



Residential New Construction and Addition Permit Application

DevelopmentATX.com | Phone: 311 (or 512 974 2000 outside Austin) For
submittal and fee information, see austintexas.gov/digitaldevelopment

Download the application before entering information.

Property Information	
Project Address:	
Legal Description:	
Zoning District:	Lot Area (sq ft):
Neighborhood Plan Area (if applicable):	Historic District (if applicable):
Required Reviews	
Is the project participating in S.M.A.R.T. Housing ? Y N (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	Does the project have a Green Building requirement? Y N (If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone ? Y N (If yes, approval through Aviation is required)	Does this site have a septic system ? Y N (If yes, submit a copy of the approved septic permit. OSSF review required)
Does the structure exceed 3,600 square feet total under the roof? Y N (If yes, Fire review is required)	
Is this property within 200 feet of a hazardous pipeline ? Y N (If yes, Fire review is required)	
Is this structure within the WUI ? (Wildland Urban Interface) Y N (If yes, Fire review is required)	
Will a NFPA 13D automatic sprinkler system be installed? Y N (If yes, Fire review is required)	
Is this site located within an Erosion Hazard Zone ? Y N (If yes, EHZ review is required)	Is this property within 100 feet of the 100-year floodplain ? Y N (Proximity to floodplain may require additional review time.)
Are there trees 19" or greater in diameter on/adjacent to the property? Y N If yes, how many? (Provide plans with a tree survey, tree review required)	Was there a pre-development consultation for the Tree Review? Y N Proposed impacts to trees: (Check all that apply) Root zone Canopy Removal None/Uncertain
Is this project requesting modification or Alternate Method of Compliance (AMOC)? Y N	Is this a single-family unit within the boundary established by the Residential Design and Compatibility Standards , as defined in the Land Development Code (hereafter "LDC") Chapter 25-2, Subchapter F § 1.2.1? Y N
Does this site currently have: water availability? Y N wastewater availability? Y N	(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)
Does this site have, or will it have an auxiliary water source? Y N (If yes, submit approved auxiliary and potable plumbing plans.) (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill or a retaining wall in excess of 4 feet? Y N (If yes, contact Land Development Information Services for a Site Plan Exemption)	
Is this site within the Waterfront Overlay? Y N (LDC 25-2, Subchapter C, Article 3)	Is this site within the Lake Austin Overlay? Y N (LDC § 25-2-180)
Does this site front a paved street? Y N (If no, contact Land Development Information Services for Site Plan requirements.)	Is this site adjacent to a paved alley? Y N (Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y N Case # _____ (if applicable) (If yes, provide a copy of the decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	
Description of Work	
Is Total New/Added Building Area > 5,000 sq. Ft.? Y N (If yes, construction material recycling is required per LDC §25-11-39)	
Existing Use:	vacant single-family residential duplex residential two-unit residential three-unit residential other: _____
Proposed Use:	vacant single-family residential duplex residential two-unit residential three-unit residential other: _____
Project Type:	new construction addition addition/remodel other: _____

Is this structure 45 years or older per records of the Travis Central Appraisal District (TCAD), contributing to a National Register historic district, or zoned H for historic landmarks or HD for properties in locally designated historic districts? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Historic review required: Provide photos of each side of structure. One photo must show the entire elevation visible from the street. Photos must be two megapixels (1200 x 1600 pixels) or larger.									
Will greater than 50% of exterior walls be demolished? Y* <input checked="" type="checkbox"/> N *If yes, submit a Demolition application in addition to this permit application. Greater than 50% of exterior walls demolished will require compliance with the Demolition Notification requirements (Ordinance 20201001-040).									
# existing bedrooms: 2		# bedrooms upon completion: 4		# baths existing: 1.0		# baths upon completion: 4.0			
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) Complete remodel of main floor. Add 2nd level living space.									
Trades Permits Required (Check as applicable): <input checked="" type="checkbox"/> electric <input checked="" type="checkbox"/> plumbing* <input checked="" type="checkbox"/> mechanical (HVAC) <input type="checkbox"/> concrete (R.O.W.) *For projects with a proposed pool, will the pool have an autofill or heating system? Y <input type="checkbox"/> N (If yes, this will trigger a plumbing permit)									
Total Remodeled Floor Area (if applicable)									
_____ 1,191 sq ft. (work within existing habitable square footage)									
Job Valuation – For Properties in a Floodplain Only									
Total Job Valuation: \$ _____ 65,000					Amount for Dwelling Unit(s): \$ _____ 65,000 Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N				
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.					Amount for Accessory Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N				
Site Development Information									
Area Description Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Existing sq. ft. to Remain		New/Added sq. ft.			Total sq. ft.			
	Bldg. 1	Bldg. 2	Bldg. 1	Bldg. 2	Bldg. 3	Bldg. 1	Bldg. 2	Bldg. 3	
a) 1 st Floor conditioned area	1,191.00					1,191.00	0.00	0.00	
b) 2 nd Floor conditioned area			1,009.00			1,009.00	0.00	0.00	
c) 3 rd Floor conditioned area						0.00	0.00	0.00	
d) Basement						0.00	0.00	0.00	
e) Covered parking (garage or carport)						0.00	0.00	0.00	
f) Covered patio, deck, and/or porch	104.00					104.00	0.00	0.00	
g) Balcony						104.00	0.00	0.00	
h) Other covered or roofed area						0.00	0.00	0.00	
i) Uncovered wood decks	67.00					67.00	0.00	0.00	
Total Building Area (total a through i)	1,362.00	0.00	1,009.00	0.00	0.00	2,371.00	0.00	0.00	
j) Pool						0.00	0.00	0.00	
k) Spa						0.00	0.00	0.00	
l) Remodeled Floor Area, excluding Addition / New Construction						0.00	0.00	0.00	
The Calculation Aid on page 9 is to be used to complete the following calculations and to provide additional information.									
Building Coverage Information									
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC § 25-1-21)									
Total Building Coverage (sq ft): <u>1,223.00</u> % of lot size: <u>22.00</u>									
Impervious Cover Information									
Note: Impervious cover is the total horizontal area of covered spaces including building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC § 25-1-23)									
Total Impervious Cover (sq ft): <u>2,117.00</u> % of lot size: <u>38.00</u>									

Setbacks

Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC § 25-2-492) ☒ Y ☐ N
 Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y ☒ N
 Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, § 2.3* or § 25-2-778) Y ☒ N

Height Information (LDC § 25-1-21 or 25-2 Subchapter F, Section 3.4)**Parking #** of spaces provided: 2Building Height: 29 ft 9 in Number of Floors: 2**Right-of-Way Information**Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y ☒ N

*Sidewalks are to be installed on any new construction of a single family, two-unit, three-unit or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y ☒ N

Width of approach (measured at property line): _____ ft Distance from intersection (for corner lots only): _____ ft

Are storm sewer inlets located within ten (10) feet of the end of any proposed driveway? Y ☒ N

(New driveways within ten (10) feet of an inlet with require additional review)

Requirements Applicable within the Subchapter F Boundary (LDC Chapter 25-2, Subchapter F § 1.2.1)**Single-Family Residential | Gross Floor Area**

This section is only required for single-family residential projects located within the boundaries defined and illustrated in LDC Chapter 25-2, Subchapter F (§ 1.2.1). The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing sq. ft. to remain	New/Added sq. ft.	Proposed Exemption (check article utilized)	Applied Exemption sq. ft.	Total sq. ft.
1 st Floor	1,191.00				1,191.00
2 nd Floor		1,009.00			1,009.00
3 rd Floor					0.00
Area w/ ceilings > 15'			Must follow article 3.3.5		0.00
Ground Floor Porch ¹ (check article utilized)	104.00		<input checked="" type="checkbox"/> Full Porch sq. ft. (3.3.3.A) <input type="checkbox"/> 200 sq. ft. (3.3.3 A 2)	104.00	0.00
Basement ⁴			Must follow article 3.3.3B, see note below		0.00
Attic ⁵			Must follow article 3.3.3C, see note below		0.00
Garage ² (check article utilized)	Attached		<input type="checkbox"/> 200 sq. ft. (3.3.2 B 1)		0.00
	Detached		<input type="checkbox"/> 450 sq. ft. (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq. ft. (3.3.2 B 2a / 2b)		0.00
Carport ² : (check article utilized)	Attached		<input type="checkbox"/> 450 sq. ft. (3.3.2 A 3) <input type="checkbox"/> 200 sq. ft. (3.3.2 B 1) ³		0.00
	Detached		<input type="checkbox"/> 450 sq. ft. (3.3.2 A 1)		0.00
Accessory Building(s) (detached)					0.00
Totals	1,295.00	1,009.00	TOTAL GROSS FLOOR AREA		2,200.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 2,200.00 Floor-To-Area Ratio (FAR)Is a sidewall articulation required for this project? Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? ☒ Y ☐ N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

Single-Family Residential | Gross-Floor Area Exemptions

The following exemptions apply to the calculation of gross-floor area for single-family residential structures located within the boundaries established in LDC Chapter 25-2, Subchapter F, § 1.2.1) ONLY:

- 1. Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.
- 2. Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."
- 3. Ordinance article 3.3.2 B 1** is 200 sq. ft. exemption may be combined with a 450 sq. ft. exemption. Otherwise only one 450 exemption or one 200 sq. ft. exemption may be taken.
- 4. Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.
- 5. Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area over 5 feet has a ceiling height of seven feet or less.

Requirements Applicable to Duplexes, Two-Unit Residential, and Three-Unit Residential**Duplexes, Two-Unit Residential, and Three-Unit Residential | Gross Floor Area**

This section is only required for residential duplex, two-unit residential, and three-unit residential projects located within the boundaries established in LDC Chapter 25-2, Subchapter F § 1.2.1 . Per LDC § 25-2-773(E), Gross Floor Area for these uses is the total enclosed area of all floors in a building with a clear height of more than six feet, measured to the outside surface of the exterior walls.

(Total Gross Floor Area ÷ Lot Area) x 100 = _____ (A) Floor-To-Area Ratio (FAR) for **Building 1**
(Total Gross Floor Area ÷ Lot Area) x 100 = _____ (B) Floor-To-Area Ratio (FAR) for **Building 2**
(Total Gross Floor Area ÷ Lot Area) x 100 = _____ (C) Floor-To-Area Ratio (FAR) for **Building 3** (if applicable)
(Total Gross Floor Area ÷ Lot Area) x 100 = _____ (A+B+C) Floor-To-Area Ratio (FAR) for **entire site**
(Total Gross Floor Area ÷ Lot Area) x 100 = _____ (A+B) Floor-To-Area Ratio (FAR) for **Buildings 1 & 2**
(Total Gross Floor Area ÷ Lot Area) x 100 = _____ (A+C) Floor-To-Area Ratio (FAR) for **Buildings 1 & 3** (if applicable)
(Total Gross Floor Area ÷ Lot Area) x 100 = _____ (B+C) Floor-To-Area Ratio (FAR) for **Buildings 2 & 3** (if applicable)

Duplexes, Two-Unit Residential, and Three-Unit Residential | Gross Floor Area Exemptions

Per LDC § 25-2-773(F), exemptions from Gross Floor Area may be available where existing structures are preserved through use of the Preservation Bonus. Please consult with staff for information on requirements and eligibility for using the Preservation Bonus.

