

SITE PLAN GENERAL NOTES:

1. SITE PLAN DRAWN FROM SURVEY DATED DECEMBER 19, 2018.
2. CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
3. DO NOT SCALE DRAWINGS.
4. NO EXISTING TREES WILL BE REMOVED.
5. TREE LOCATIONS ARE APPROXIMATE AND SHOWN FOR REFERENCE. REQUIRED PROTECTION TO BE IN PLACE PER CITY CODE.
6. THERE ARE NO EXISTING TREES OF 19" OR GREATER ON OTHER SIDE OF PROPERTY LINE, UNLESS NOTED OTHERWISE.
7. NO CRZ OF TREES OVER 19" DIAMETER WILL BE IMPACTED BY REMODEL.
8. MATERIAL STAGING & DUMPSTER NOT TO BE WITHIN 1/2 CRZ OF TREES. PORTABLE TOILET AND WASHOUT NOT TO BE WITHIN FULL CRZ OF TREES.
9. ANY WORK THAT INVOLVES CUTTING OR DAMAGE TO EXISTING CONDITIONS SHALL BE REPAIRED TO MATCH EXISTING.
10. LOCATE AND MARK ALL UTILITIES PRIOR TO CONSTRUCTION. NOTIFY UNDERGROUND UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION. REPAIR ANY DAMAGED UTILITY LINES AT CONTRACTOR'S EXPENSE.
11. CONFIRM WITH ARCHITECT/OWNER LOCATION OF STAGING AREA AND CONSTRUCTION FENCE. VERIFY THAT STAGING AREA IS FREE OF OBSTACLES AND UTILITIES.
12. CONTRACTOR STAGING AREA REQUIRES FENCING. THE CONTRACTOR SHALL PROVIDE SIGNAGE, TAPE BARRICADE AND/OR WARNING LIGHTS AS REQUIRED TO DESIGNATE THESE AREAS. PROVIDE FOR PUBLIC SAFETY AT ALL TIMES ON CONSTRUCTION SITE.
13. CONSTRUCTION MATERIALS SHALL BE DELIVERED VIA PATH AND SITE ENTRANCE DETERMINED IN PRE-CONSTRUCTION MEETING.
14. THE LIMITS OF CONSTRUCTION SHALL INCLUDE, BUT NOT BE LIMITED TO 12 FEET OUTSIDE OF ANY CONSTRUCTED OR RENOVATED AREA AND NOT TO EXTEND BEYOND THE PROPERTY LINE.
15. INDICATED 0'-0" FINISH FLOOR ELEVATION IS A REFERENCE ELEVATION. ACTUAL FINISH FLOOR ELEVATION ABOVE SEA LEVEL DIFFERS.

TREE SCHEDULE - EXISTING

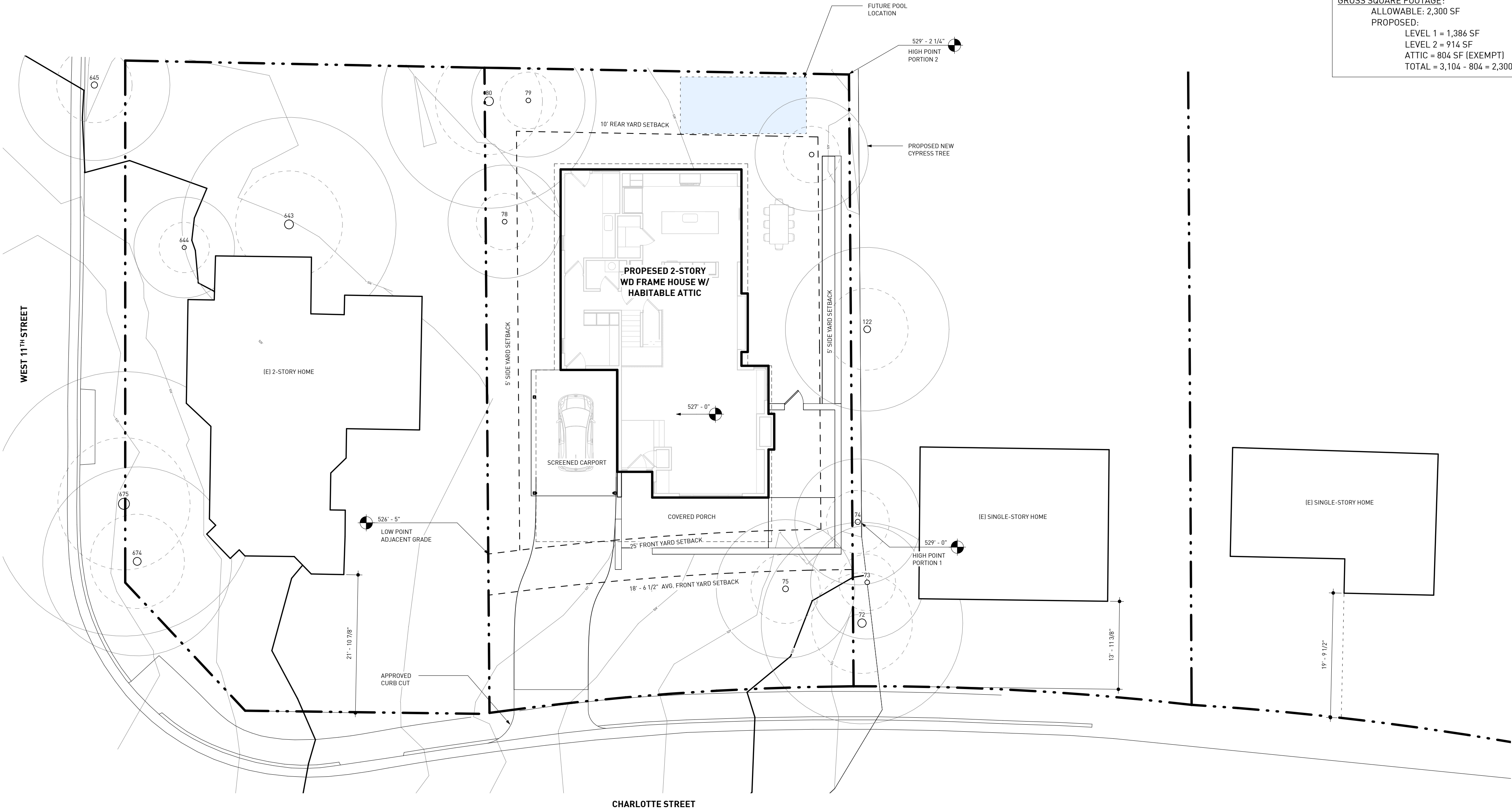
#	DIAMETER	HERITAGE	SPECIES
72	1' - 4"		ELM
73	0' - 9"		ELM
74	0' - 10"		ELM
75	0' - 11"		ELM
78	0' - 9"		LIVE OAK
79	0' - 9"		ELM
80	1' - 5"		ASH
122	1' - 1"		ELM
643	1' - 5"		ELM
644	0' - 8"		PECAN
645	1' - 0"		ELM
674	1' - 3"		LIVE OAK
675	1' - 9"		ELM

