

03 Threshold Detail at Entrance 3" = 1'-0" @ 22x34 1 1/2" = 1'-0" @ 11x17

Visitability Notes

- Light switches and environmental controls to be installed maximum 48" above the interior floor level.
- 2. Outlets and receptacles to be installed minimum 15" above interior floor level (except for floor outlets).

Visitability Entrance

- 1. Door to be 3'-0" x 8'-0"minimum.
- 2. Landing to be 3'-0" x 3'-0" minimum with maximum slope of $\frac{1}{4}$ "/ft.
- 3. If foundation plan shows more than $\frac{1}{2}$ " drop, design professional must provide threshold detail.

Visitability Bathroom

- 1. Door to be 3'-0" x 8'-0" minimum.
- 2. 2x6 blocking, centerline at 34" above finish floor (except behind lavatory).

PROJECT

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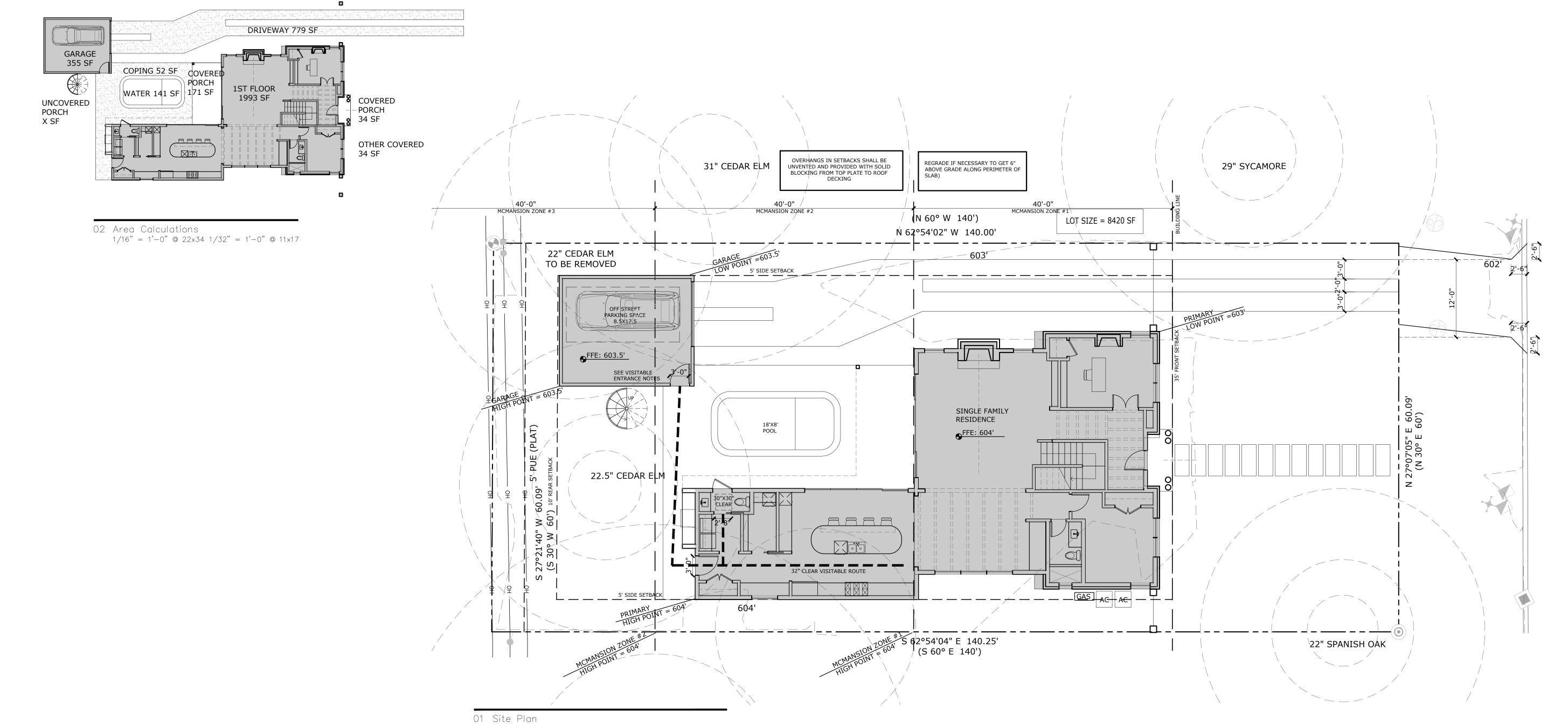
OWNER

