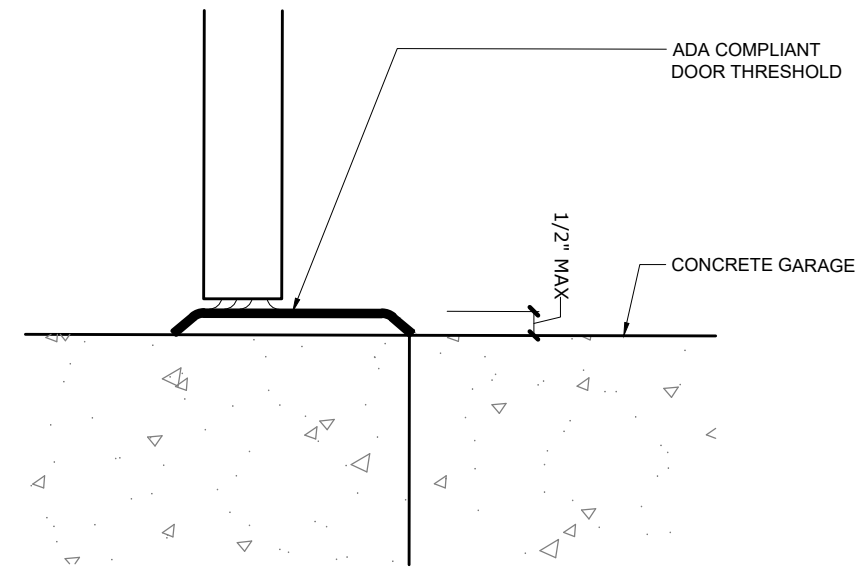


02 Area Calculations
1/16" = 1'-0" @ 22x34 1/32" = 1'-0" @ 11x17



03 Threshold Detail at Entrance
3" = 1'-0" @ 22x34 1 1/2" = 1'-0" @ 11x17

Visitability Notes

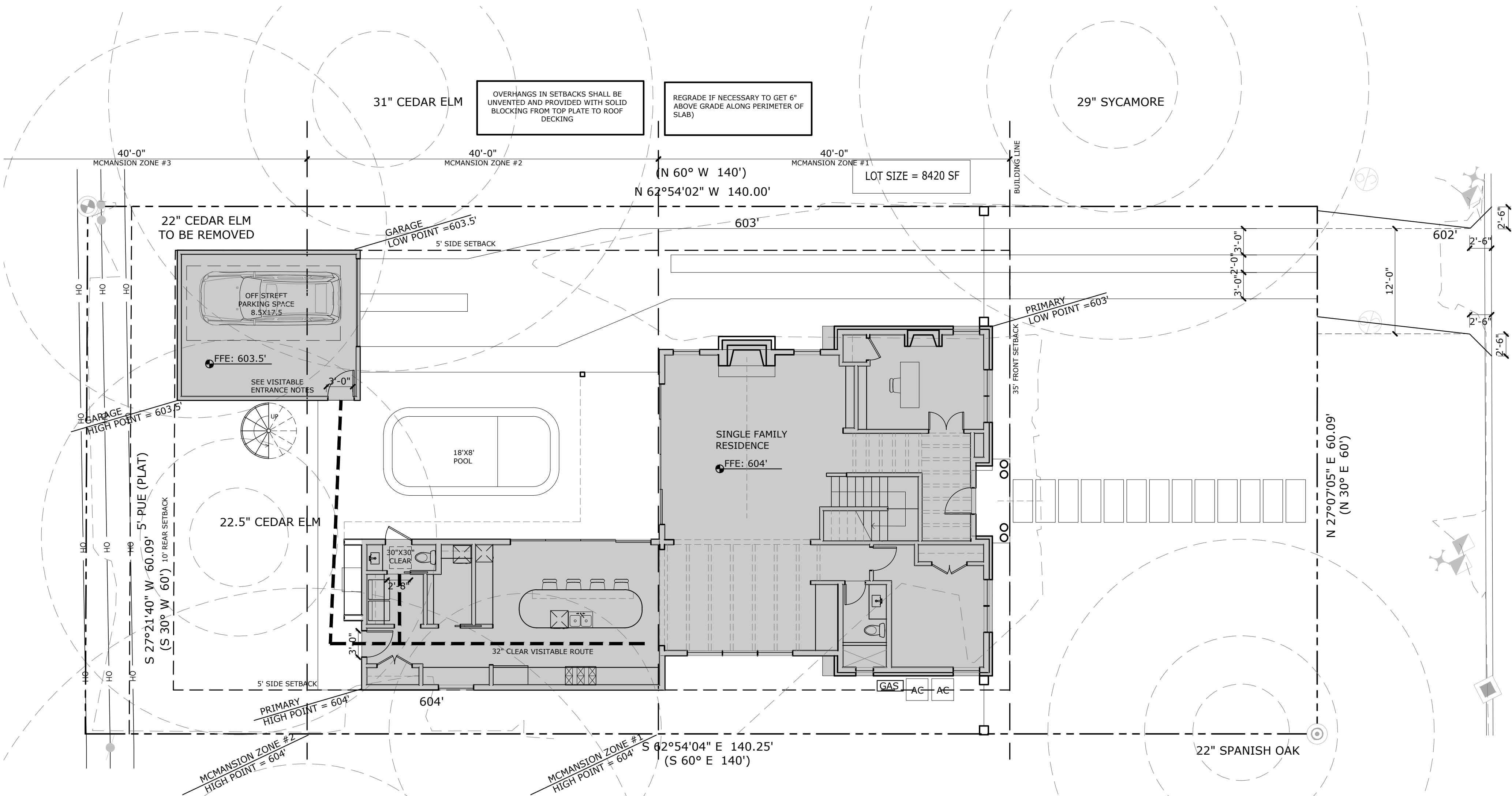
1. Light switches and environmental controls to be installed maximum 48" above the interior floor level.
2. Outlets and receptacles to be installed minimum 15" above interior floor level (except for floor outlets).