Are you requesting to utilize the Preservation Bonus? Y* N

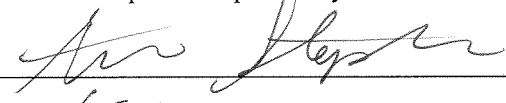
*Gross Floor Area proposed for Preservation, which must have been legally permitted at least 20 years prior to the date of application:

Contact Information

Owner	Adam Stephens	Applicant/Agent	same
Mailing Address	805 W 29th St, Austin, TX 78705	Mailing Address	
Phone	(512) 689-7650	Phone	
Email	[REDACTED]	Email	
General Contractor	same	Design Professional	Hammer Design
Mailing Address		Mailing Address	3208 S. 5th, Austin, 78704
Phone		Phone	(512) 626-2662
Email		Email	[REDACTED]

Authorization

- ☒ I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license.
- ☒ I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that the customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction. Water services, meters, and wastewater cleanouts are not permitted within or beneath driveways or sidewalks. Private plumbing appurtenances will not be located in public right-of-way or public easements. Private plumbing lines will not cross lot lines.
- ☒ **I agree that this application is good for twelve (12) months after the date it is filed and will expire if not approved for compliance within that time frame. If the application expires, a new submittal will be required and compliance with the current code may be required. A one-time extension may be granted if requested in writing prior to the application expiration date.**
- ☒ I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate. I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license. As the owner or the authorized agent, my signature authorizes staff to visit and inspect the property for which this application is being submitted. I understand that without consent the review process may be delayed.
- ☒ I also understand that if there is a septic system located on the property, I am required to complete an On-site Sewage Facility (a.k.a. an OSSF or septic system) application by contacting Austin Water at (512) 972-0050 or ossf@austintexas.gov. This initiates the septic system permitting requirement needed to proceed with the development review process.
- ☒ **Erosion and Sedimentation Controls are required per Section 25-8-181 of the LDC. Failure to comply with this requirement may result in a Stop Work Order and/or legal action by the City of Austin including criminal charges and fines of up to \$2,000.00 per day.**
- ☒ I am the record owner of this property and authorize the agent/applicant listed above to apply for and acquire a permit on my behalf.
- ☒ I have checked for any property-specific information that may affect the review and/or construction of this project, including but not limited to: any subdivision notes, deed restrictions, restrictive covenants, zoning conditional overlays, and/or other requirements specific to proposed development on this property (collectively, the "Property Information"), located at: 801 W 29th.
- ☒ I understand that the review of this project by the City of Austin will not include a review of any private restrictive covenants or deed restrictions that may apply to this property.
- ☒ I am responsible for any conflicts between the Property Information and the request submitted to the City of Austin. I further acknowledge that I understand the implications of use and/or development restrictions that are a result of the Property Information. Additionally, I understand that the issuance of a City permit for this project does not affect the enforceability of any private restrictive covenants applicable to the property.
- ☒ I understand that if requested I must provide copies of any and all of the Property Information that may apply to this property.

Owner's name & signature:  Date: 3/7/24

Applicant's name & signature: SELF Date: _____

Design Professional's name & signature: MIKE HALE Date: 3/7/24

General Contractor's name & signature: SELF Date: _____



Residential New Construction and Addition Permit Application Additional Information

DevelopmentATX.com | Phone: 311 (or 512 974 2000 outside Austin)
 For submittal and fee information, see austintexas.gov/digitaldevelopment

Application Process

For instructions of digital submissions, please visit Digital Development:

- ☐ Completed application
- ☐ Permit exhibits
- ☐ [Austin Energy Building Service Plan Application \(BSPA\)](#)
 Note: AE will review the BSPA concurrent with Plan Review. Please note per the fee schedule a BSPA review fee will be assessed per each submittal.
- ☐ [Austin Water W&WW Service Plan Verification](#), if water demand is to increase or a dwelling is added. (e.g. addition of a bath)
 Note: The AW form and the plot plan must be stamped approved by AW prior to submittal. Please submit WWWSVP by email to awtaps@austintexas.gov.
- ☐ Required documentation if any portion of an exterior wall or roof is to be removed or modified for structures that are 45 years of age or older per records of the Travis Central Appraisal District (TCAD), contributing to a National Register historic district, or zoned historic (H zoning for historic landmarks or HD zoning for properties in locally designated historic districts). If submitting for a total demolition for new construction, demolition application must be submitted separately.

All drawings must be to a City of Austin verifiable scale, see [Building Criteria Manual](#) for additional details and a list of acceptable scales.

Check for expired permits. If there are expired permits associated with this property, they must be resolved. This can be done in the following ways:

Submit an Acknowledgement of Expired Permits form with this application if the work is not related to the work being permitted. OR Include it in the description of work on this application and reference expired permits to be resolved

If the Acknowledgement of Expired Permits form is used for this project, information about what will be required to resolve the expired permit(s) can be obtained by making an appointment with Residential Review staff.

All new construction must comply with the [Visitability Ordinance](#).

For submittal and additional information, go to the [Residential Plan Review Website](#).

About the Review Disciplines

Technical Review

Any permit exhibits not sealed and signed by a Texas-registered architect or certified building designer will be subject to a limited technical review. The technical review is not intended to be exhaustive of all possible building code requirements.

Erosion Hazard

There is a review of structural design if a property is located in the Erosion Hazard Zone, as defined by the boundaries located on the City of Austin GIS map. These zones align with locations where water flow and watershed could lead to erosion damage of the surrounding land features (e.g. creeks, stream beds, etc).

Fire Review

There is additional review of a project if the square footage of a structure exceeds 3,600 square feet in area. The 3,600 sq. ft. includes the total gross building area: all first, second, and additional floor areas; attached covered porches, patios, decks, and balconies; attached garages; and any other attached roofed areas. The review ensures adequate proximity to fire hydrants and sufficient water supply to the hydrants based on the total gross area of the structure. Properties within 200 feet of a hazardous pipeline may also require additional review. Projects within the Wildland Urban Interface will require a fire review. Projects that will have NFPA 13D automatic sprinkler system installed will require a fire review.

Floodplain Review

Any work requiring a permit on property located within 100 feet of the 100-Year floodplain will require additional review. If review is anticipated, include supporting information such as FEMA elevation certificate form 086-0-033 and/or topographic surveys referencing NAVD88. To check your property for proximity to a flood plain visit www.ATXFloodPro.com or the City's [Floodplain Development Information](#) website.

Historic Review

There is additional review of exterior changes if property is a City Landmark or located in a Local Historic District, National Register Historic District, H or HD zoned district, or partial demolition of exterior features on property over 45 years old

Tree Review

All design proposals must abide by the Tree Preservation Criteria set forth in Section 3.5.2 of the City of Austin's Environmental Criteria Manual. Cut and fill is limited to 4" within ½ Critical Root Zones (foundations cannot adhere to this), canopy removal is limited to 25% or less per tree, and 50% or more of the full Critical Root Zone must be kept at natural grade with natural ground cover. If proposing to remove a tree that is dead, diseased or an imminent hazard, please provide a Tree Risk Assessment from a Certified Arborist and/or photographic evidence.

Austin Energy Review

All overhead and underground electrical facilities need to be clearly shown and labeled on the plot plan including: pad mount transformer and pad, pull boxes, all underground electric wires on site including service wire, utility poles, all overhead wires on subject property and adjacent properties including service wires, down guy wires, existing electric meter location. All electric easements and public utility easements need to be shown and labeled on the plot plan. AE will review based on current Austin Energy Design Criteria for required safety clearance per section 1.10. Any construction not listed in this application will NOT be considered part of the review. Please note if your project has existing transmission facilities and or transmission easements this BSPA and plot plan will be reviewed by our AE Transmission group. The Transmission review is separate from the Distribution review. The Transmission review group may require additional documentation than the Distribution review.

Documentation Explanations and Definitions

Permit Exhibits

Plot Plan

Plot Plans must be drawn to a standard scale and are to include but are not limited to the following items: property address and legal description, north arrow, drawing scale, trees within the ROW or trees equal to or greater than 19 inches in diameter located on the property and immediately adjacent to the property, property lines, building lines for both existing and proposed improvements, easements, required zoning setbacks and roof overhangs, water meter and wastewater cleanout locations, clearly shown all overhead and underground electrical facilities (see Austin Energy Review Discipline), and water and/or wastewater line size and material.

Floorplan(s)

Floorplans must be drawn to a standard scale and are to include (but are not limited to) the following items: drawing scale, room labels, new wall measurements, new ceiling heights, new door and window schedule, smoke detector* and carbon monoxide detector** specifications and locations, dimensioned locations of new plumbing fixtures, handrail/guardrail locations and room square footages. Please provide an Existing and Proposed Floor plan if part of the improvements includes removing or adding any wall, window, door, plumbing fixtures, etc. Clearly differentiate between existing, demolished, and new items, as applicable.

*provide smoke detector system (hardwired, interconnected, battery back-up) at each sleeping room and vicinity in accordance with IRC R314

**provide carbon monoxide detector in immediate vicinity of sleeping rooms in accordance with IRC R315.

Exterior Elevations

Elevation plans must be drawn to a standard scale and are to include front, rear, and sides of the structure. For additions, elevations are required of all sides of the new portion of the structure. Height dimensions are required on all elevations. If a building height exceeds 20' or building is multi-story include dimensions of high, low, and average elevations at grade.

Setback Plane Compliance Plan

If subject to Subchapter F, separate exhibit must be submitted showing topographic elevations on 1-foot intervals on the property, including the top of foundation spot elevation and intersections of the property boundary with the building line segments per Subchapter F, Section 2.6. All topographic information must be prepared and sealed by a Texas-registered professional land surveyor.

Structural Drawing(s)

Foundation plan of sufficient detail to show conformance to the provisions of the currently adopted IRC including but not limited to:

- 1) size, spacing and strength of reinforcing steel
- 2) foundation requirements for braced wall panels required in braced wall plan.

Wall and floor/ceiling/roof sections and details, framing plans and/or framing design information as follows:

General – lumber size, grade, species and spacing of all wood elements.

Wood framed floors – spans and intermediate girders.

Wood framed walls – wall type (e.g. 2x4's @ 16 in. o.c.), wall height, headers.

Wood Framed roofs – roof framing plan to include rafters and girders as a minimum.

Brace wall plan showing compliance with the currently adopted IRC. The plan shall clearly indicate the braced wall lines and the braced wall method use for compliance to expedite review.