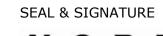
GREATER AUSTIN BUILDERS

REVISIONS

NO ISSUE DATE 1 PERMIT

NOTES







DESIGNER

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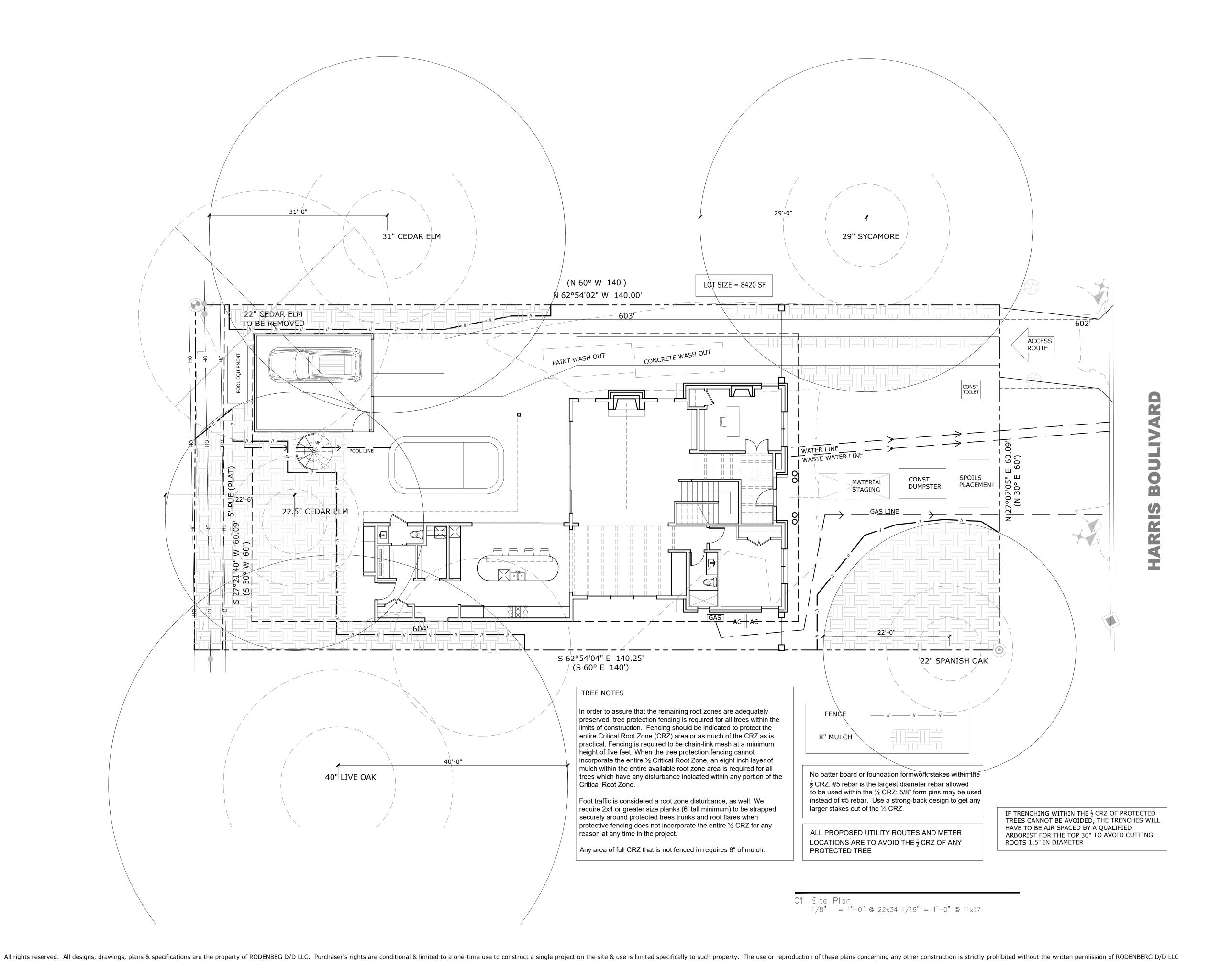
SHEET TITLE