Visitability Entrance

1. Door to be 3'-0" x 8'-0" minimum.
2. Landing to be 3'-0" x 3'-0" minimum with maximum slope of 1/4"/ft.
3. If foundation plan shows more than 1/2" drop, design professional must provide threshold detail.

Visitability Bathroom

1. Door to be 3'-0" x 8'-0" minimum.
2. 2x6 blocking, centerline at 34" above finish floor (except behind lavatory).



01 Site Plan
1/8" = 1'-0" @ 22x34 1/16" = 1'-0" @ 11x17

PROJECT

2521 HARRIS

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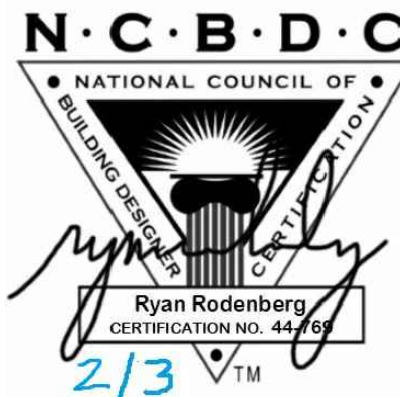
GREATER AUSTIN BUILDERS

REVISIONS

NO	ISSUE	DATE
1	PERMIT	

NOTES

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DESIGNER

R
D — O

RODENBERG DESIGN

1306 OLTORF ST
AUSTIN, TX 78704
512-796-5995
RYAN@RODENBERGDESIGN.COM

SHEET TITLE

SITE PLAN

SHEET NUMBER

A1.0

PROJECT

2521 HARRIS

OWNER

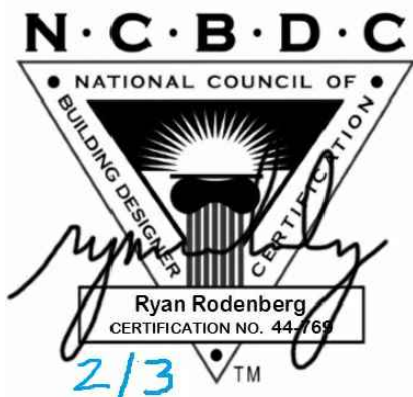
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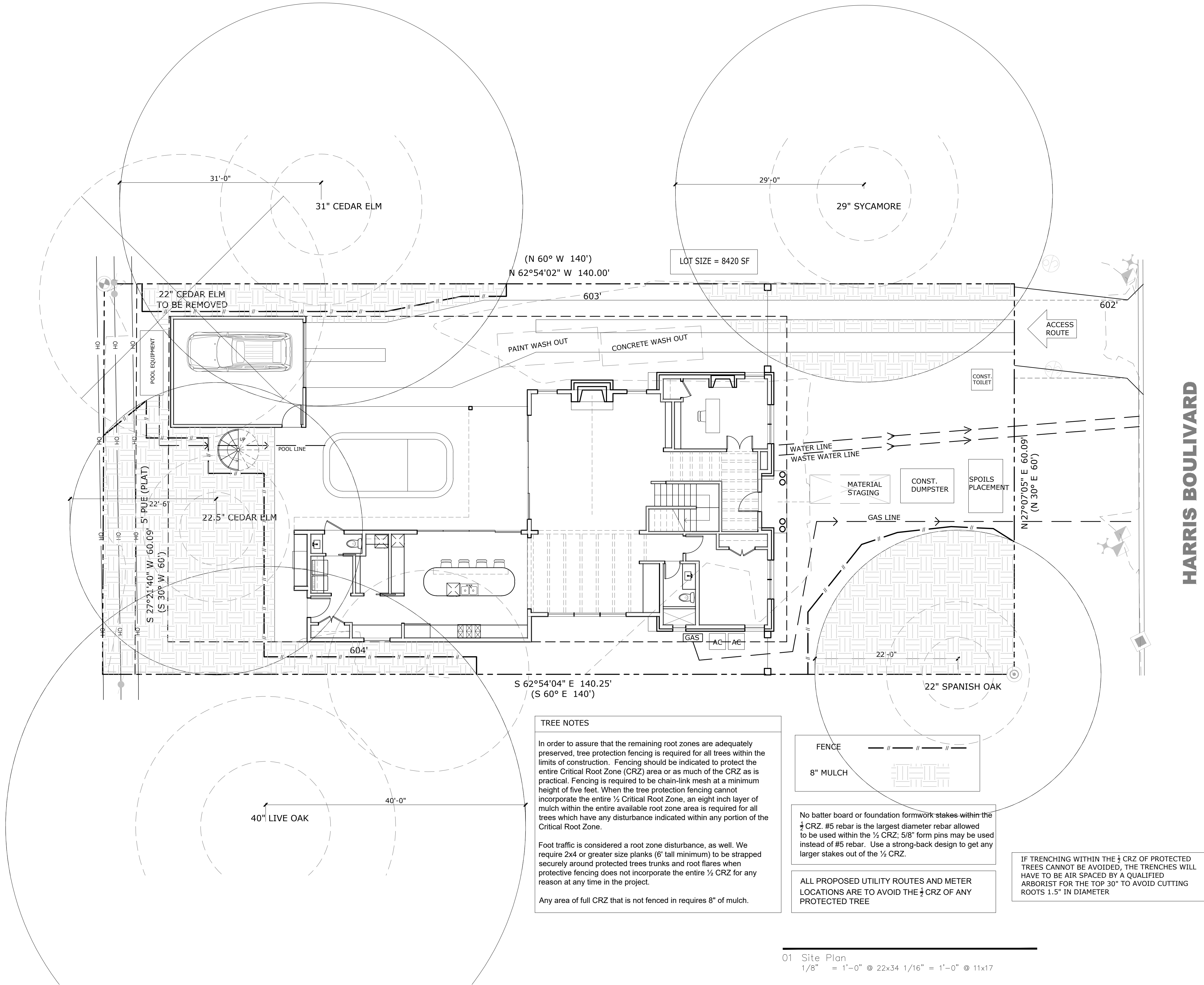
1306 OLTORF ST
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512-796-5995
RYAN@RODENBERGDESIGN.COM