Additional Requirements

Non-complying Structures (applicable to all work types)

A separate exhibit must be submitted showing the existing building footprint location in relation to the property boundaries and required

setbacks. Exterior walls and supporting structural elements must be clearly labeled and dimensioned showing walls to be removed per Land Development Code Section 25-2-963.

Setback Averaging

If using setback averaging, one copy of the Contextual Site Plan showing four adjacent properties with location of existing buildings and existing front yard setbacks identified for front yard setback averaging per the provisions of Subchapter F, Residential Design and Compatibility Standards, Section 2.3.

Surveys must be provided by a Texas-registered professional land surveyor showing existing buildings and their distance from the front lot line.

Design Professionals

For any project exceeding 20 feet in height or more than one-story within the Subchapter F boundaries, all permit exhibits must be sealed and signed by a Texas-registered architect or certified building designer (National Council of Building Designers or Texas Institute of Building Design).

Localized flooding

If there is a storm drain inlet or pipe, drainage ditch, or drainage easement on or near the property or the property is at the low point of a roadway, there may be a chance of flooding from the local drainage system. The proposed development cannot cause additional flooding on other property nor have an adverse impact on the existing local drainage system. Contact Land Development Information Services for more information.

Tree Survey

Provide a tree survey per ECM 3.3.2 that labels the ¼, ½ and full Critical Root Zones and provides the diameter and species of each protected tree (a Tree Legend is recommended). Depict proposed access routes and material staging. Show all proposed and existing utilities. Show specific locations of tree protection fencing and mulching per requirements of ECM 3.5.2.

Calculation Aid

Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.			
a) 1 st floor conditioned area	1,191.00	0.00	1,191.00
b) 2 nd floor conditioned area	0.00	1,009.00	1,009.00
c) 3 rd floor conditioned area	0.00	0.00	0.00
d) Basement	0.00	0.00	0.00
e) Attached Covered Parking (garage or carport)			0.00
f) Detached Covered Parking (garage or carport)			0.00
g) Covered Wood Decks (counted at 100%)			0.00
h) Covered Patio			0.00
i) Covered Porch	32.00		32.00
j) Balcony	72.00		72.00
k) Other – Specify:			0.00
Total Building Area (TBA) (add: a through k)	1,295.00	1,009.00	2,304.00
Total Building Coverage (TBC) (from TBA subtract, if applicable: b, c, d, and j)	(A) 1,223.00	0.00	(B) 1,223.00
l) Driveway	700.00		700.00
m) Sidewalks			0.00
n) Uncovered Patio	194.00		194.00
o) Uncovered Wood Decks (counted at 50%)			0.00
p) AC pads and other concrete flatwork			0.00
q) Other (Pool Coping, Retaining Walls)			0.00
Total Site Impervious Coverage (add: TBC and l through q)	(C) 2,117.00	0.00	(D) 2,117.00
r) Pool			0.00
s) Spa			0.00

Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Lot Area (sq. ft.): 5,625.00

Existing Building Coverage (see above A, sq. ft.): 1,223.00

Existing Coverage % of lot (A ÷ Lot Area) x 100 : 22.00 %

Final Building Coverage (see above B, sq. ft.): 1,223.00

Final Coverage % of lot (B ÷ Lot Area) x 100 : 22.00 %

Impervious Cover Information

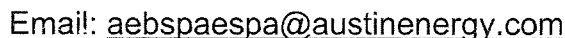
Note: Impervious cover is the total horizontal area of covered spaces including all building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

Existing Impervious Coverage (see above C, sq. ft.): 2,117.00

Existing coverage % of lot (C ÷ Lot Area) x 100 : 38.00 %

Final Impervious Coverage (see above D, sq. ft.): 2,117.00

Final coverage % of lot (D ÷ Lot Area) x 100 : 38.00 %

☐ Design required*

*If AE Design is required, all construction for AE facilities must be complete and shown on the plot plan in place to meet all clearance requirements. This form must have Designer name, Design WR# in "Scope of work".

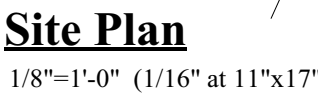
This review DOES NOT include the electric service location or routing.

Who is your electrical provider? ☒ AE ☐ Other:

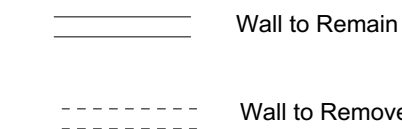
Scope of work: remodel of existing home, enclosing second floor with addition to rear

Date _____

AE Representative Use Only



1/8"=1'-0" (1/16" at 11"x17'



Demolition Plan

1/4"=1'-0" (1/8"=1'-0" at 11"x17")

SHEET INDEX	
A-1.0	SITE PLAN / DEMOLITION PLAN
A-2.0	<i>Not Used</i>
A-3.0	FLOOR PLANS
A-4.0	TENT DIAGRAMS
A-5.0	BUILDING SECTIONS
S0.0	STRUCTURAL NOTES
S0.1	STRUCTURAL NOTES
S1.0	FOUNDATION PLAN
S2.0	MAIN FLOOR FRAMING PLAN
S2.1	2nd FLOOR FRAMING PLAN
S2.2	ROOF FRAMING PLAN
S2.3	2nd FLOOR BRACED WALL PLAN
S3.0	FOUNDATION DETAILS
S3.1	FOUNDATION DETAILS
S4.0	FRAMING DETAILS
S4.1	FRAMING DETAILS

PROJECT INFORMATION





Address:
801 West 29th Street
Austin, Texas 78704

Legal:
East 83 Feet of Lot 6 (Less North 6 Feet)
Block "4", James Byrne's Subdivision
Out of Outlot 69, Division D
Vol. 3; Page 72 of the Travis
County Deed Records

Zoning:
LO-MU-CO-NF

LEGEND

Property Line	— · — · — · — · — · — · —
Fencing	—————
Setback	- - - - -
Public Util. Easement	- - - - -
Electrical Service	—————E—————
New Addition	=====
Existing Structure	—————

 PP Power Pole
 FH Fire Hydrant
 WM Water Meter
 C/O Sewer Cleanout



1/8"=1'-0" (1/16" at 11"x17")



1/8"=1'-0" (1/16" at 11"x17")



1/8"=1'-0" (1/16" at 11"x17")



1/8"=1'-0" (1/16" at 11"x17'

HAMMER / DESIGN

A residential architecture & construction partnership
3208 S. 5th Street **Austin, Texas**

3208 S. 5th Street

Contact: 512-626-2662



Sea

West 29th Street Project

801 West 29th Street
Austin, Texas

Date: 10/02/23

**Site Plan/
Demolition Plan.
Exist. Elevs.**

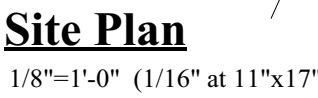
Revised: 03/11/24

Revised: 00/00/00

Revised: 00/00/00

A-1

These Drawings are the property of the Architect and may only be used in connection with this project.





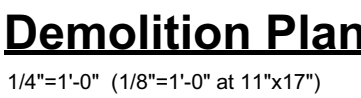
1/8"=1'-0" (1/16" at 11"x17'

b. Carbon Monoxide Alarms: Provide Carbon Monoxide Alarm - hard wired with battery backup, installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and/or have an attached garage.
In accordance with 2021 IRC sec R315"

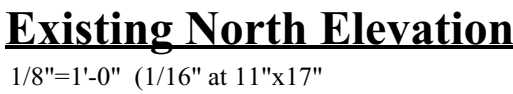
SHEET INDEX	
A-1.0	SITE PLAN / DEMOLITION PLAN
A-2.0	<i>Not Used</i>
A-3.0	FLOOR PLANS
A-4.0	TENT DIAGRAMS
A-5.0	BUILDING SECTIONS
S0.0	STRUCTURAL NOTES
S0.1	STRUCTURAL NOTES
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S3.1	FOUNDATION DETAILS
S4.0	FRAMING DETAILS
S4.1	FRAMING DETAILS

Property Line	— · — · — · — · —
Fencing	—————
Setback	- - - - -
Public Util. Easement	— · — · — · — · —
Electrical Service	—————E—————
New Addition	=====
Existing Structure	—————

 Power Pole
 PP
 Fire Hydrant
 FH



1/4"=1'-0" (1/8"=1'-0" at 11"x17")



1/8"=1'-0" (1/16" at 11"x17")



1/8"=1'-0" (1/16" at 11"x17")



1/8"=1'-0" (1/16" at 11"x17")

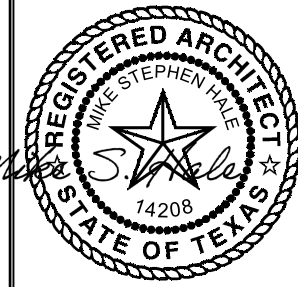


1/8"=1'-0" (1/16" at 11"x17'

HAMMER / DESIGN
A residential architecture & construction partnership
3208 S. 5th Street
Austin, Texas