SITE PLAN

SHEET NUMBER

41.0

1/8" = 1'-0" @ 22x34 1/16" = 1'-0" @ 11x17



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SHEET TITLE

TREE PLAN

SHEET NUMBER

A1.1

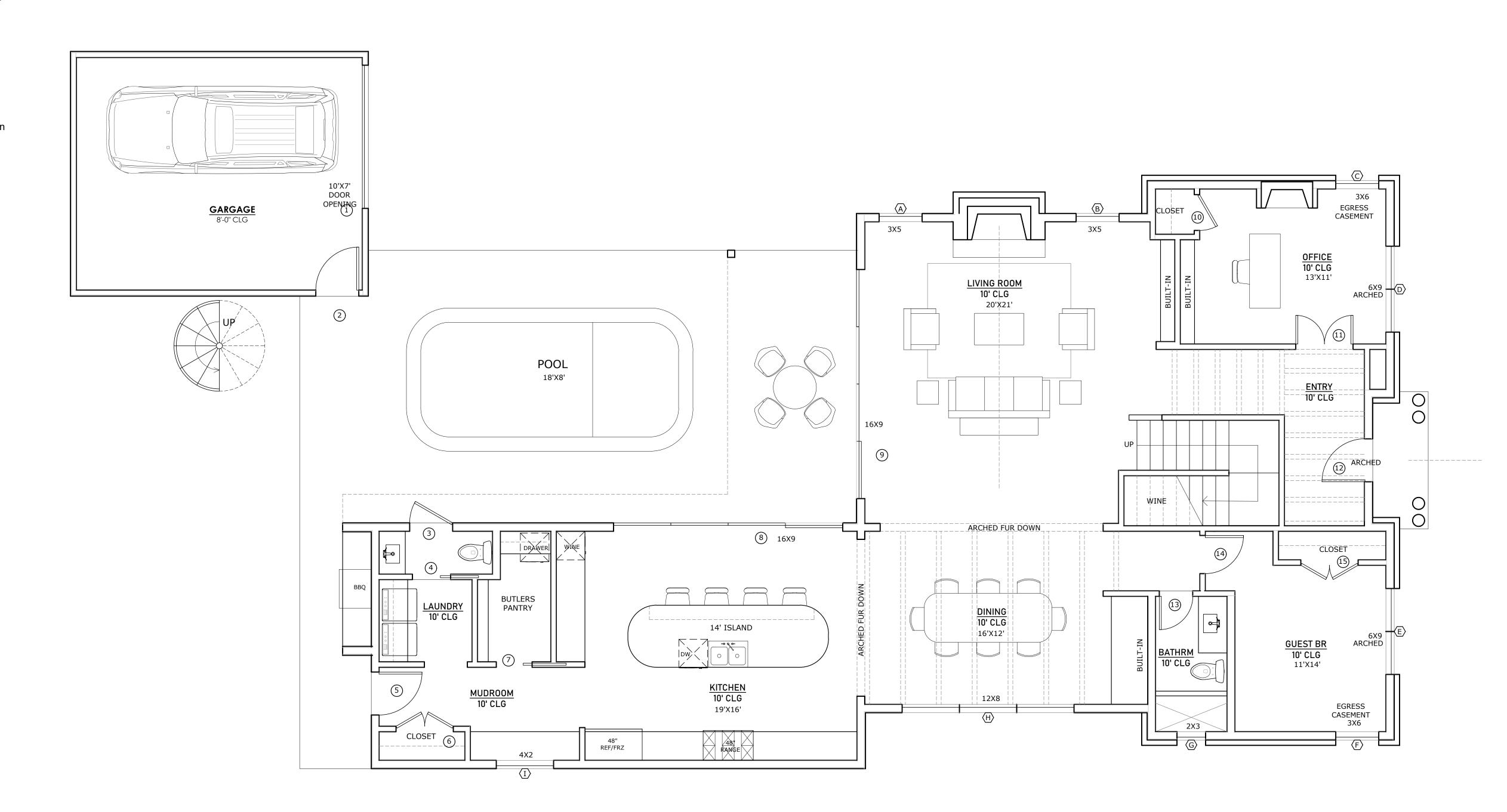
- 1. All walls to be 2x4; plumbing walls to be 2x6; insulate exterior walls, R-19
- 2. All doors to be 96" height
- 3. $\frac{5}{8}$ " gypsum board throughout 4. Green board in showers and wet areas
- 5. Shoot all plates w/ 2x Ramset w/in 6" of cut