SHEET TITLE

TREE PLAN

SHEET NUMBER

A1.1





General Notes

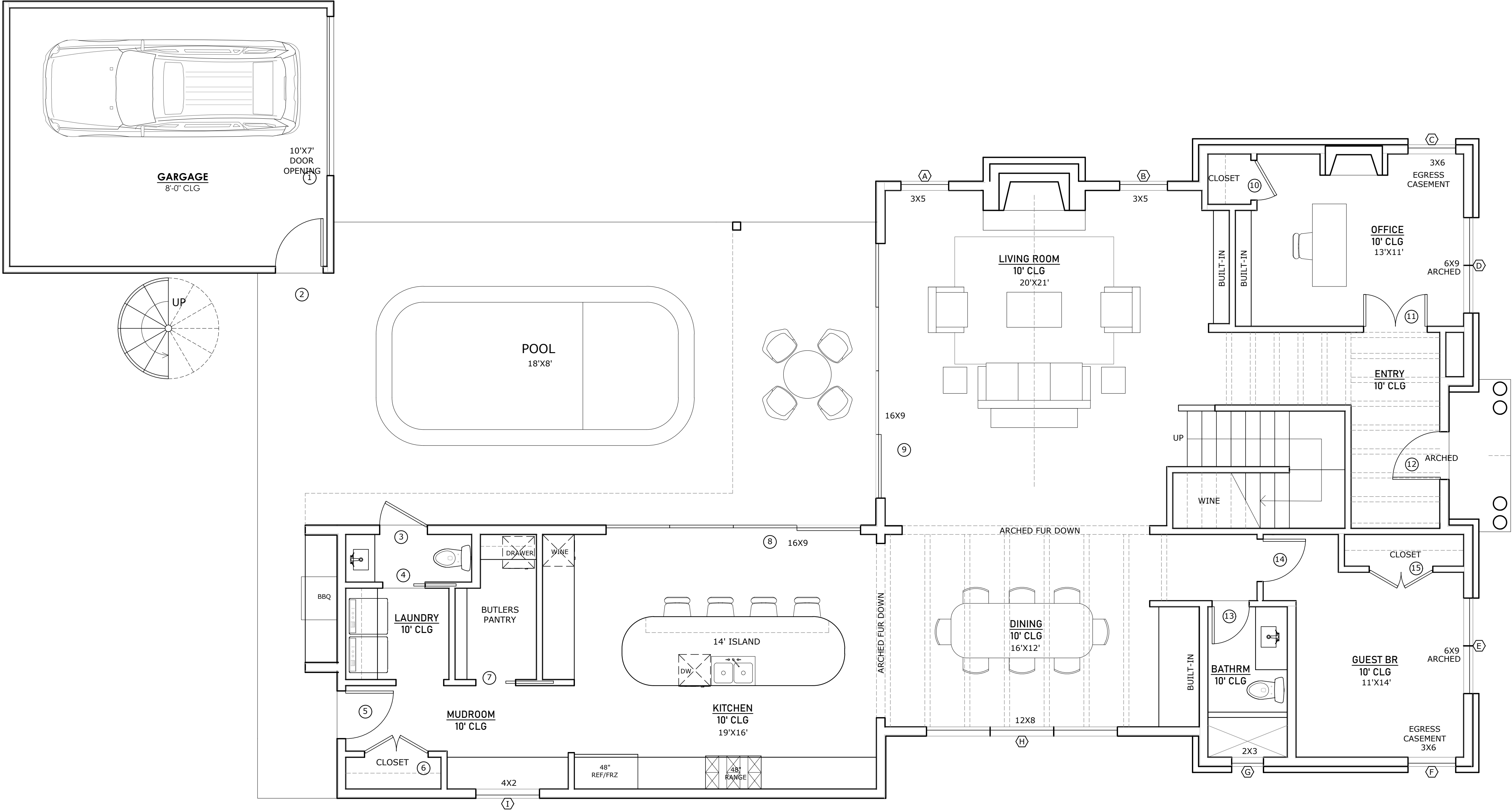
- All walls to be 2x4; plumbing walls to be 2x6; insulate exterior walls, R-19 min.
- All doors to be 96" height
- $\frac{5}{8}$ " gypsum board throughout
- Green board in showers and wet areas
- Shoot all plates w/ 2x Ramset w/in 6" of cut

Plan Notes

- All egress windows and doors to comply with 2021 IRC R310.1, R311.2, R312.2
- Stairs, handrails, and guardrails to comply with 2021 IRC R311.5.1, R311.7, R312.1
- First floor of new construction with any living space to comply with all visitability standards under city code section 25-12-243, R320. Visitability items are referenced on floor plans

Legend

-  Smoke detector installed in accordance with IRC 2021 R314
-  Carbon monoxide detector installed in accordance with IRC 2021 R315



