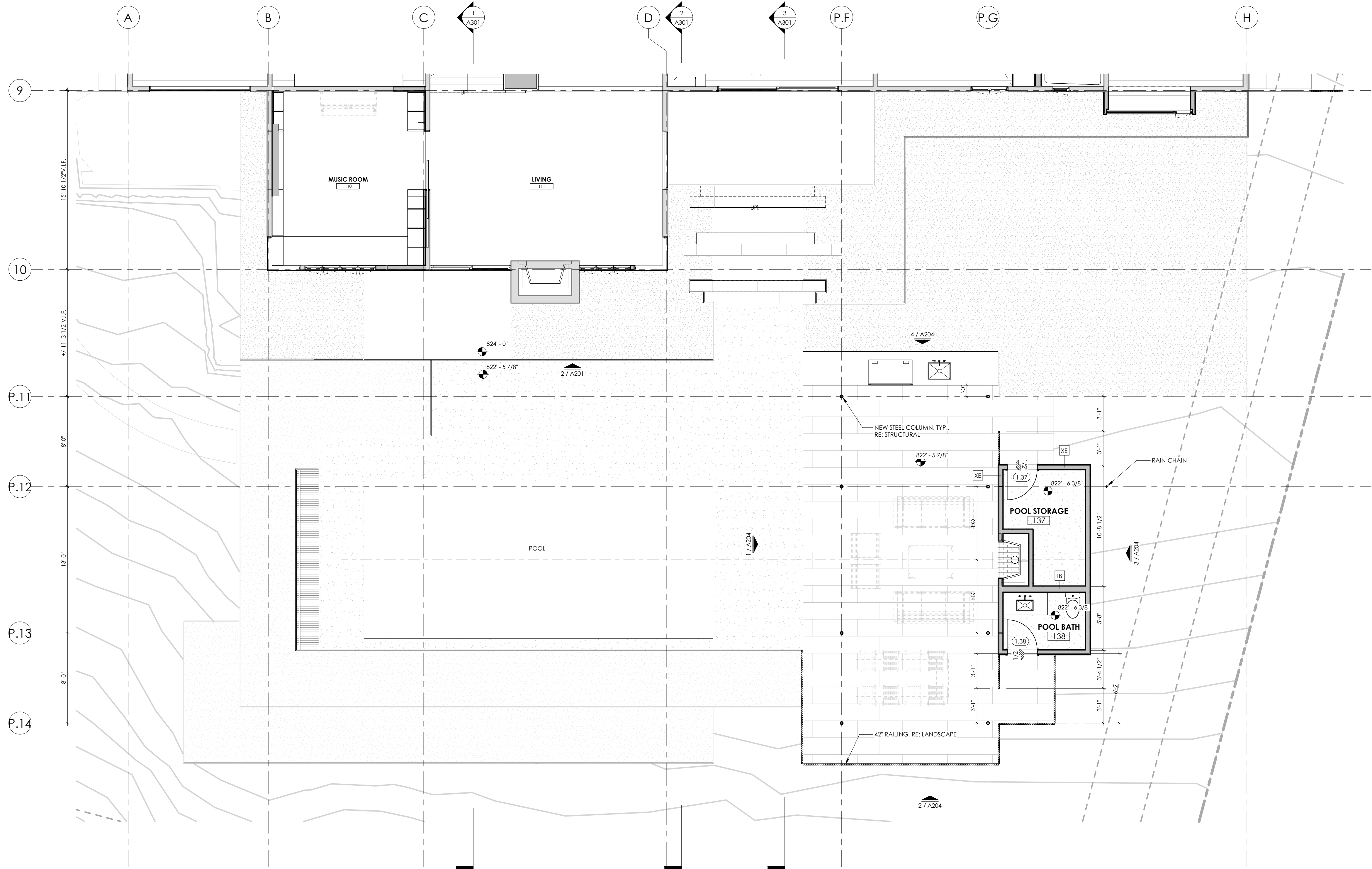


ROOF PLAN NOTES

1. VERIFY DOWNSPOUT AND GUTTER LOCATIONS WITH OWNER AND ARCHITECT.
2. VERIFY DOWNSPOUT AND GUTTER SIZES AND FINISH WITH OWNER AND ARCHITECT.
3. DASHED LINE OF WALL INDICATED OUTER EDGE OF STUD, U.N.O.
4. ROOF FRAMING TO AVOID ELECTRICAL FIXTURE LOCATIONS.
5. REINFORCE OR REPLACE WATER & INSECT DAMAGED OR DETERIORATING WOOD FRAMING MEMBERS AT EXISTING ROOF AS NEEDED.



1 ROOF PLAN
1/4" = 1'-0"



1 CABANA FLOOR PLAN
1/4" = 1'-0"