3208 S. 5th Street

Contact: 512-626-2662



Seal

West 29th Street Project

801 West 29th Street
Austin, Texas

Date: 10/02/23

**Site Plan/
Demolition Plan.
Exist. Elevs.**

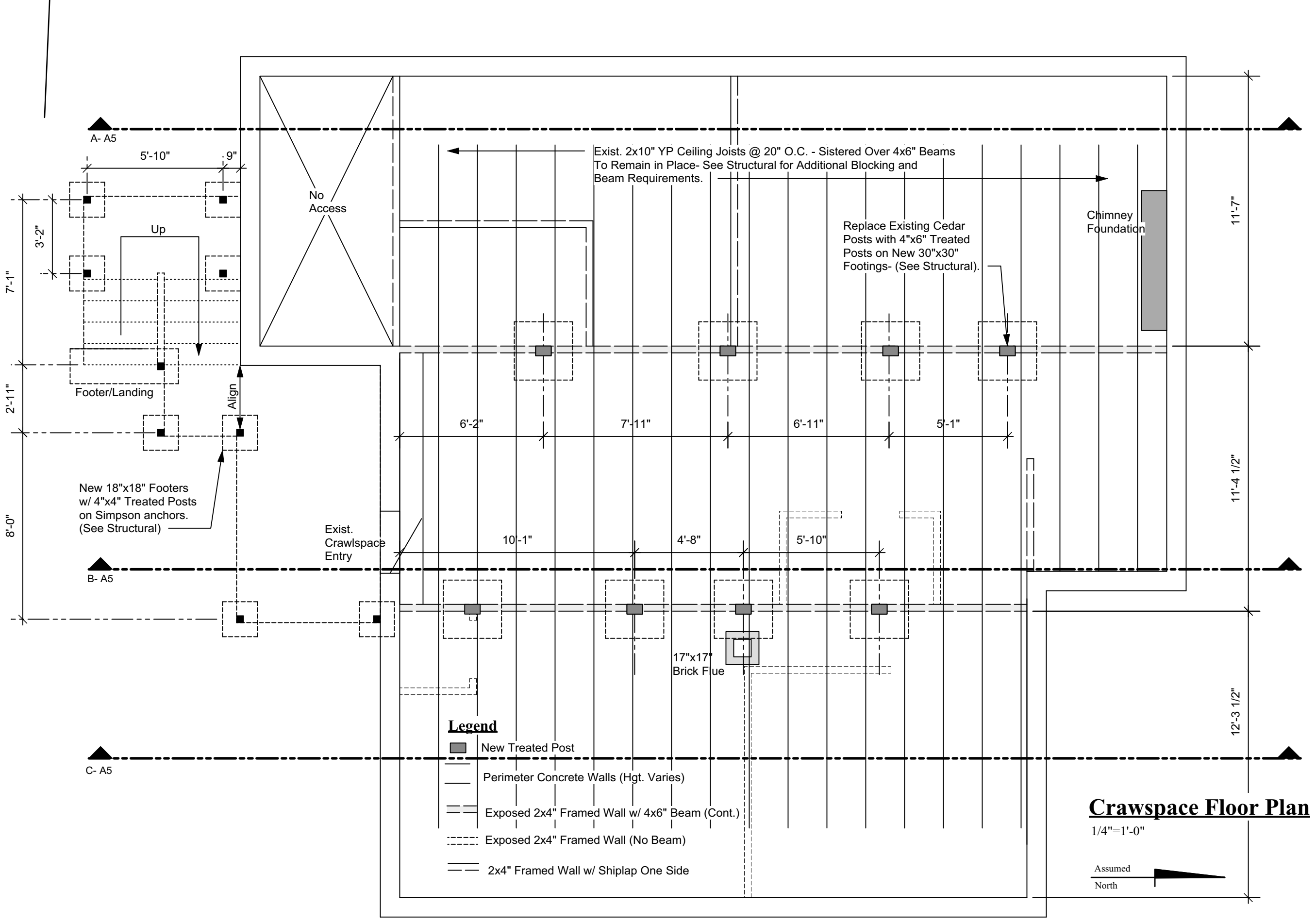
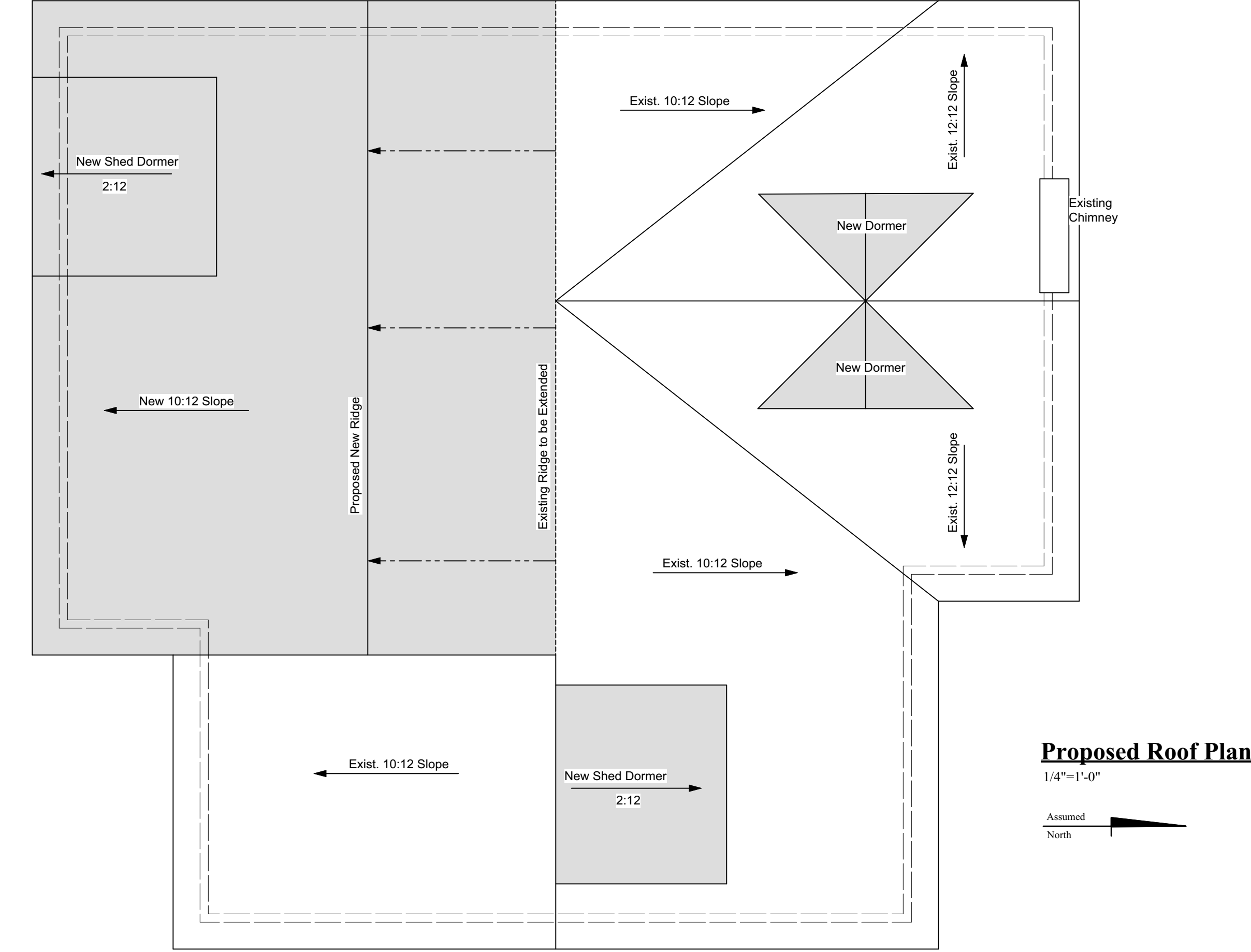
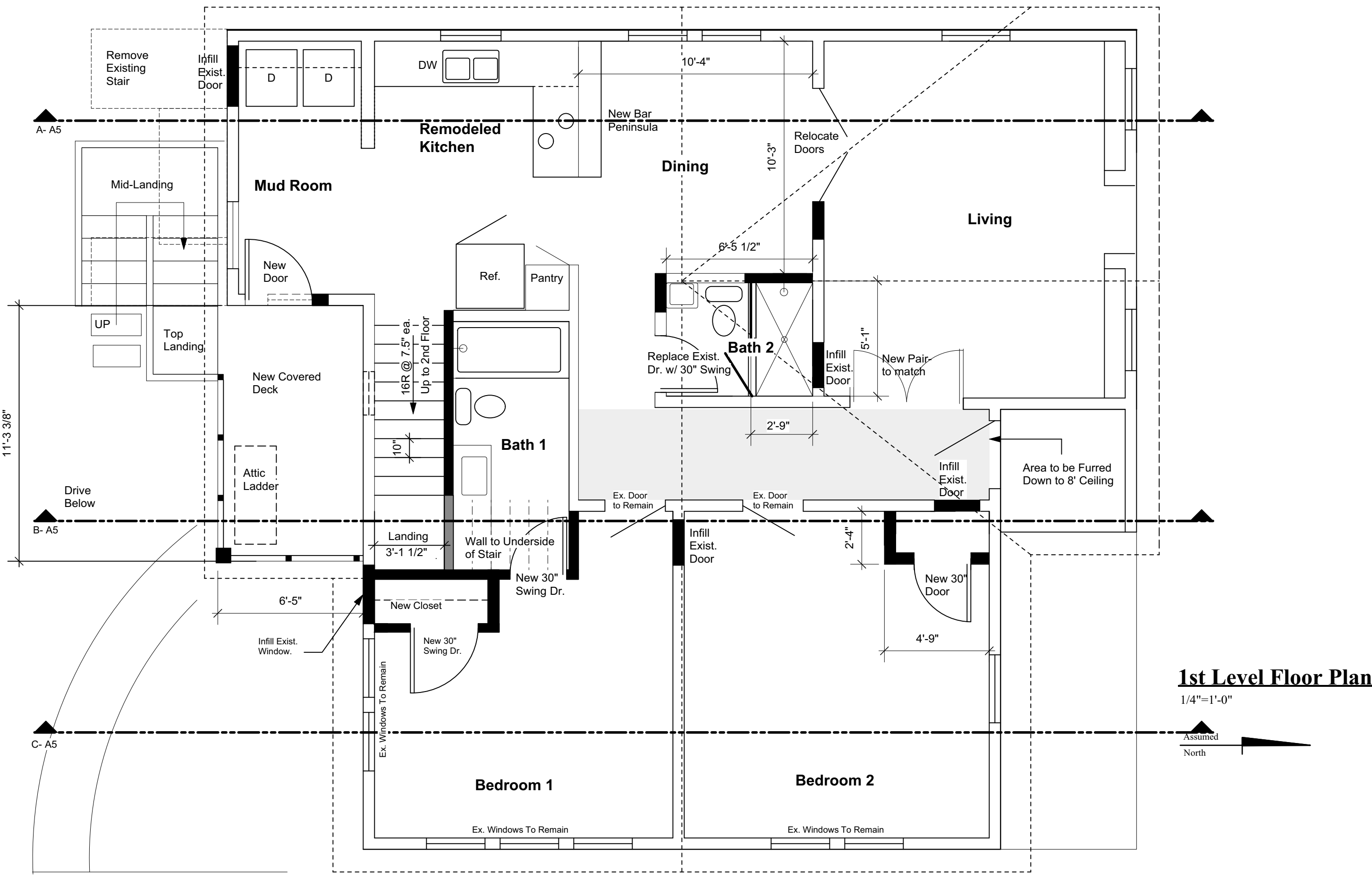
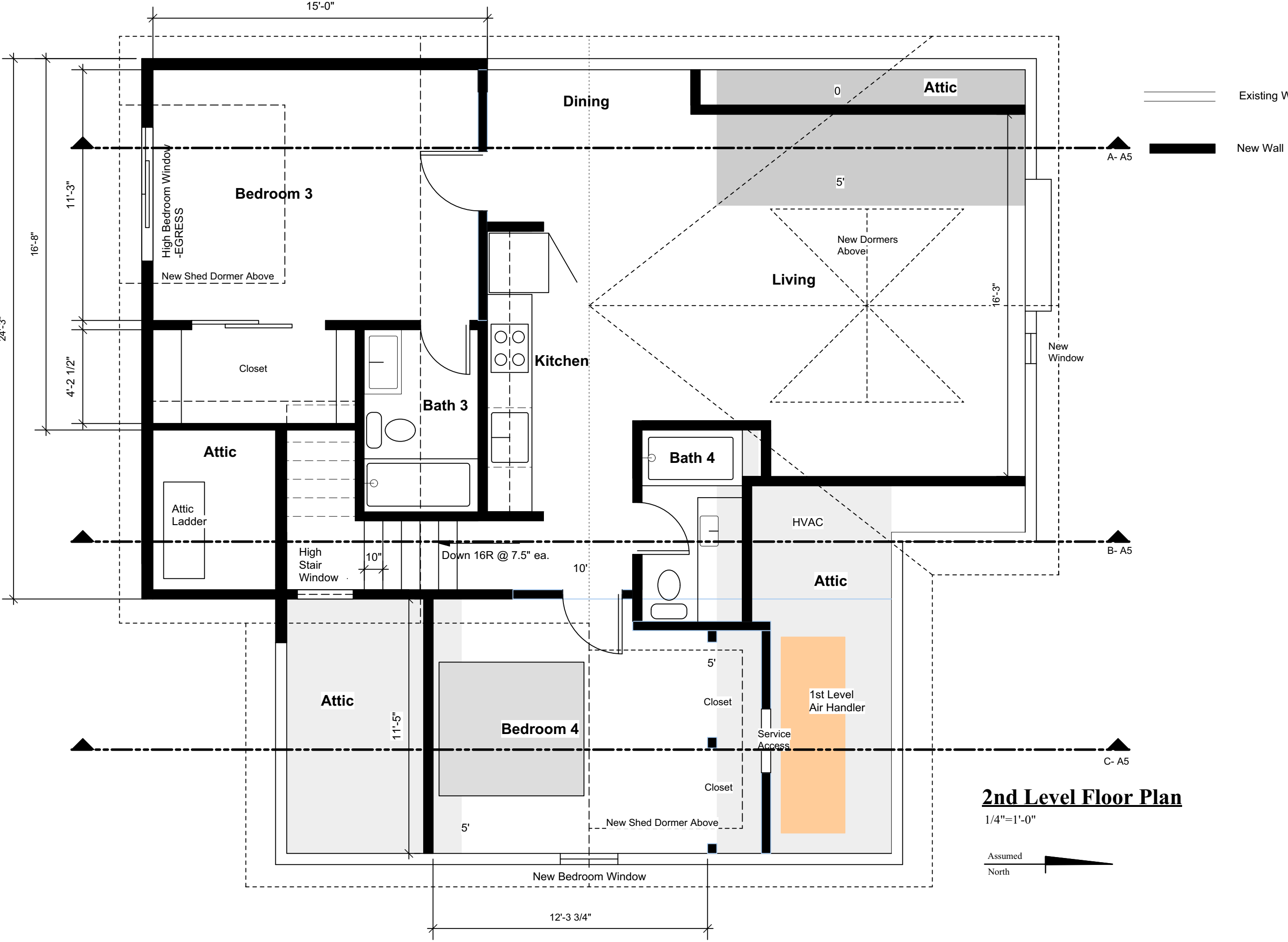
Revised: 00/00/23