Plan Notes

- 1. All egress windows and doors to comply with 2021 IRC R310.1, R311.2,
- 2. Stairs, handrails, and guardrails to comply with 2021 IRC R311.5.1, R311.7, R312.1
- 3. First floor of new construction with any living space to comply with all visitability standards under city code section 25-12-243, R320. Visitability items are referenced on floor plans

Legend

- Smoke detector installed in accordance with IRC 2021 R314
- Carbon monoxide detector installed in accordance with IRC 2021 R315



PROJECT

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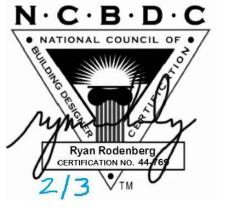
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SHEET TITLE

PLAN

FIRST FLOOR

SHEET NUMBER

⁰¹ First Floor Plan 1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17

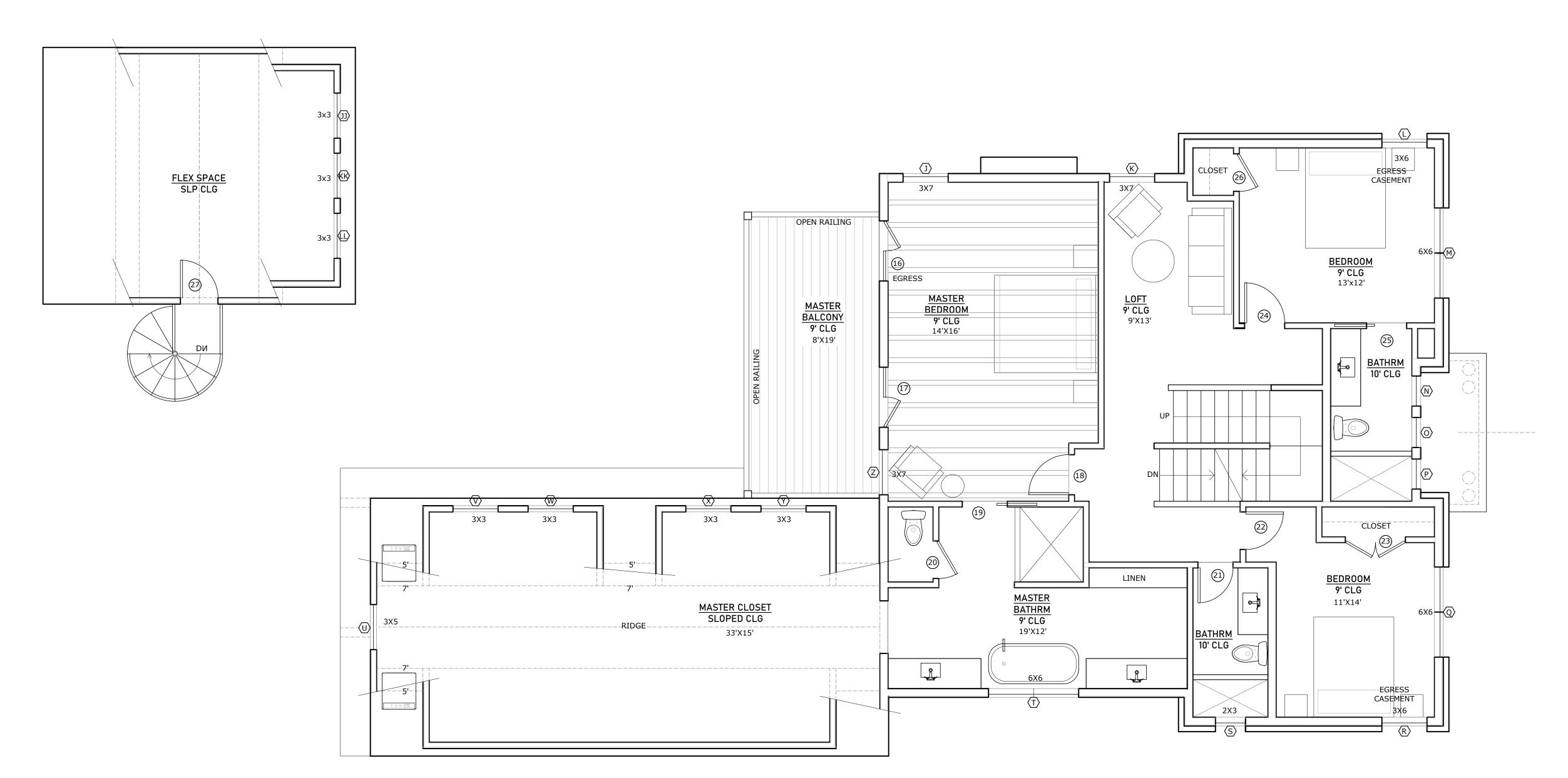
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- 2. All doors to be 96" height
- 3. $\frac{5}{8}$ gypsum board throughout
- 4. Green board in showers and wet areas
- 5. Shoot all plates w/ 2x Ramset w/in 6"