TREE SCHEDULE - NEW

#	DIAMETER	HERITAGE	SPECIES
	0' - 9"		CYPRESS

HIGH POINT ADJ. GRADE = 529'-2 1/4"
LOW POINT ADJ. GRADE = 526'-5"

AVG. ADJ. GRADE = 527'-9 5/8"



SITE AREA: 5,747 SF

BUILDING COVERAGE:

ALLOWABLE = 40% MAX = 2,299 SF
PROPOSED = 1,386 SF

IMPERVIOUS COVER:

ALLOWABLE: = 45% MAX = 2,586 SF
PROPOSED:
HOUSE = 1,386 SF
CARPORT = 255 SF
PORCH = 190 SF
DRIVEWAY = 445 SF
TOTAL = 2,276 SF

GROSS SQUARE FOOTAGE:

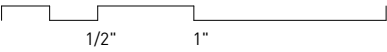
ALLOWABLE: 2,300 SF
PROPOSED:
LEVEL 1 = 1,386 SF
LEVEL 2 = 914 SF
ATTIC = 804 SF [EXEMPT]
TOTAL = 3,104 - 804 = 2,300 SF

**NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION**

04/04/2024

©Pollen Architecture & Design

The drawings and specifications and the ideas, designs and arrangements represented thereby are and shall remain the property of the copyright holder. They are for the sole use of the project owner and his representatives and contractors on the documented project. No part thereof shall be copied, disclosed to others or used in connection with any other work or project or by any other person for any purpose. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.



Issued Sets & Revisions

No.	Date	Issue
-----	------	-------

1 SITE PLAN
Scale: 3/32" = 1'-0"

POLLEN
Architecture & Design

1224 East 12th Street, #210
Austin, Texas 78702 512.499.0888
www.pollenarchitecture.com

Project Number
2402

Project Title
CARY PAUL

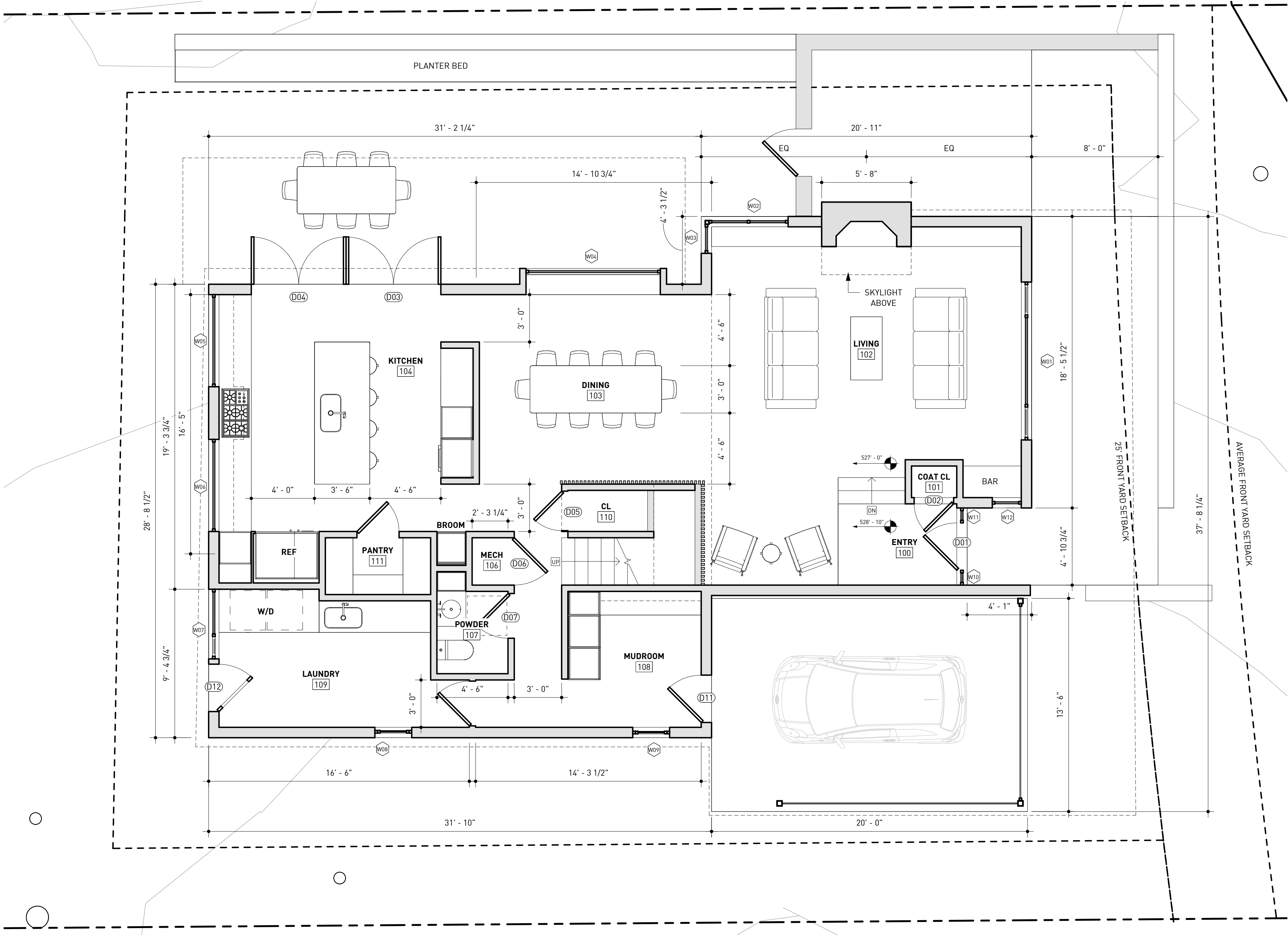
Project Location
**1102 CHARLOTTE ST.
AUSTIN, TX 78703**