Revised: 00/00/00

Revised: 00/00/00

A-1

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A residential architecture & construction partnership
Austin, Texas
3208 S. 5th Street
Contact: 512-626-2662

West 29th Street Project
801 West 29th Street
Austin, Texas

Date: 10/01/23

Floor Plan

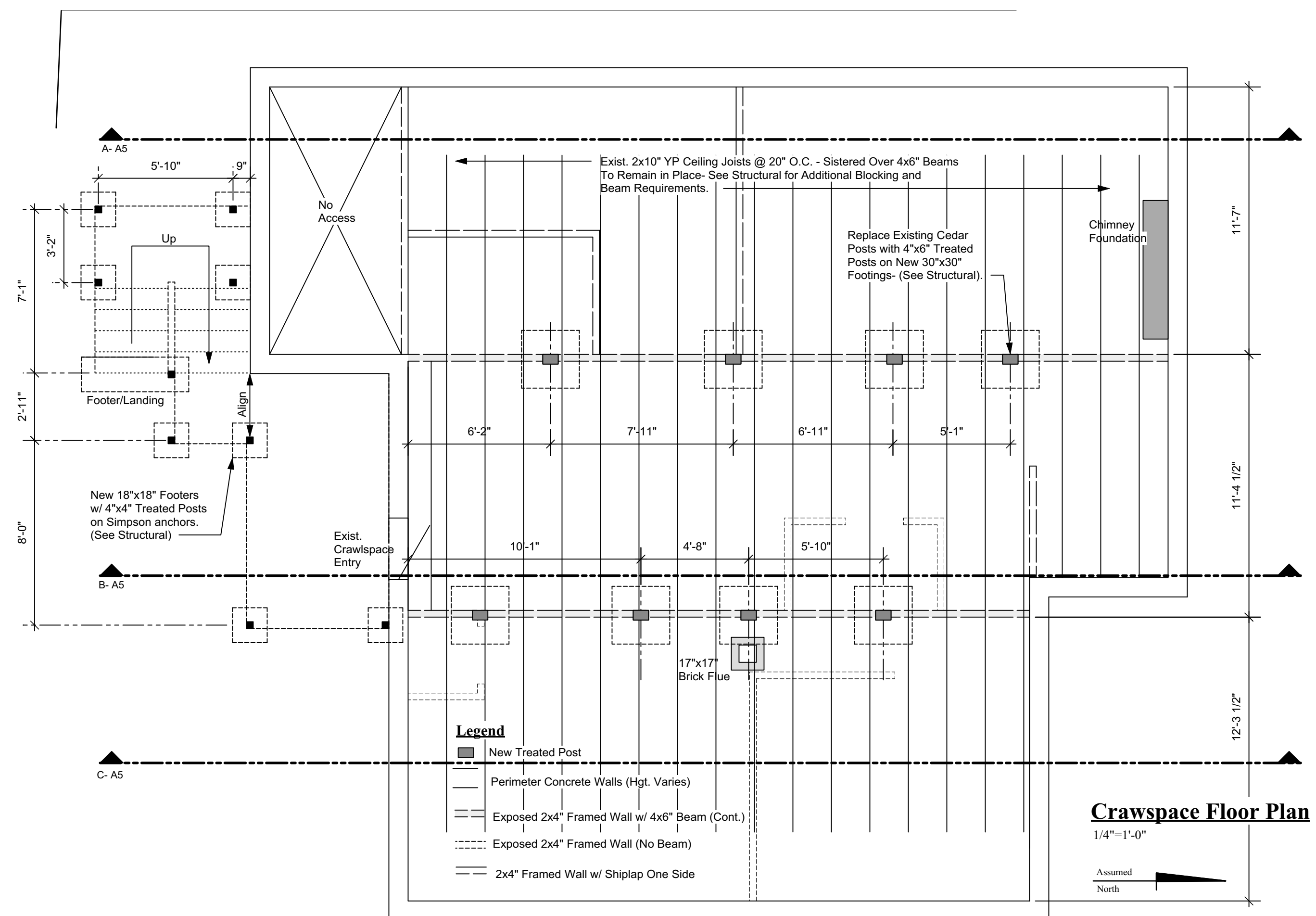
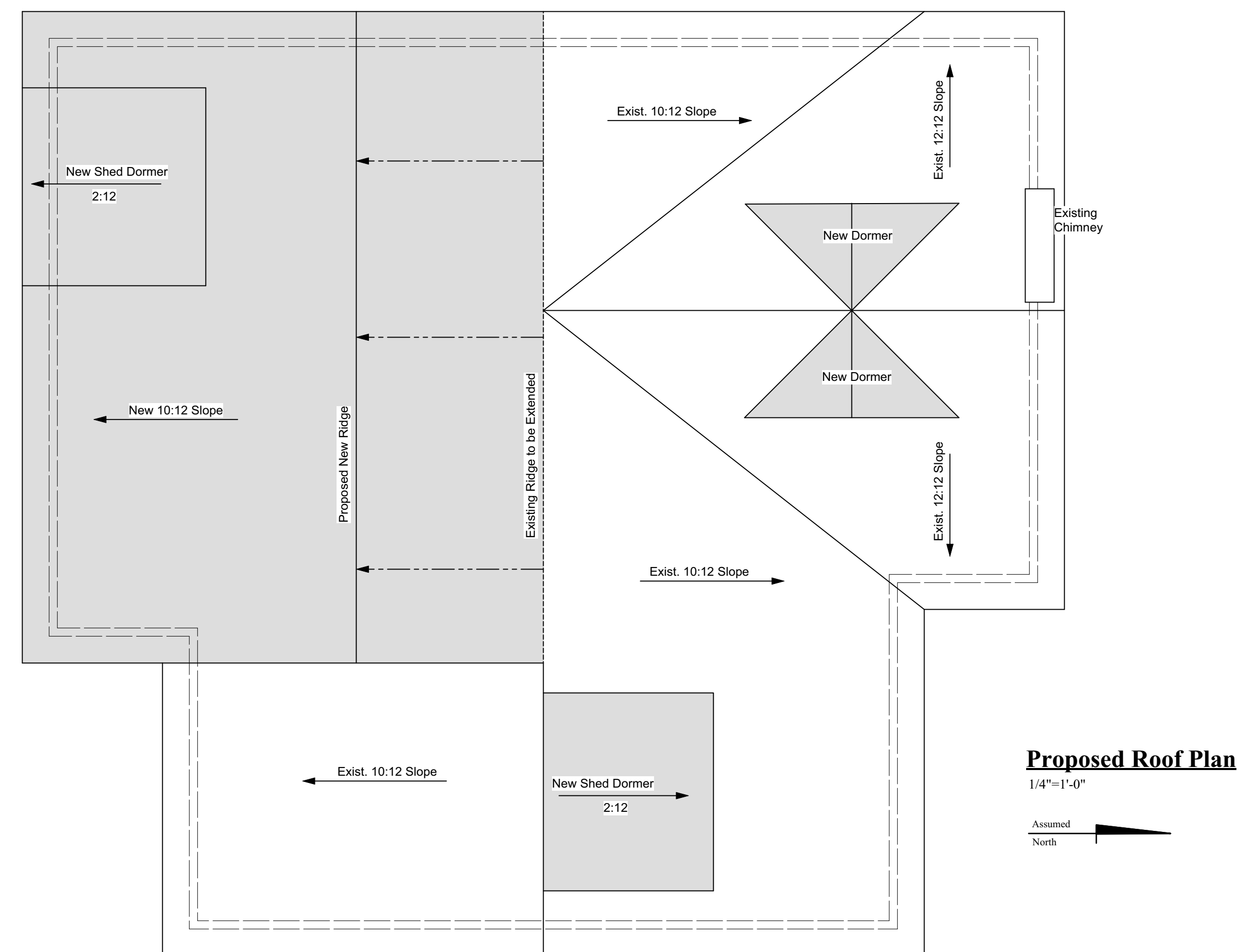
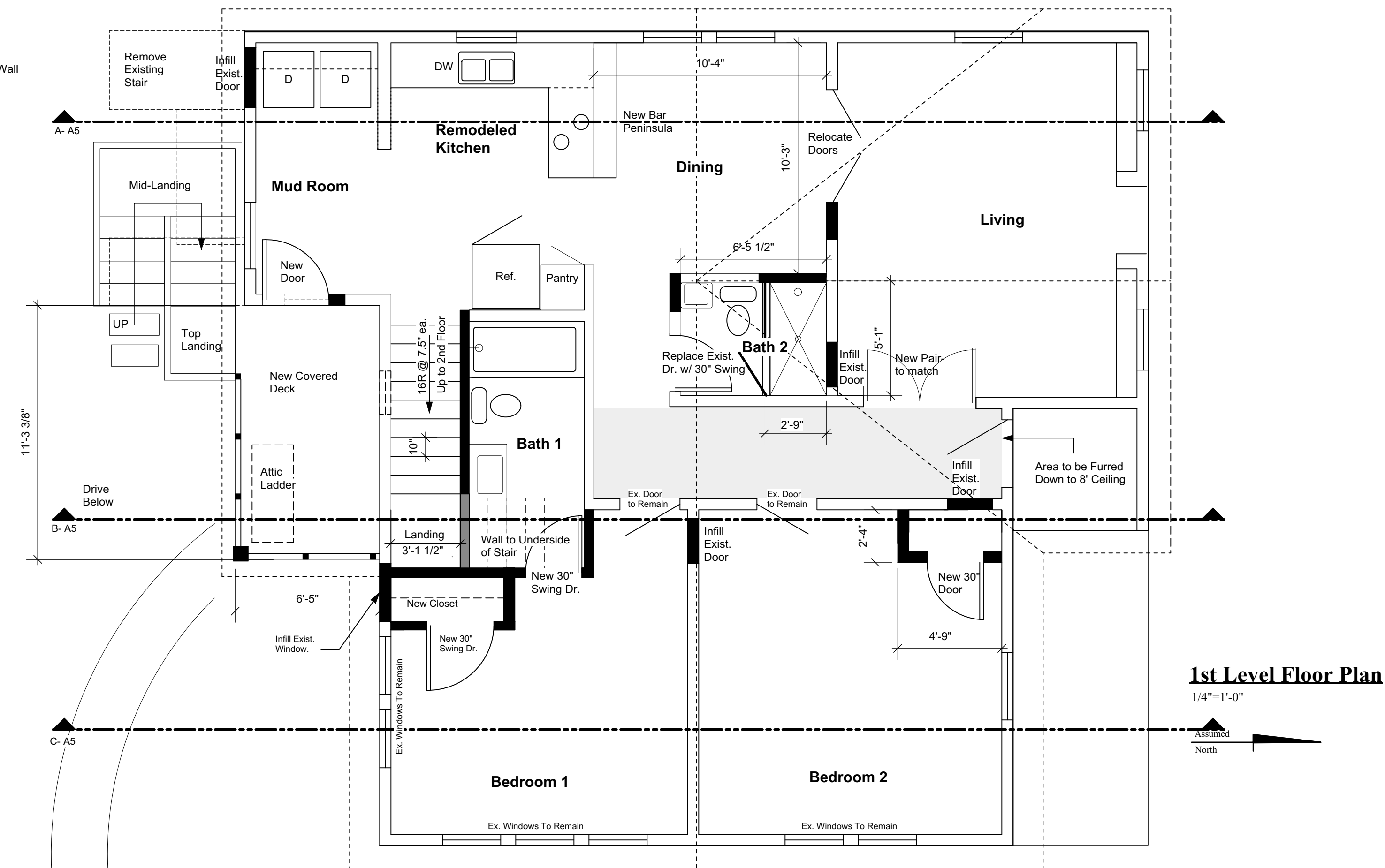
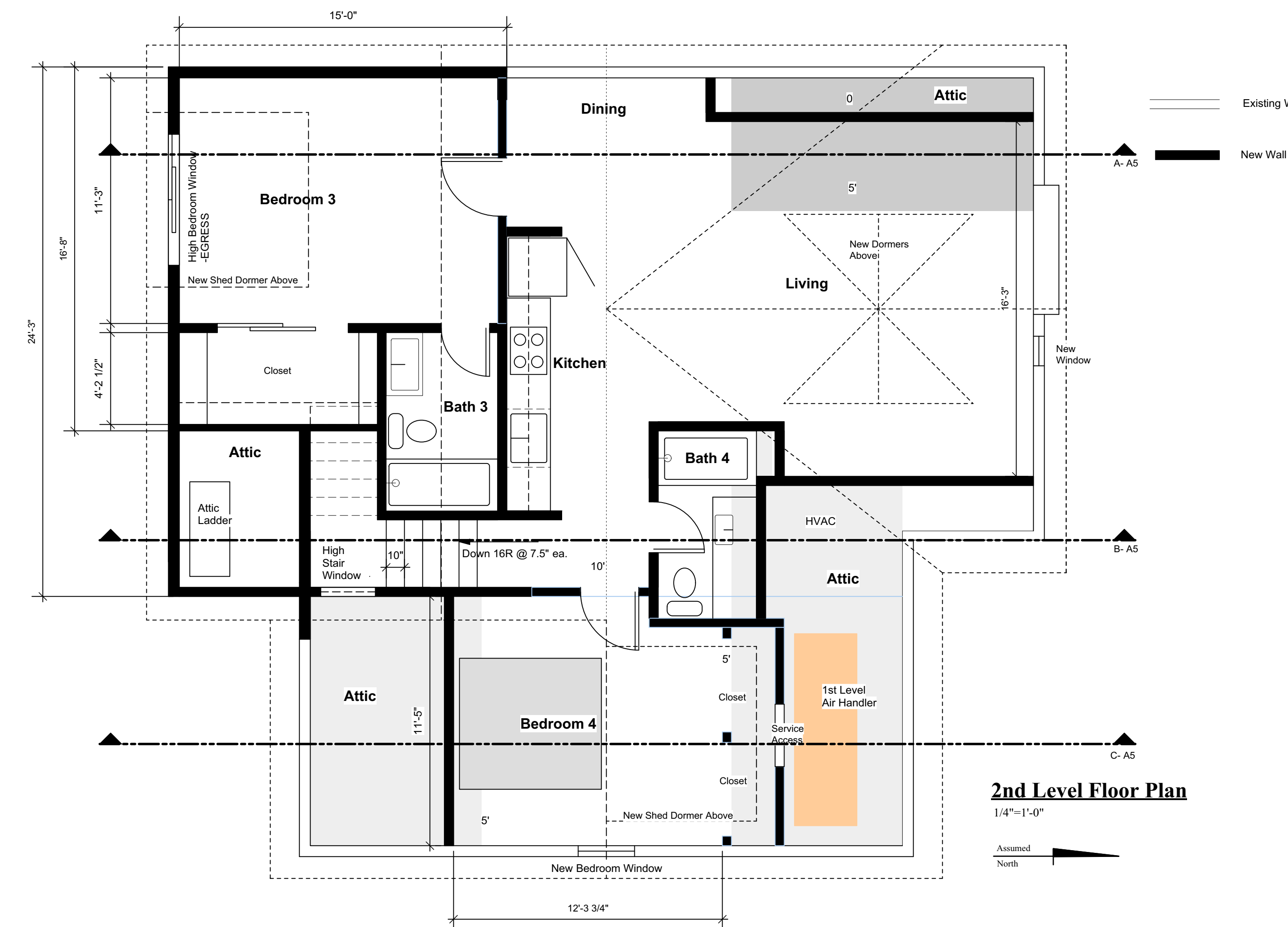
Revised: 02/12/24