Plan Notes

- 1. All egress windows and doors to comply with 2021 IRC R310.1, R311.2, R312.2
- 2. Stairs, handrails, and guardrails to comply with 2021 IRC R311.5.1, R311.7, R312.1
- 3. First floor of new construction with any living space to comply with all visitability standards under city code section 25-12-243, R320. Visitability items are referenced on floor plans

Legend

- Smoke detector installed in accordance with IRC 2021 R314
- Carbon monoxide detector installed in accordance with IRC 2021 R315



⁰¹ Second Floor Plan 1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17

PROJECT

2521 HARRIS

OWNER

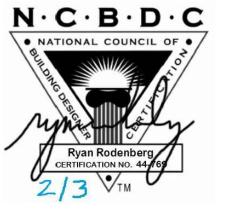
GREATER AUSTIN BUILDERS

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SHEET TITLE

2ND FLOOR PLAN

SHEET NUMBER

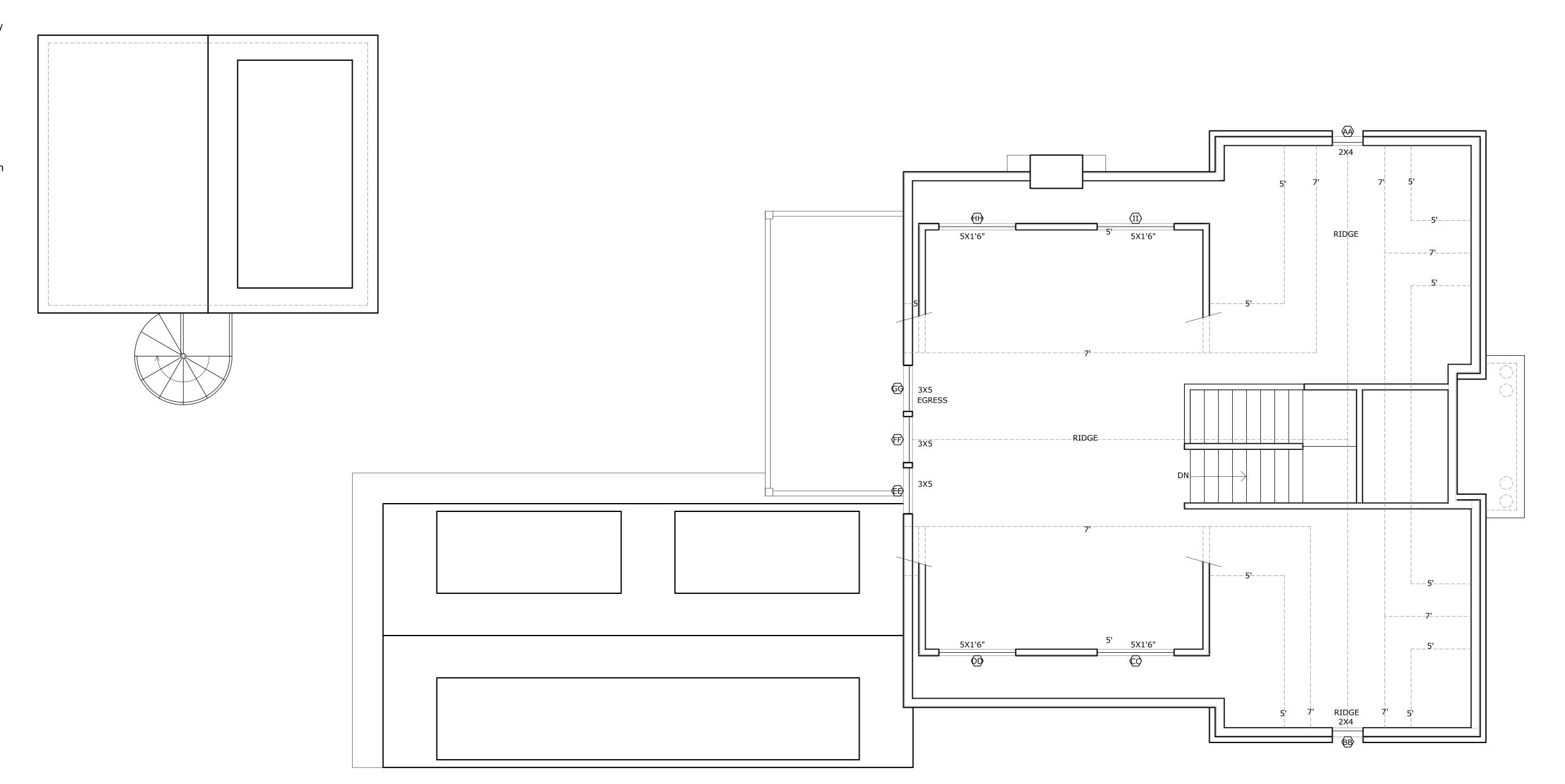
- All walls to be 2x4; plumbing walls to be 2x6; insulate exterior walls, R-19
- 2. All doors to be 96" height
- 3. $\frac{5}{8}$ " gypsum board throughout
- 4. Green board in showers and wet areas
 5. Shoot all plates w/ 2x Ramset w/in 6" of cut

Plan Notes

- 1. All egress windows and doors to comply with 2021 IRC R310.1, R311.2, R312.2
- 2. Stairs, handrails, and guardrails to comply with 2021 IRC R311.5.1, R311.7, R312.1
- 3. First floor of new construction with any living space to comply with all visitability standards under city code section 25-12-243, R320. Visitability items are referenced on floor plans