Issue Date
04/04/2024

Sheet Title
SITE PLAN

A100

- FLOOR PLAN GENERAL NOTES:
- PERFORM ALL WORK IN ACCORDANCE WITH CITY OF AUSTIN CODES AND ORDINANCES.
 - DO NOT SCALE DRAWINGS. CONTACT ARCHITECT UPON DISCOVERY OF MISSING INFORMATION OR CONFLICTS IN DRAWINGS.
 - CONTACT ARCHITECT WITH ANY FRAMING QUESTIONS OR DISCREPANCIES. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
 - ANY WORK THAT INVOLVES DAMAGE TO EXISTING CONDITIONS SHOULD BE REPAIRED TO MATCH EXISTING.



1 ANNOTATION PLAN - LEVEL 01
Scale: 1/4" = 1'-0"

NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION

04/04/2024

©Pollen Architecture & Design

The drawings and specifications and the ideas, designs and arrangements represented thereby are and shall remain the property of the copyright holder. They are for the sole use of the project owner and his representatives and contractors on the documented project. No part thereof shall be copied, disclosed to others or used in connection with any other work or project or by any other person for any purpose. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

1/2" 1"

Issued Sets & Revisions

No. Date Issue

POLLEN
Architecture & Design

1224 East 12th Street, #210
Austin, Texas 78702 512.499.0888
www.pollenarchitecture.com

Project Number
2402
Project Title
CARY PAUL

Project Location
**1102 CHARLOTTE ST.
AUSTIN, TX 78703**

Issue Date
04/04/2024

Sheet Title
**ANNOTATION PLAN -
LEVEL 01**

A101

- FLOOR PLAN GENERAL NOTES:
- PERFORM ALL WORK IN ACCORDANCE WITH CITY OF AUSTIN CODES AND ORDINANCES.
 - DO NOT SCALE DRAWINGS. CONTACT ARCHITECT UPON DISCOVERY OF MISSING INFORMATION OR CONFLICTS IN DRAWINGS.
 - CONTACT ARCHITECT WITH ANY FRAMING QUESTIONS OR DISCREPANCIES. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
 - ANY WORK THAT INVOLVES DAMAGE TO EXISTING CONDITIONS SHOULD BE REPAIRED TO MATCH EXISTING.

NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION

04/04/2024

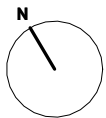
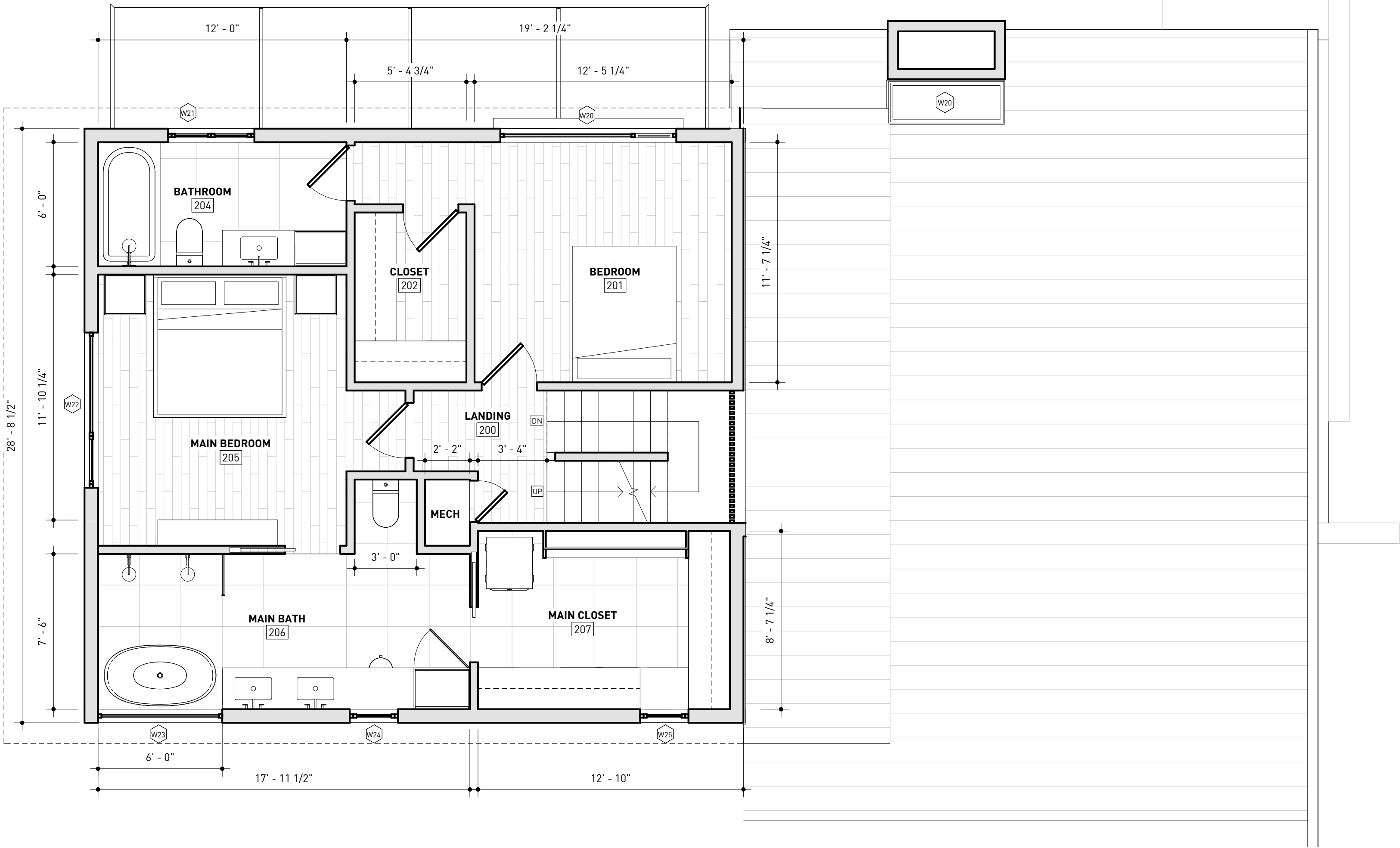
©Pollen Architecture & Design