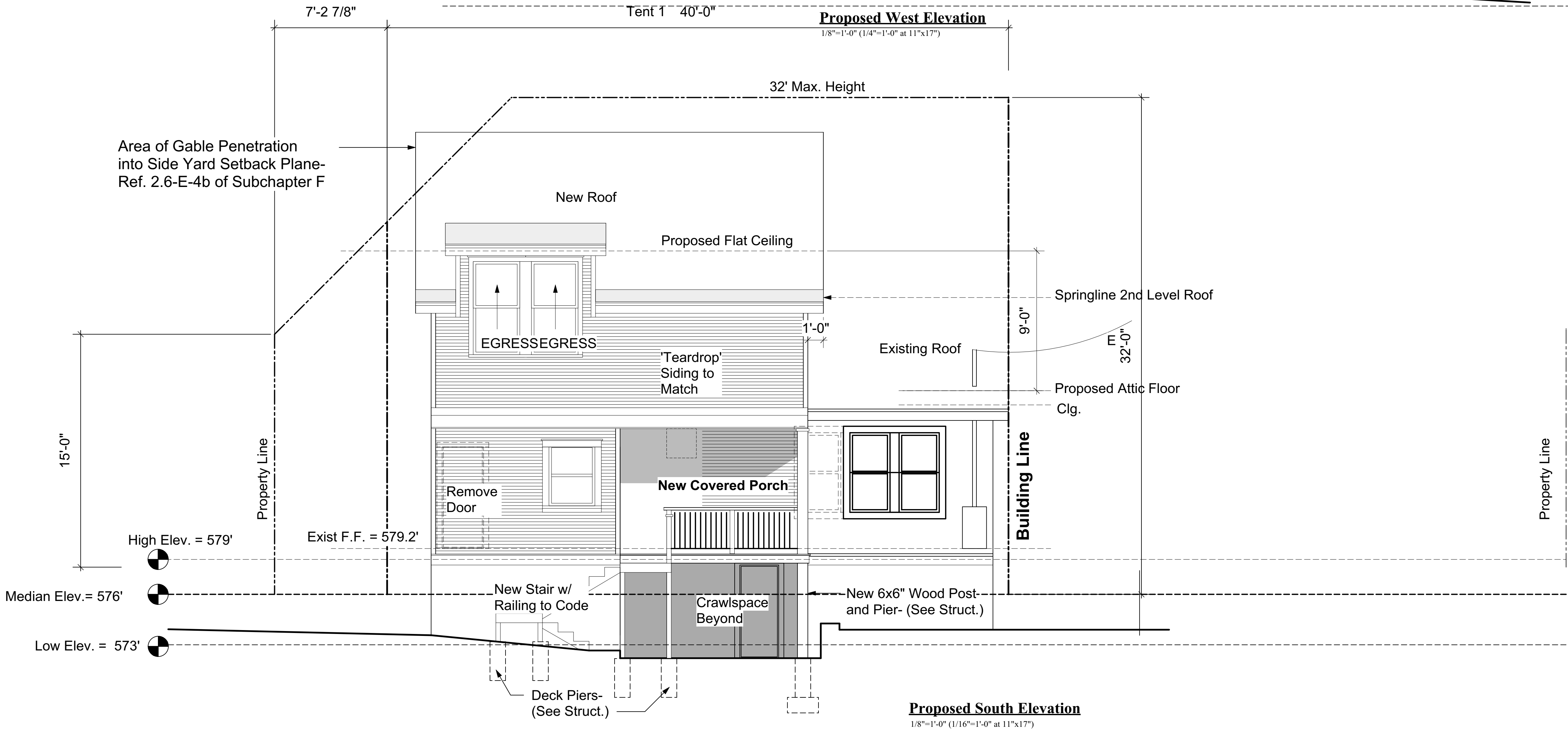
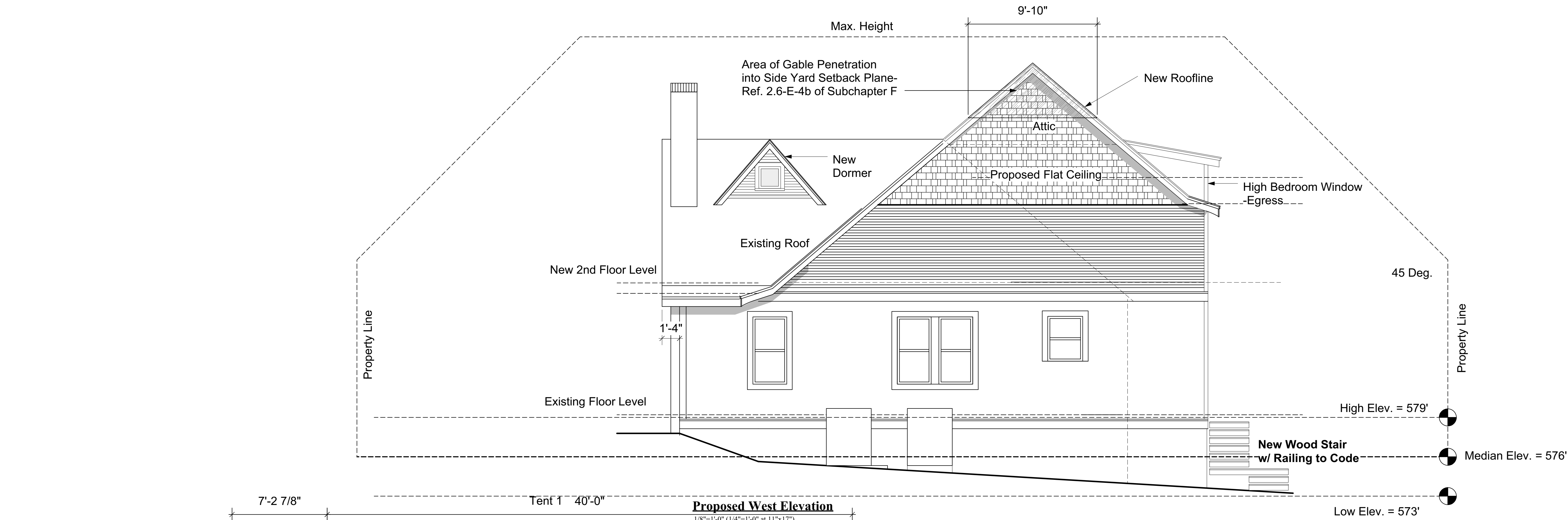
Revised: 00/00/00