01 First Floor Plan
1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17

PROJECT

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SHEET TITLE

FIRST FLOOR
PLAN

SHEET NUMBER

A2.0

General Notes

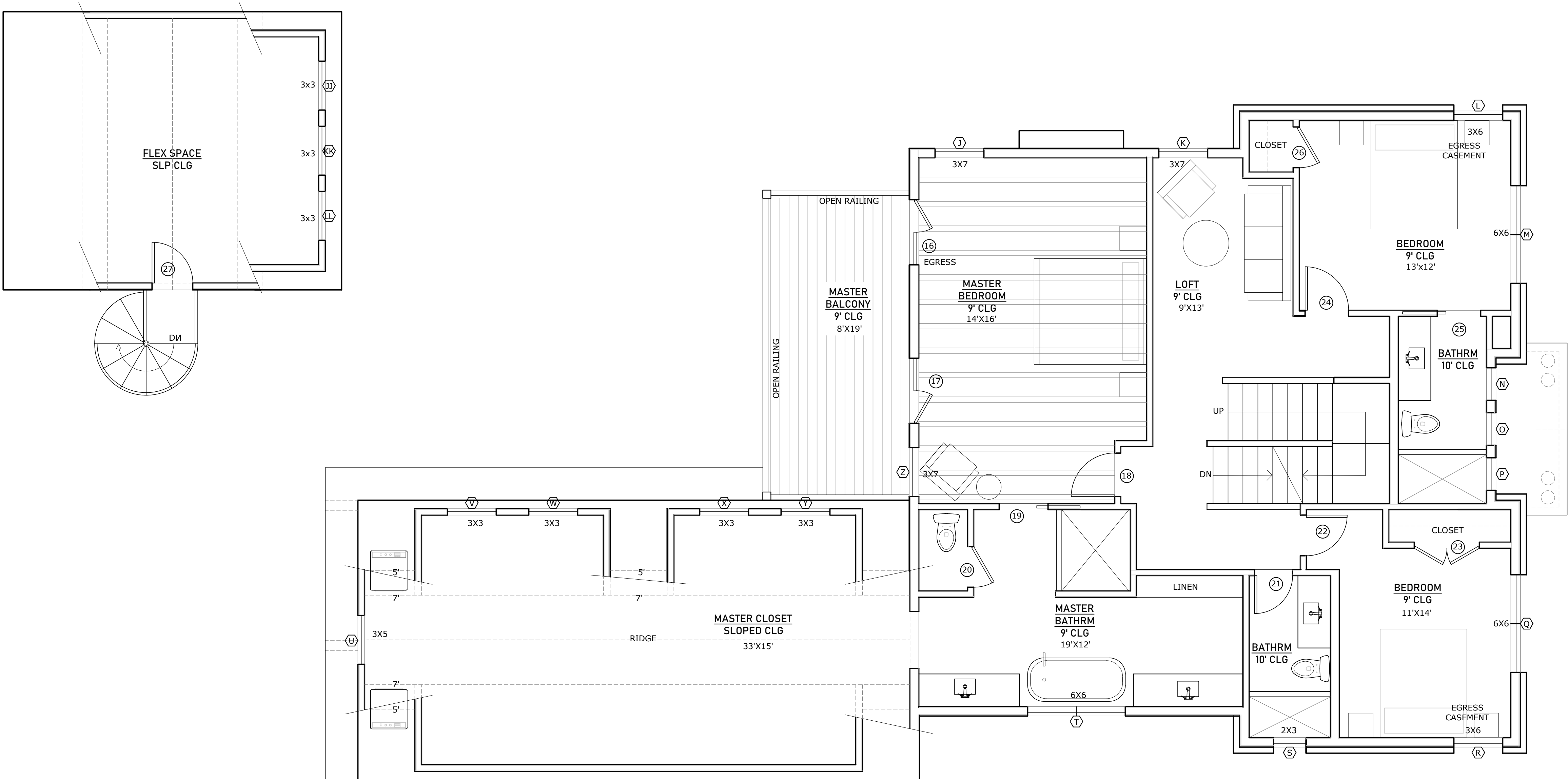
1. All walls to be 2x4; plumbing walls to be 2x6; insulate exterior walls, R-19 min.
2. All doors to be 96" height
3. 5/8" gypsum board throughout
4. Green board in showers and wet areas
5. Shoot all plates w/ 2x Ramset w/in 6" of cut

Plan Notes

1. All egress windows and doors to comply with 2021 IRC R310.1, R311.2, R312.2
2. Stairs, handrails, and guardrails to comply with 2021 IRC R311.5.1, R311.7, R312.1
3. First floor of new construction with any living space to comply with all visitability standards under city code section 25-12-243, R320. Visitability items are referenced on floor plans

Legend

- Smoke detector installed in accordance with IRC 2021 R314
- Carbon monoxide detector installed in accordance with IRC 2021 R315



01 Second Floor Plan
1/4" = 1'-0" @ 22x34
1/8" = 1'-0" @ 11x17

PROJECT

2521 HARRIS

OWNER

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SHEET TITLE

2ND FLOOR PLAN

SHEET NUMBER

A2.1

General Notes

1.
- All walls to be 2x4; plumbing walls to be 2x6; insulate exterior walls, R-19 min.
2.
- All doors to be 96" height
3.
- 5⁄8" gypsum board throughout
4.
- Green board in showers and wet areas
5.
- Shoot all plates w/ 2x Ramset w/in 6" of cut