The drawings and specifications and the ideas, designs and arrangements represented thereby are and shall remain the property of the copyright holder. They are for the sole use of the project owner and his representatives and contractors on the documented project. No part thereof shall be copied, disclosed to others or used in connection with any other work or project or by any other person for any purpose. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

1/2" 1"

Issued Sets & Revisions

No.	Date	Issue
-----	------	-------



1

ANNOTATION PLAN - LEVEL 02

Scale: 1/4" = 1'-0"

POLLEN
Architecture & Design

1224 East 12th Street, #210
Austin, Texas 78702 512.499.0888
www.pollenarchitecture.com

Project Number
2402

Project Title
CARY PAUL

Project Location
1102 CHARLOTTE ST.
AUSTIN, TX 78703

Issue Date
04/04/2024

Sheet Title
ANNOTATION PLAN -
LEVEL 02

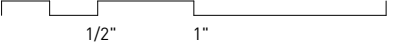
A102

NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION

04/04/2024

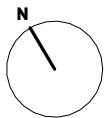
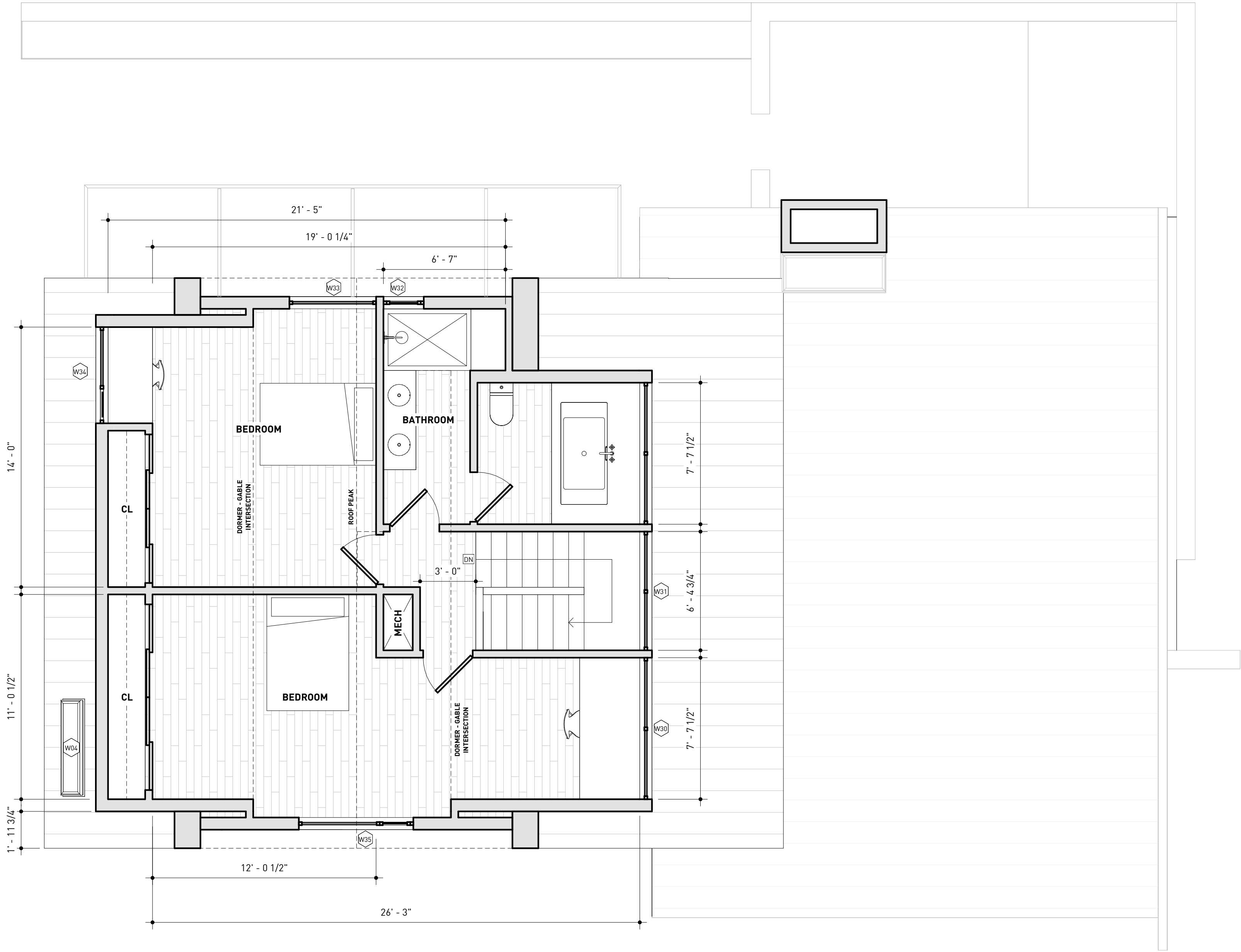
©Pollen Architecture & Design

The drawings and specifications and the ideas, designs and arrangements represented thereby are and shall remain the property of the copyright holder. They are for the sole use of the project owner and his representatives and contractors on the documented project. No part thereof shall be copied, disclosed to others or used in connection with any other work or project or by any other person for any purpose. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.