Revised: 00/00/00

A-3

These drawings are the property of the Architect and may only be used in connection with this project.





Seal

West 29th Street Project
801 West 29th Street
Austin, Texas

Date: 10/01/23

Tent Diagrams

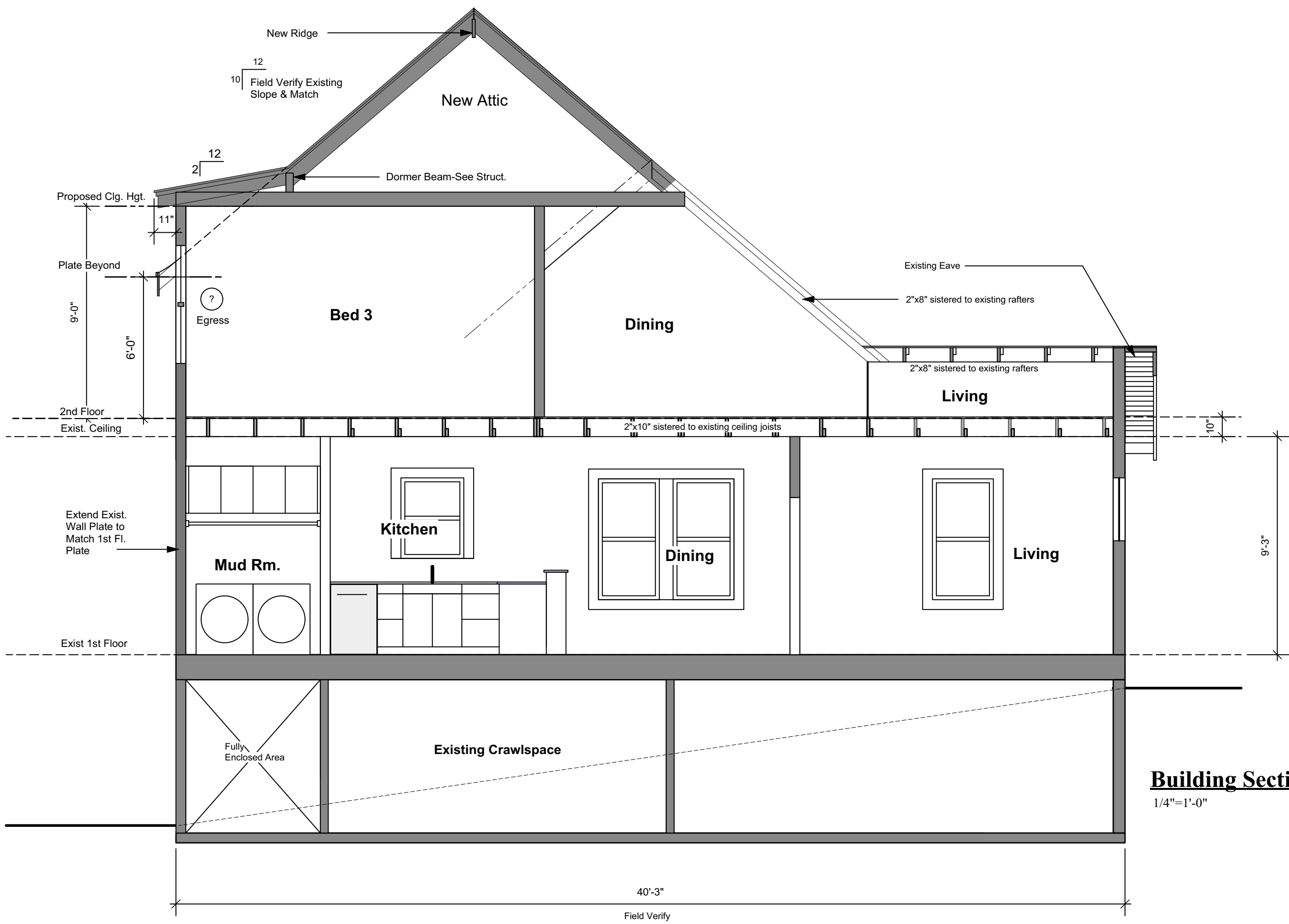
Revised: 02/12/24

Revised: 00/00/00

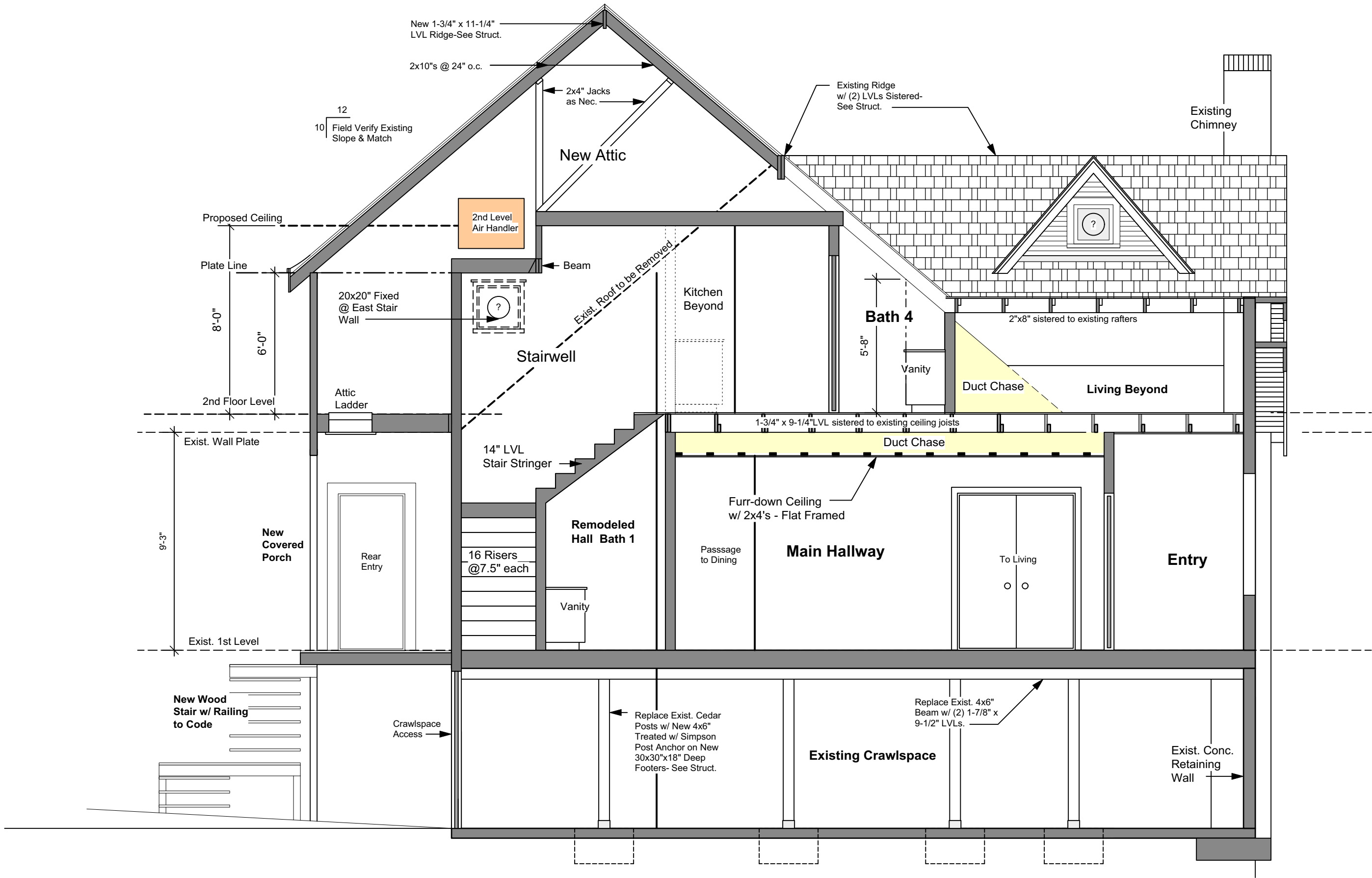
Revised: 00/00/00

A-4.1

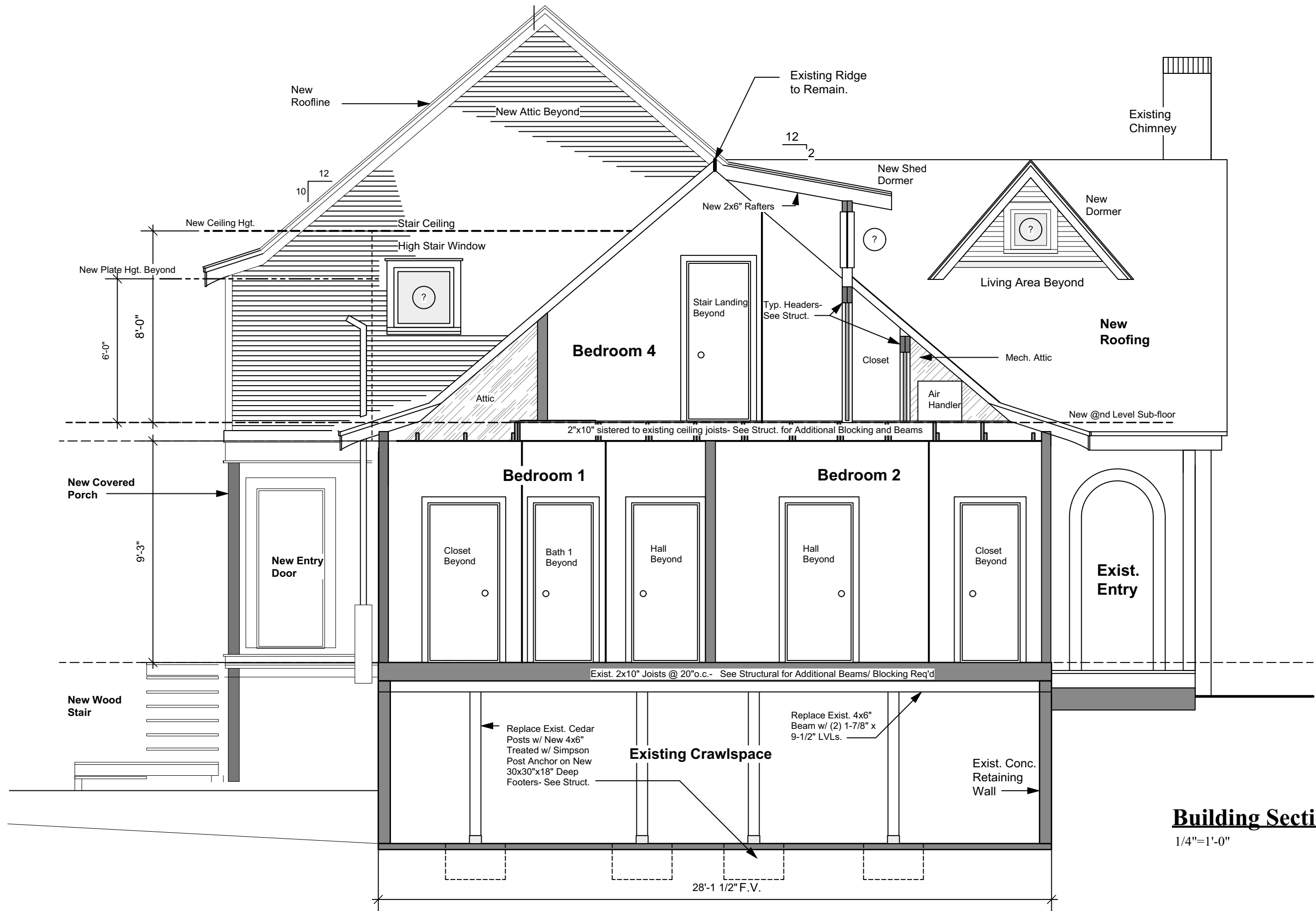