Legend

- Smoke detector installed in accordance with IRC 2021 R314
- Carbon monoxide detector installed in accordance with IRC 2021 R315



PROJECT

2521 HARRIS

OWNER

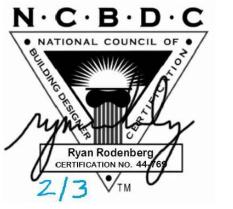
GREATER AUSTIN BUILDERS

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SHEET TITLE

ATTIC PLAN

SHEET NUMBER

⁰¹ ATTIC Plan 1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17

- 1. All walls to be 2x4; plumbing walls to be 2x6; insulate exterior walls, R-19
- 2. All doors to be 96" height
- 3. $\frac{5}{8}$ " gypsum board throughout
- 4. Green board in showers and wet areas
 5. Shoot all plates w/ 2x Ramset w/in 6" of cut

Plan Notes

- 1. All egress windows and doors to comply with 2021 IRC R310.1, R311.2, R312.2
- 2. Stairs, handrails, and guardrails to comply with 2021 IRC R311.5.1, R311.7, R312.1
- 3. First floor of new construction with any living space to comply with all visitability standards under city code section 25-12-243, R320. Visitability items are referenced on floor plans

Legend

- Smoke detector installed in accordance with IRC 2021 R314
- Carbon monoxide detector installed in accordance with IRC 2021 R315



01 Roof Plan 1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17 PROJECT

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OWNER

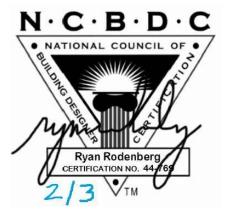
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SHEET TITLE