Issued Sets & Revisions

No.	Date	Issue
-----	------	-------



1

ANNOTATION PLAN - LEVEL 03

Scale: 1/4" = 1'-0"

POLLEN
Architecture & Design

1224 East 12th Street, #210
Austin, Texas 78702 512.499.0888
www.pollenarchitecture.com

Project Number
2402

Project Title
CARY PAUL

Project Location
**1102 CHARLOTTE ST.
AUSTIN, TX 78703**

Issue Date
04/04/2024

Sheet Title
**ANNOTATION PLAN -
LEVEL 03**

A103

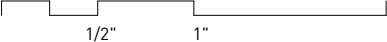
- ROOF PLAN NOTES:
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
 2. VENT ALL MECHANICAL AND PLUMBING FIXTURES AS REQUIRED.
 3. FLASHING, UNDERLAYMENT AND FASTENING DETAILS PER ROOF MANUFACTURER INSTALLATION. VERIFY WITH ARCHITECT.

NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION

04/04/2024

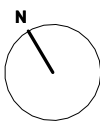
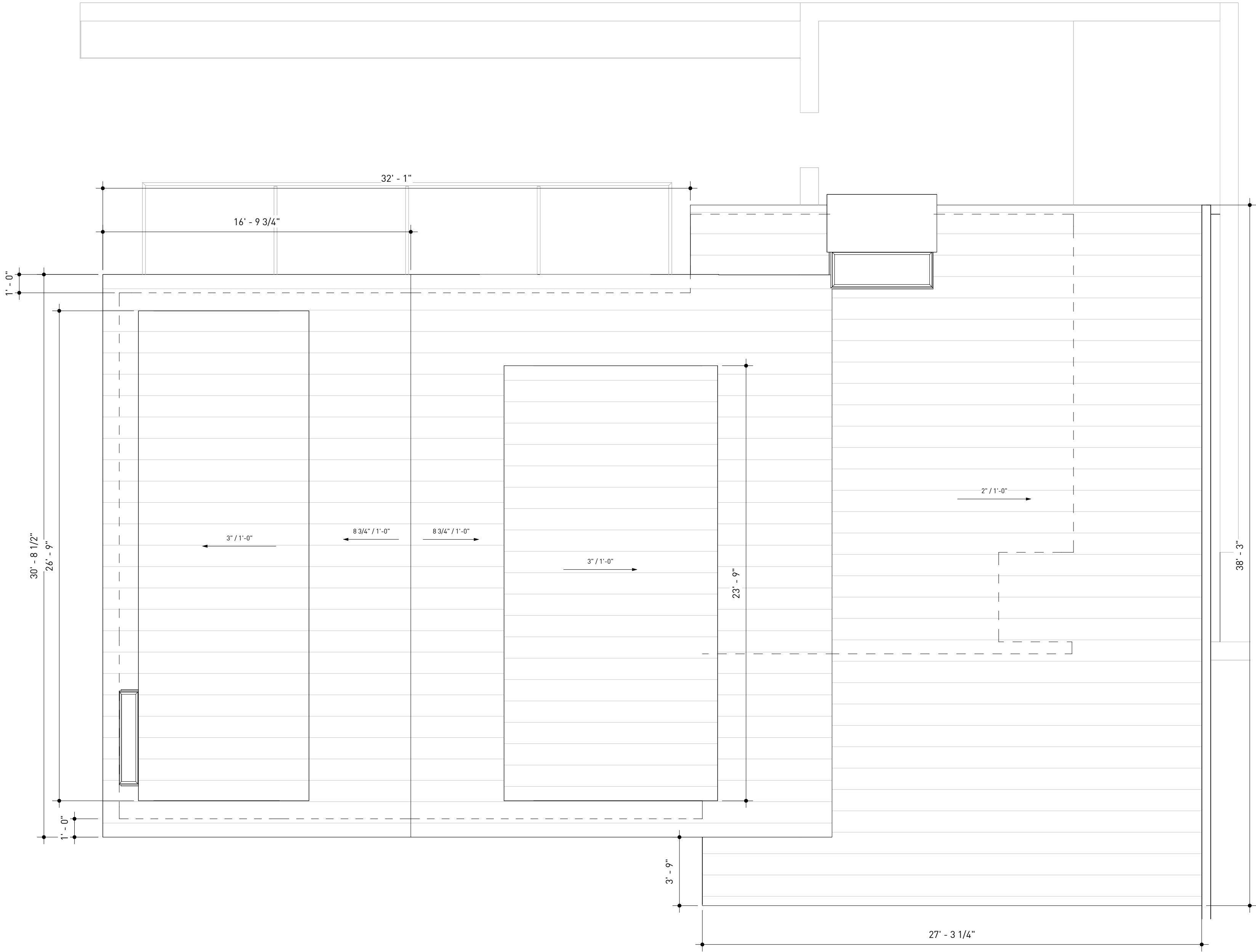
©Pollen Architecture & Design

The drawings and specifications and the ideas, designs and arrangements represented thereby are and shall remain the property of the copyright holder. They are for the sole use of the project owner and his representatives and contractors on the documented project. No part thereof shall be copied, disclosed to others or used in connection with any other work or project or by any other person for any purpose. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.