Plan Notes

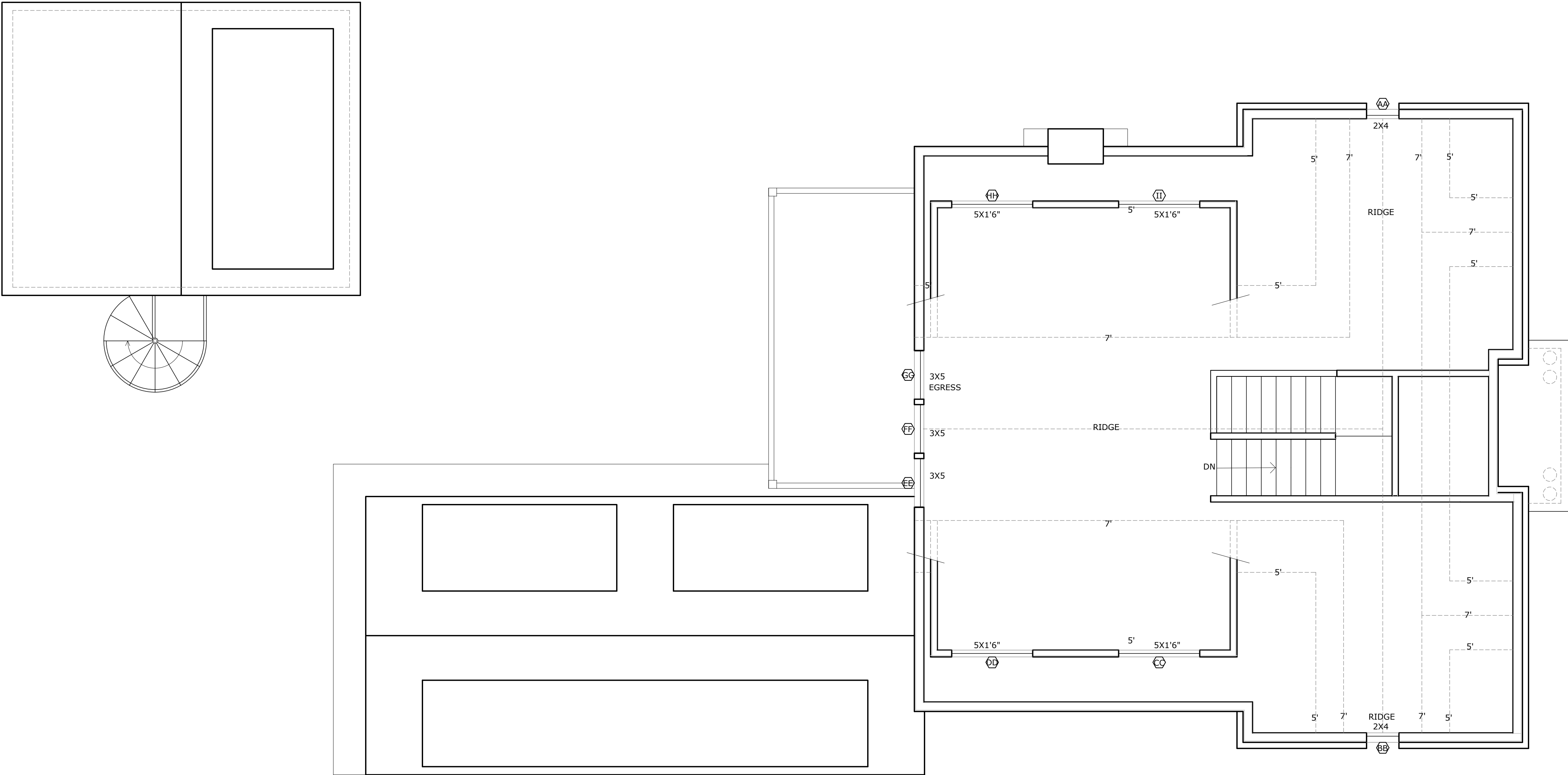
1.
- All egress windows and doors to comply with 2021 IRC R310.1, R311.2, R312.2
2.
- Stairs, handrails, and guardrails to comply with 2021 IRC R311.5.1, R311.7, R312.1
3.
- First floor of new construction with any living space to comply with all visitability standards under city code section 25-12-243, R320. Visitability items are referenced on floor plans

Legend

- S

Smoke detector installed in accordance with IRC 2021 R314
- CM

Carbon monoxide detector installed in accordance with IRC 2021 R315



01 ATTIC Plan
1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17

PROJECT

2521 HARRIS

OWNER

GREATER AUSTIN BUILDERS

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SHEET TITLE

ATTIC PLAN

SHEET NUMBER

A2.2

General Notes

1.
- All walls to be 2x4; plumbing walls to be 2x6; insulate exterior walls, R-19 min.
2.
- All doors to be 96" height
3.
- $\frac{5}{8}$ " gypsum board throughout
4.
- Green board in showers and wet areas
5.
- Shoot all plates w/ 2x Ramset w/in 6" of cut