ROOF PLAN

SHEET NUMBER

PROJECT 2521 HARRIS PLEASE COORDINATE ALL WINDOWS AND DOORS WITH SCHEDULES ON OWNER GREATER AUSTIN BUILDERS SHINGLE ROOFING REVISIONS BRICK BRICK NO ISSUE DATE 1 PERMIT 3RD FL F.F.E. = 626' (22'-0") SECOND FLOOR BI-FOLD FUNCTIONAL TOP PLATE = 624.5' (20'-6") SECOND FLOOR BI-FOLD FUNCTIONAL SHUTTERS SHUTTERS NOTES 2ND FL F.F.E. = 615.5' (11'-6") SECOND FLOOR COPPER ROOFING METAL AWNING TOP PLATE =614' (10'-0") FIRST FLOOR BRICK PRIMARY F.F.E.=604' (0'-0")
FIRST FLOOR SEAL & SIGNATURE MCMANSION ZONE #1 $N \cdot C \cdot B \cdot D \cdot C$ HIGH POINT = 604' PRIM. BLDG AVG. GRADE=603.5' • NATIONAL COUNCIL OF • 02 FRONT Elevation 1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17 18'-0" PROTRUDING DORMER WIDTH SIDE GABLE EXEMPTION SHINGLE ROOFING R $D \longrightarrow 0$ 3RD FL F.F.E. = 626' (22'-0") SECOND FLOOR SHINGLE ROOFING RODENBERG DESIGN TOP PLATE = 624.5' (20'-6") SECOND FLOOR 1306 OLTORF ST AUSTIN, TX 78704 512-796-5995 BRICK SIDING SIDING 2ND FL F.F.E. = 615.5' (11'-6") SECOND FLOOR TOP PLATE =614' (10'-0") FIRST FLOOR BRICK SHEET TITLE SIDING PRIMARY RESIDENCE **ELEVATIONS** PRIMARY F.F.E.=604' (0'-0") FIRST FLOOR SHEET NUMBER MCMANSION ZONE #1 HIGH POINT = 604' PRIM. BLDG AVG. GRADE=603.5' 01 LEFT Side

RYAN@RODENBERGDESIGN.COM

A0.2

PROJECT 2521 HARRIS PLEASE COORDINATE ALL WINDOWS AND DOORS WITH SCHEDULES ON 7.5 12 7.5 A0.2 OWNER SHINGLE ROOFING SHINGLE ROOFING GREATER AUSTIN BUILDERS REVISIONS NO ISSUE 1 PERMIT DATE 3RD FL F.F.E. = 626' (22'-0") SECOND FLOOR 16 SIDING TOP PLATE = 624.5' (20'-6")
SECOND FLOOR NOTES HANDRAIL; TO BE COMPLIANT WITH 2021 IRC R311.7.8 2ND FL F.F.E. = 615.5' (11'-6") SECOND FLOOR TOP PLATE =614' (10'-0") FIRST FLOOR BRICK SIDING PRIMARY F.F.E.=604' (0'-0")
FIRST FLOOR SEAL & SIGNATURE MCMANSION ZONE #1 $N \cdot C \cdot B \cdot D \cdot C$ HIGH POINT = 604' PRIM. BLDG AVG. GRADE=603.5' 02 REAR Elevation • NATIONAL COUNCIL OF • 7'-0" PROTRUDING DORMER WIDTH SHINGLE ROOFING R $D \longrightarrow 0$ 3RD FL F.F.E. = 626' (22'-0") SECOND FLOOR RODENBERG DESIGN SHINGLE ROOFING TOP PLATE = 624.5' (20'-6") SECOND FLOOR 1306 OLTORF ST AUSTIN, TX 78704 512-796-5995 RYAN@RODENBERGDESIGN.COM 2ND FL F.F.E. = 615.5' (11'-6") SECOND FLOOR SIDING TOP PLATE =614' (10'-0") FIRST FLOOR SIDING BRICK SHEET TITLE

PRIMARY RESIDENCE

ELEVATIONS

SHEET NUMBER

PRIMARY F.F.E.=604' (0'-0")
FIRST FLOOR

PRIM. BLDG AVG. GRADE=603.5'