Issued Sets & Revisions

No.	Date	Issue
-----	------	-------



1

ROOF PLAN

Scale: 1/4" = 1'-0"

POLLEN
Architecture & Design

1224 East 12th Street, #210
Austin, Texas 78702 512.499.0888
www.pollenarchitecture.com

Project Number

2402

Project Title

CARY PAUL

Project Location

1102 CHARLOTTE ST.
AUSTIN, TX 78703

Issue Date

04/04/2024

Sheet Title

ROOF PLAN

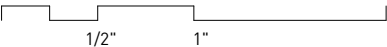
A104

NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION

04/04/2024

©Pollen Architecture & Design

The drawings and specifications and the ideas, designs and arrangements represented thereby are and shall remain the property of the copyright holder. They are for the sole use of the project owner and his representatives and contractors on the documented project. No part thereof shall be copied, disclosed to others or used in connection with any other work or project or by any other person for any purpose. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.



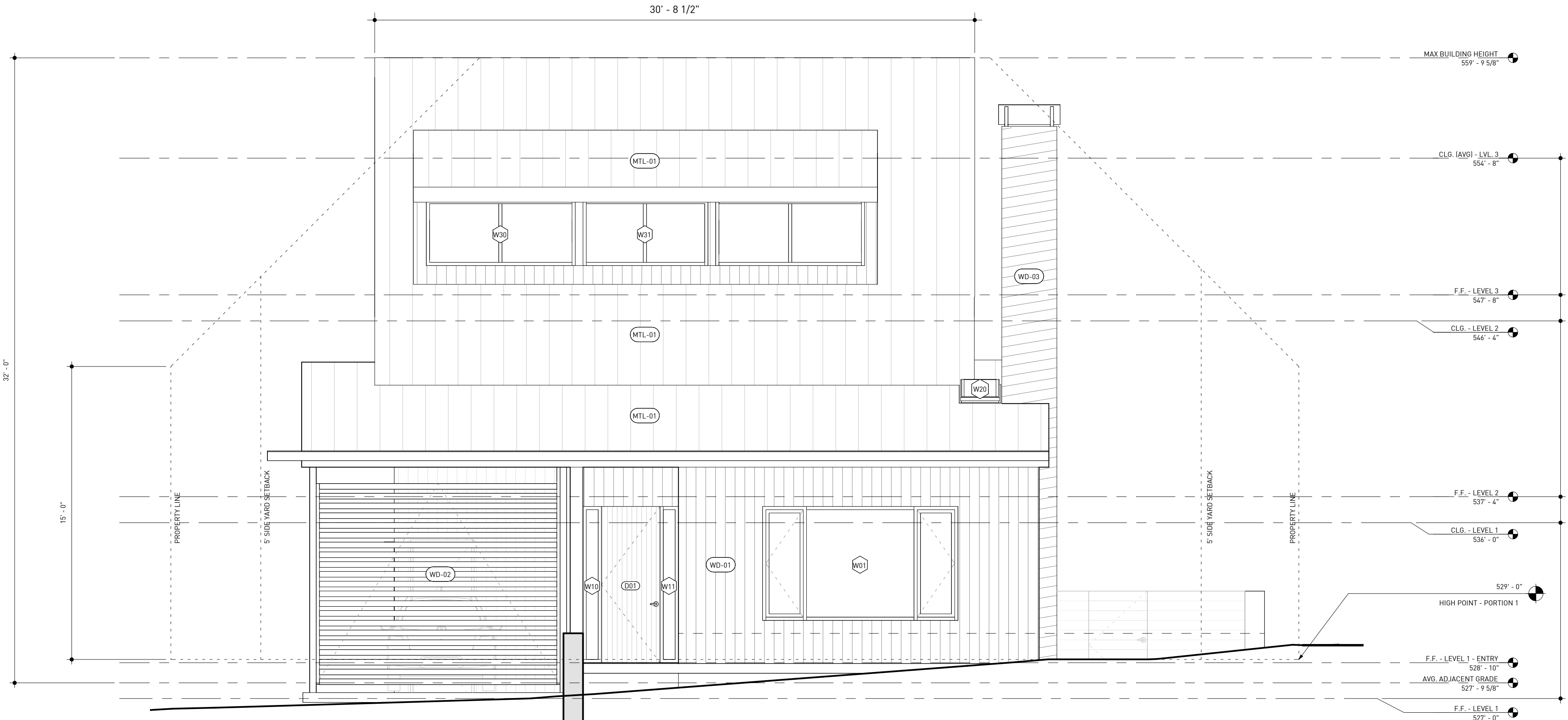
Issued Sets & Revisions

No.	Date	Issue
-----	------	-------

2 WEST ELEVATION
Scale: 1/4" = 1'-0"



1 EAST ELEVATION
Scale: 1/4" = 1'-0"



EXTERIOR FINISH LEGEND	
MARK	DESCRIPTION
CO-01	BOARD FORMED CONCRETE WALL
MTL-01	STANDING SEAM METAL ROOF
STL-01	STRUCTURAL STEEL, PAINTED
WD-01	ACCOYA EXTERIOR SIDING
WD-02	HORIZONTAL WOOD CARPORT SCREEN
WD-03	ACCOYA EXTERIOR SIDING, INSTALLED DIAGONAL