Plan Notes

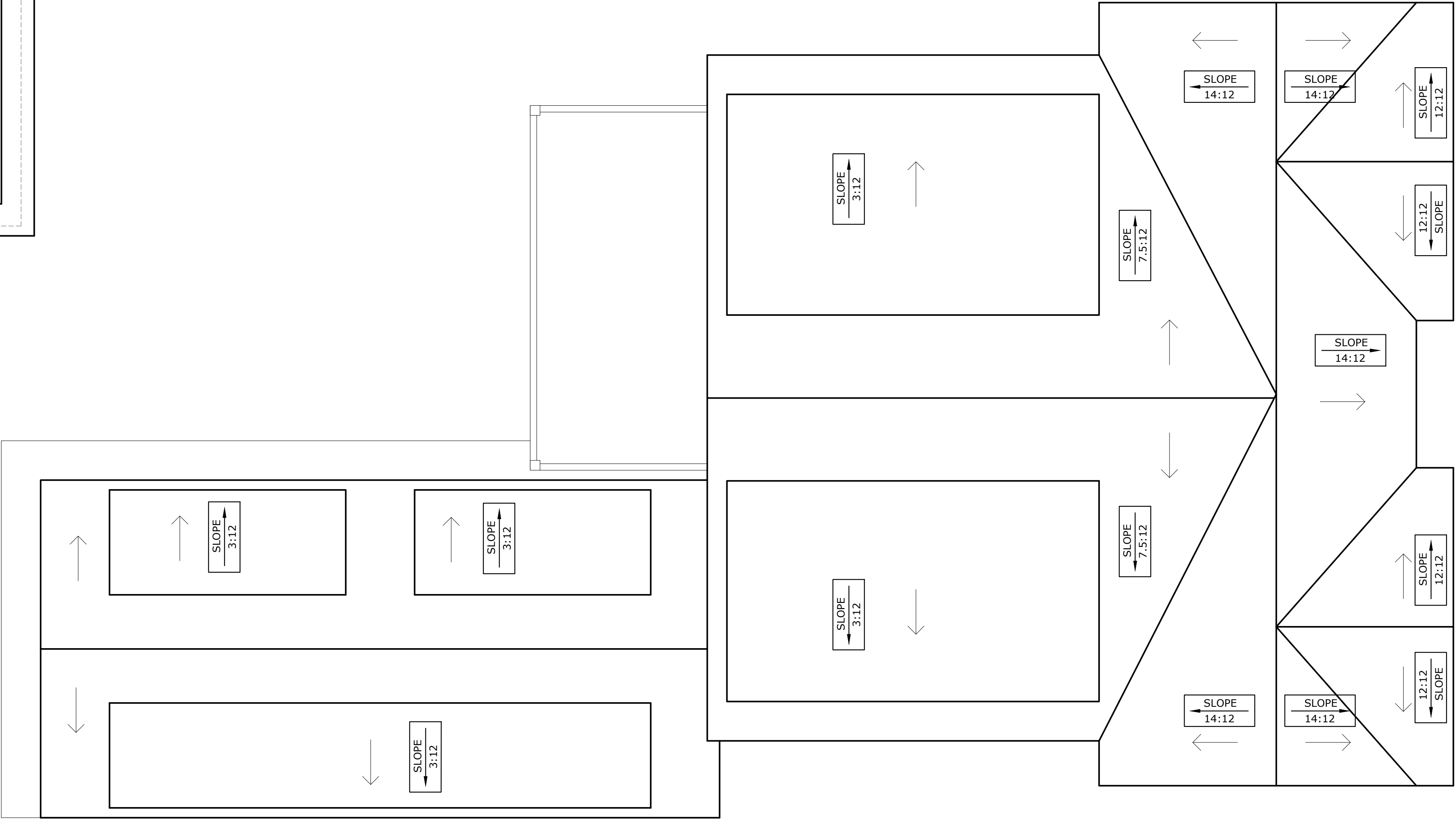
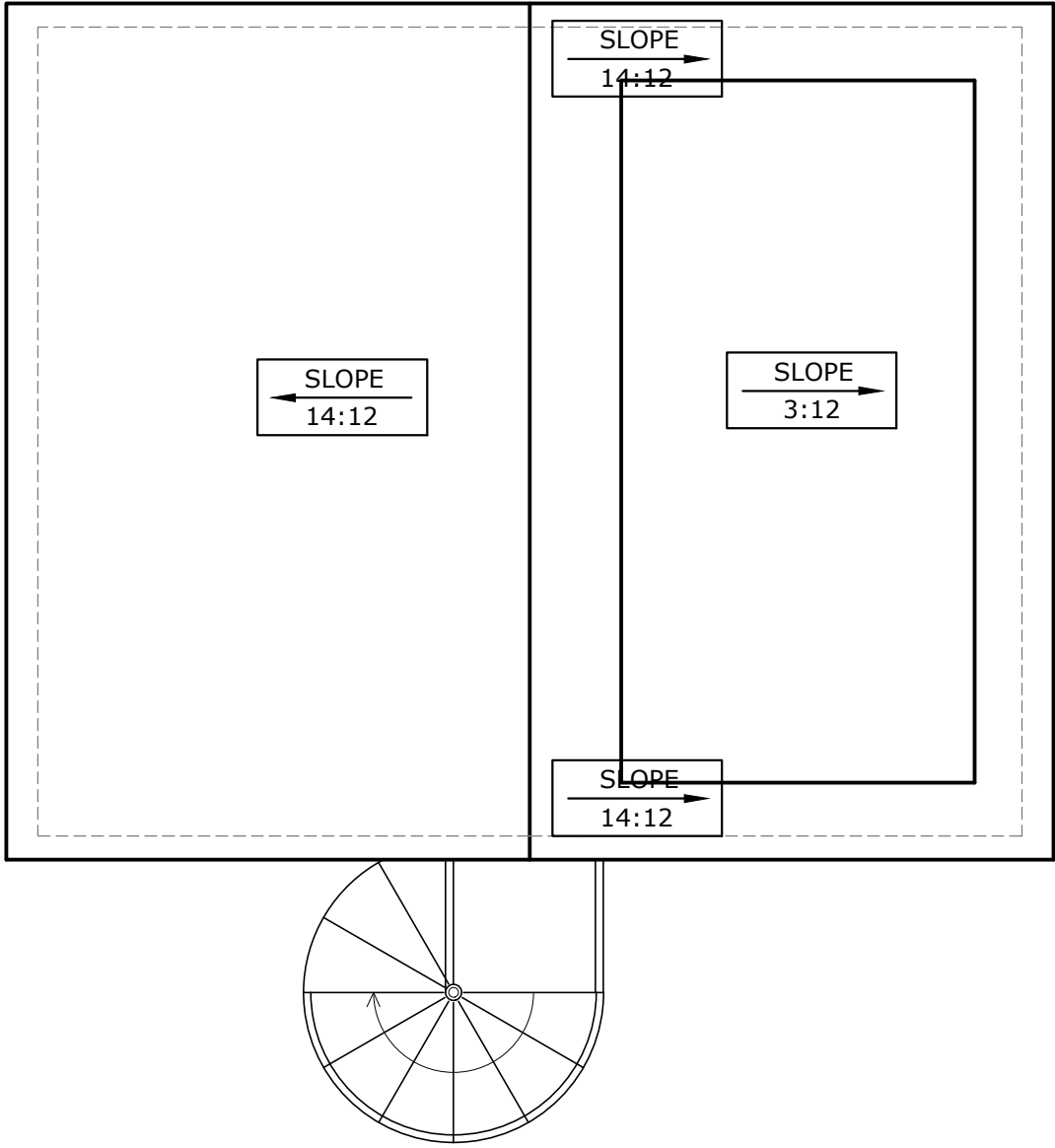
1.
- All egress windows and doors to comply with 2021 IRC R310.1, R311.2, R312.2
2.
- Stairs, handrails, and guardrails to comply with 2021 IRC R311.5.1, R311.7, R312.1
3.
- First floor of new construction with any living space to comply with all visitability standards under city code section 25-12-243, R320. Visitability items are referenced on floor plans