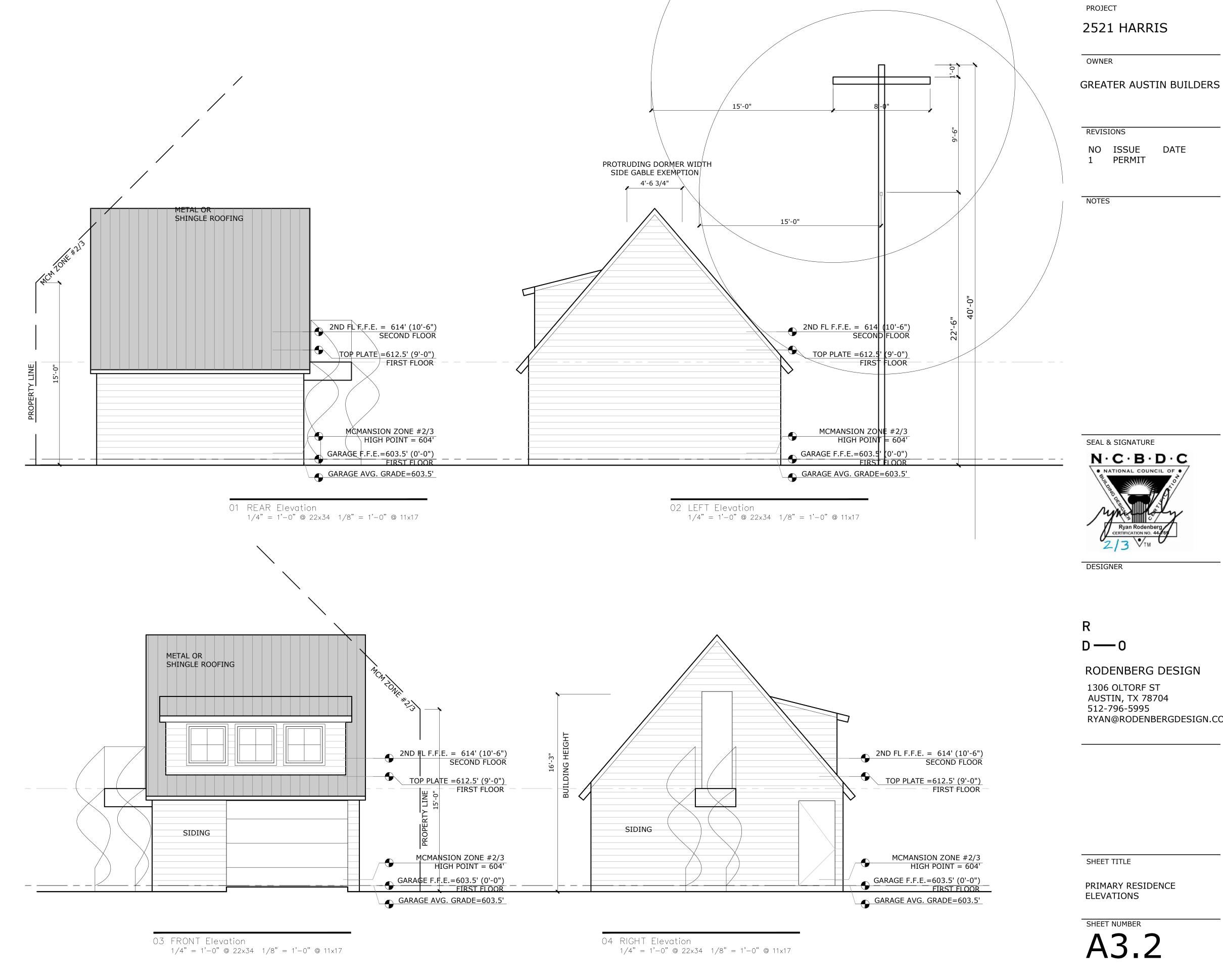
MCMANSION ZONE #1 HIGH POINT = 604

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1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17

01 RIGHT Elevation

PLEASE COORDINATE ALL WINDOWS AND DOORS WITH SCHEDULES ON A0.2



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