POLLEN
Architecture & Design

1224 East 12th Street, #210
Austin, Texas 78702 512.499.0888
www.pollenarchitecture.com

Project Number
2402

Project Title
CARY PAUL

Project Location
1102 CHARLOTTE ST.
AUSTIN, TX 78703

Issue Date
04/04/2024

Sheet Title
EXTERIOR ELEVATIONS

A200

NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION

04/04/2024

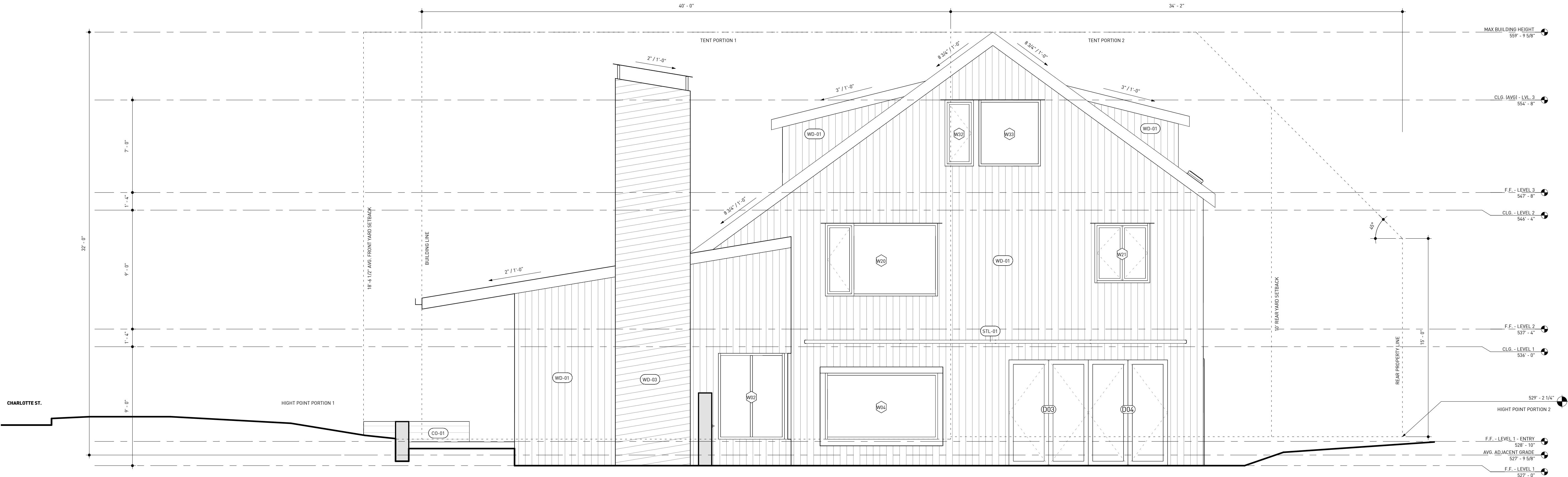
©Pollen Architecture & Design

The drawings and specifications and the ideas, designs and arrangements represented thereby are and shall remain the property of the copyright holder. They are for the sole use of the project owner and his representatives and contractors on the documented project. No part thereof shall be copied, disclosed to others or used in connection with any other work or project or by any other person for any purpose. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

1/2" 1"

Issued Sets & Revisions

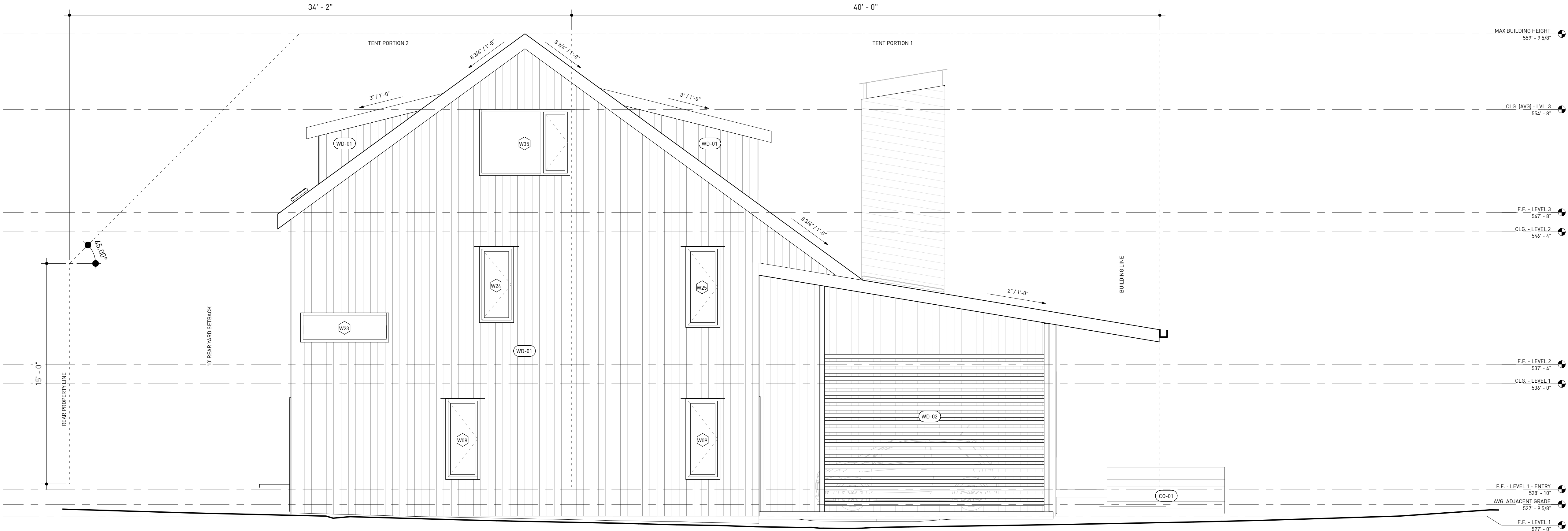
No. Date Issue



2

NORTH ELEVATION

Scale: 1/4" = 1'-0"



1

SOUTH ELEVATION

Scale: 1/4" = 1'-0"

EXTERIOR FINISH LEGEND	
MARK	DESCRIPTION
CO-01	BOARD FORMED CONCRETE WALL
MTL-01	STANDING SEAM METAL ROOF
STL-01	STRUCTURAL STEEL, PAINTED
WD-01	ACCOYA EXTERIOR SIDING
WD-02	HORIZONTAL WOOD CARPORT SCREEN
WD-03	ACCOYA EXTERIOR SIDING, INSTALLED DIAGONAL