Legend

- S

Smoke detector installed in accordance with IRC 2021 R314
- CM

Carbon monoxide detector installed in accordance with IRC 2021 R315



01 Roof Plan
1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17

PROJECT

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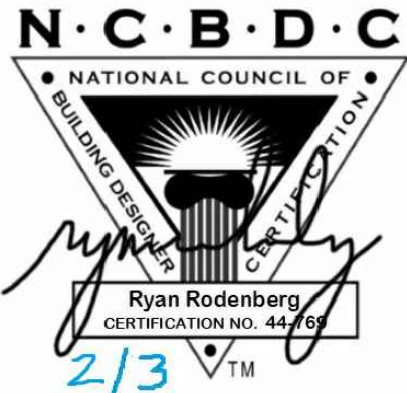
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SHEET TITLE

ROOF PLAN

SHEET NUMBER

A2.3

PLEASE COORDINATE ALL WINDOWS
AND DOORS WITH SCHEDULES ON
A0.2



02 FRONT Elevation
1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17



01 LEFT Side
1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17

PROJECT

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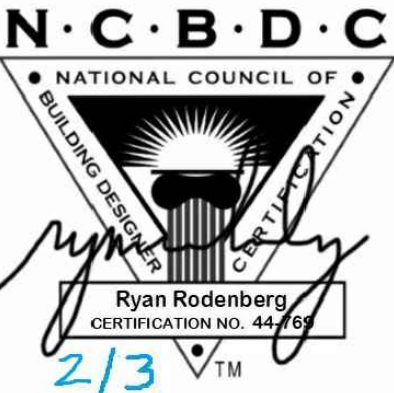
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SHEET TITLE

PRIMARY RESIDENCE
ELEVATIONS

SHEET NUMBER

A3.0

PLEASE COORDINATE ALL WINDOWS
AND DOORS WITH SCHEDULES ON
A0.2



PROJECT

2521 HARRIS

OWNER

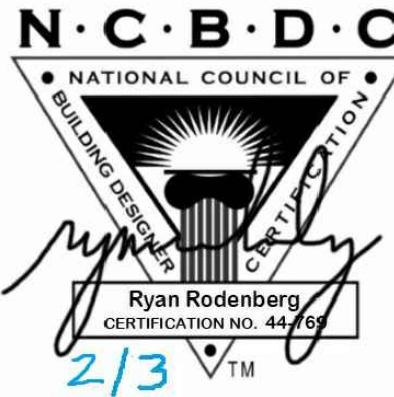
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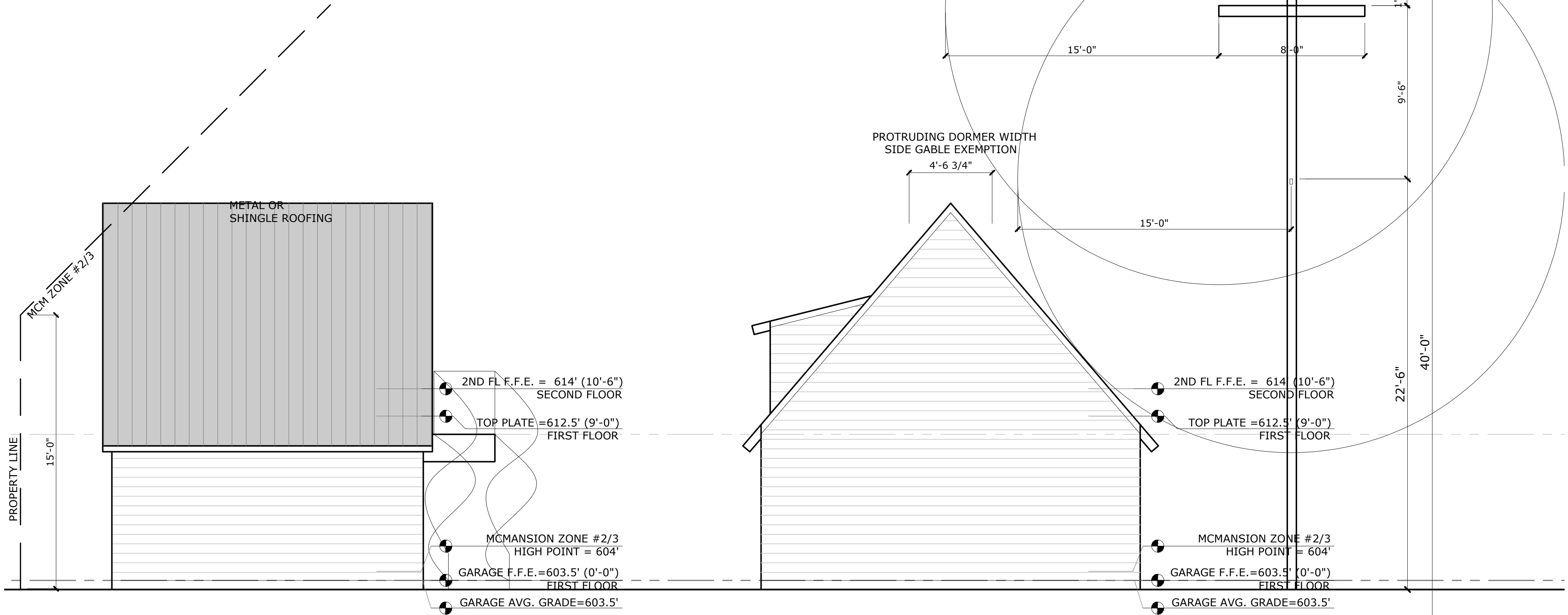
SHEET TITLE

PRIMARY RESIDENCE
ELEVATIONS

SHEET NUMBER

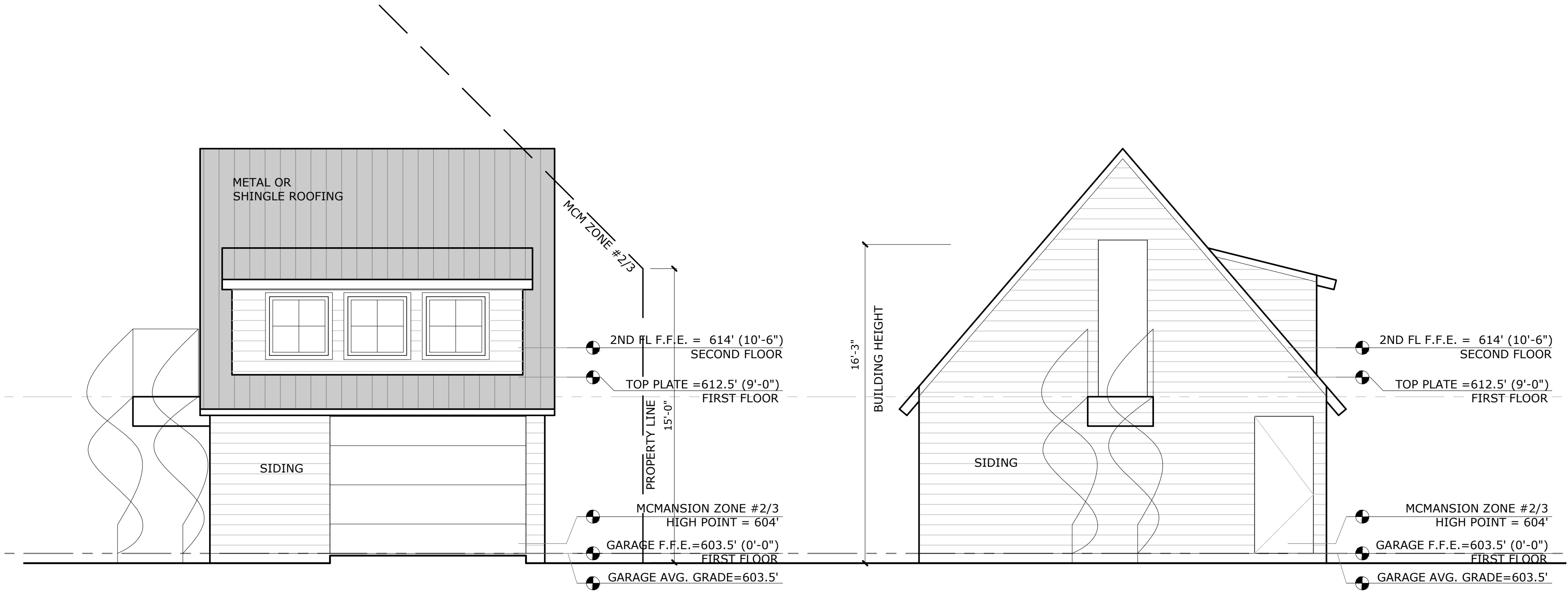
A3.1

PLEASE COORDINATE ALL WINDOWS
AND DOORS WITH SCHEDULES ON
A0.2



01 REAR Elevation
1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17

02 LEFT Elevation
1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17



03 FRONT Elevation
1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17

04 RIGHT Elevation
1/4" = 1'-0" @ 22x34 1/8" = 1'-0" @ 11x17

PROJECT

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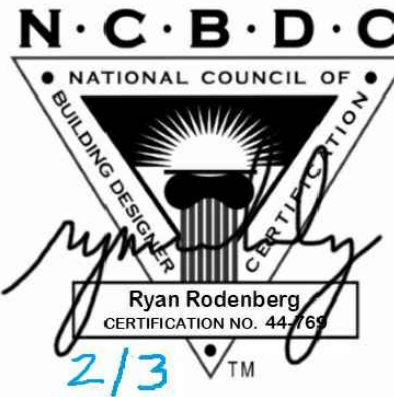
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SHEET TITLE

PRIMARY RESIDENCE
ELEVATIONS

SHEET NUMBER

A3.2