POLLEN
Architecture & Design

1224 East 12th Street, #210
Austin, Texas 78702 512.499.0888
www.pollenarchitecture.com

Project Number
2402

Project Title
CARY PAUL

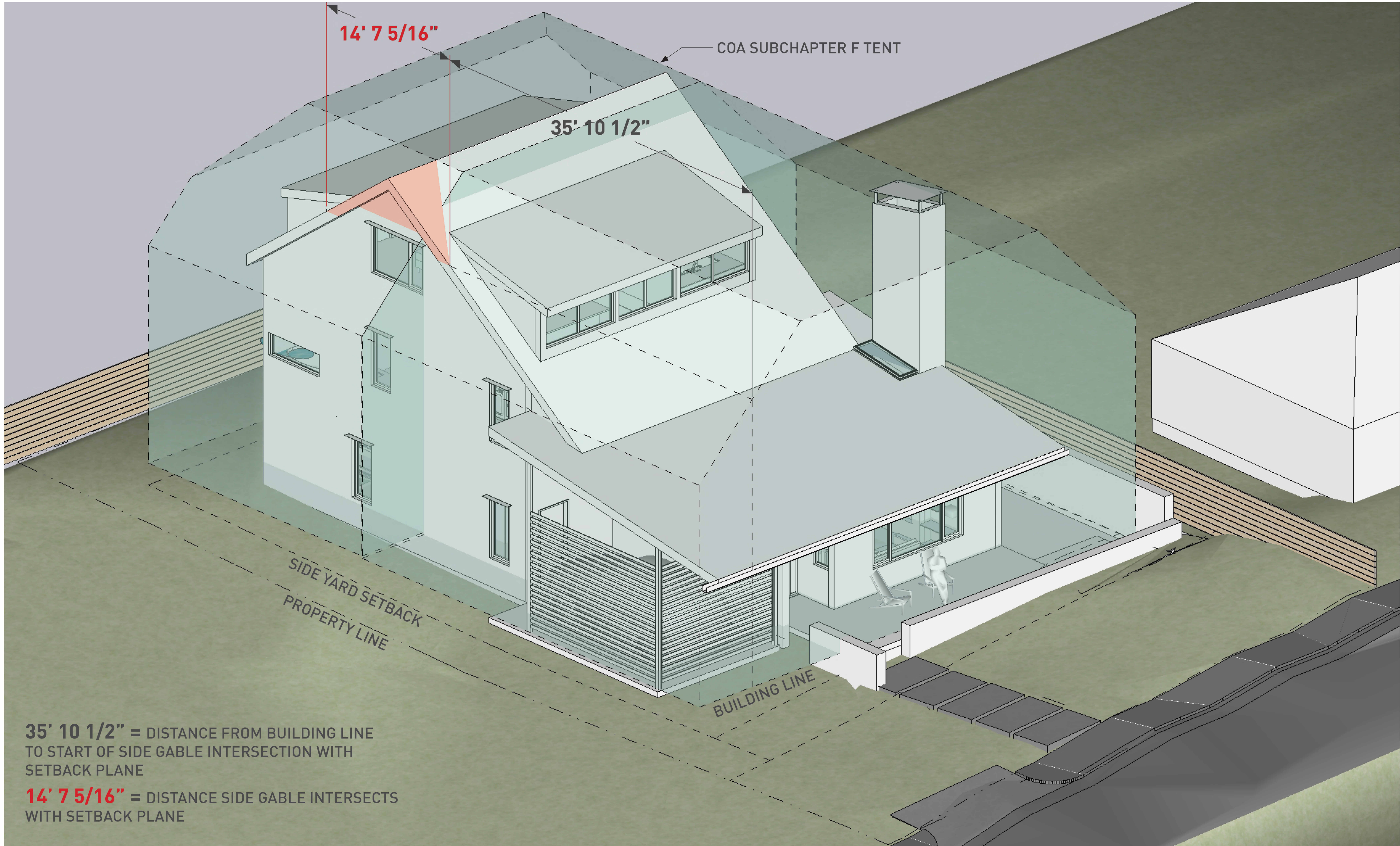
Project Location
**1102 CHARLOTTE ST.
AUSTIN, TX 78703**

Issue Date
04/04/2024

Sheet Title
EXTERIOR ELEVATIONS

A201

TENT DIAGRAM - DORMER + SIDE GABLE EXTENSION BEYOND SETBACK PLANE



2402 CARY PAUL - CHARLOTTE HOUSE
POLLEN ARCHITECTURE & DESIGN

TENT DIAGRAM
04.04.2024

04/04/2024

©Pollen Architecture & Design

The drawings and specifications and the ideas, designs and arrangements represented thereby are and shall remain the property of the copyright holder. They are for the sole use of the project owner and his representatives and contractors on the documented project. No part thereof shall be copied, disclosed to others or used in connection with any other work or project or by any other person for any purpose. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

1/2" 1"

Issued Sets & Revisions

No.	Date	Issue
-----	------	-------

POLLEN
Architecture & Design

1224 East 12th Street, #210
Austin, Texas 78702 512.499.0888
www.pollenarchitecture.com

Project Number
2402

Project Title
CARY PAUL

Project Location
1102 CHARLOTTE ST.
AUSTIN, TX 78703

Issue Date
04/04/2024

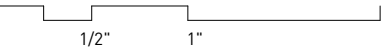
Sheet Title
3D VIEWS

A900

04/04/2024

©Pollen Architecture & Design

The drawings and specifications and the ideas, designs and arrangements represented thereby are and shall remain the property of the copyright holder. They are for the sole use of the project owner and his representatives and contractors on the documented project. No part thereof shall be copied, disclosed to others or used in connection with any other work or project or by any other person for any purpose. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.



Issued Sets & Revisions

No.	Date	Issue
-----	------	-------



1 EXTERIOR RENDERING

POLLEN
Architecture & Design

1224 East 12th Street, #210
Austin, Texas 78702 512.499.0888
www.pollenarchitecture.com

Project Number
2402
Project Title
CARY PAUL

Project Location
**1102 CHARLOTTE ST.
AUSTIN, TX 78703**

Issue Date
04/04/2024

Sheet Title
3D VIEWS

A901