These Drawings are the property of the Architect and may only be used in connection with this project.



Building Section-A
1/4"=1'-0"



Building Section- B
1/4"=1'-0"



Building Section-C
1/4"=1'-0"



Seal

Date: 10/01/23

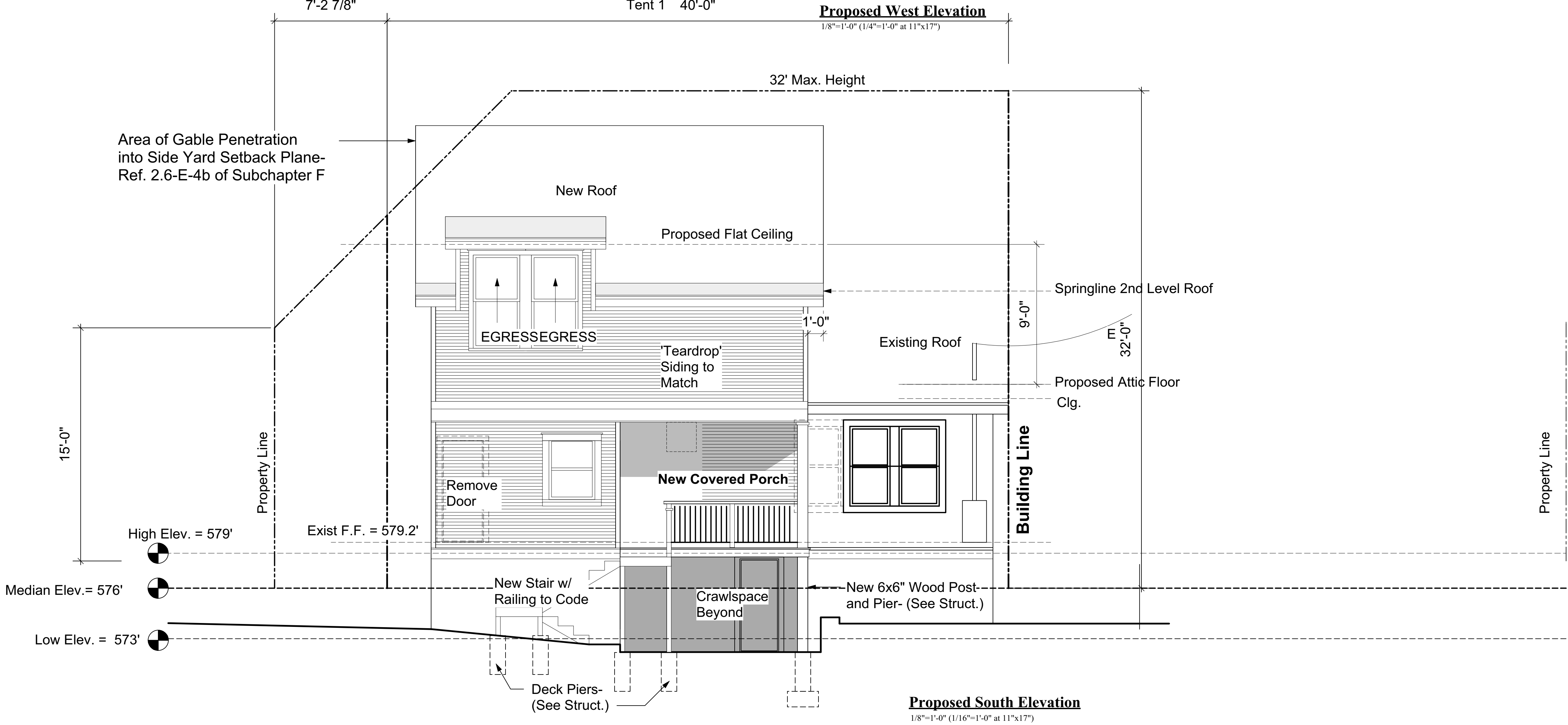
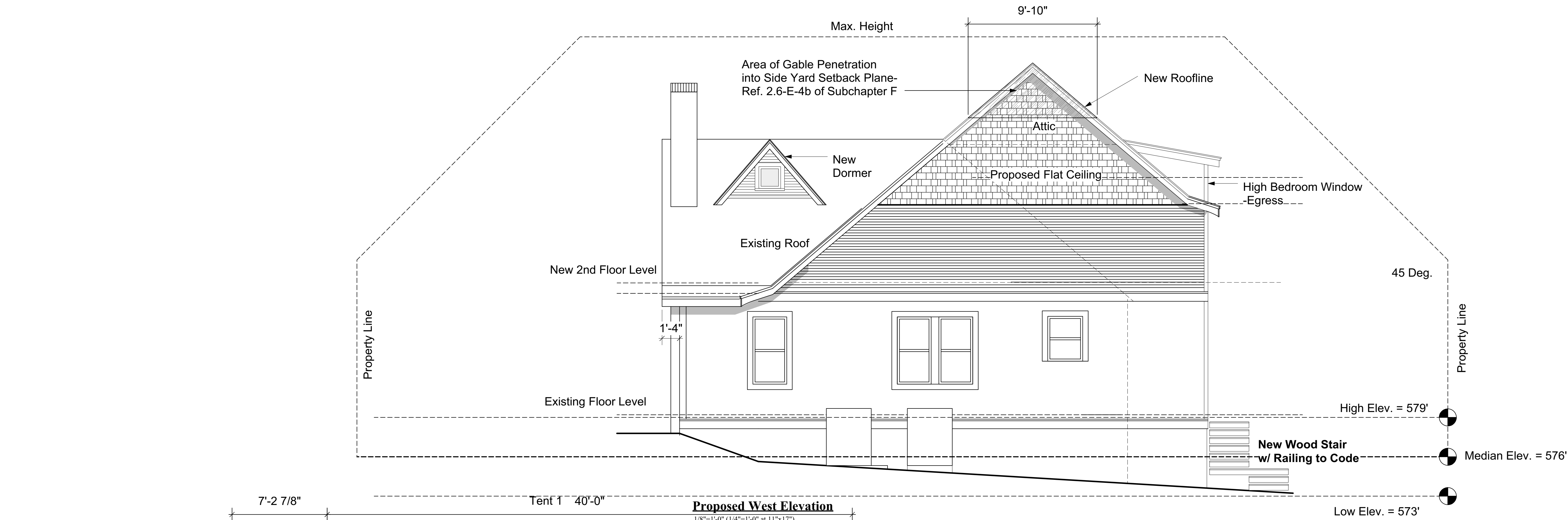
Building Sections

Revised: 02/12/24

Revised: 00/00/00

Revised: 00/00/00

A-5



Seal

West 29th Street Project
801 West 29th Street
Austin, Texas

Date: 10/01/23

Tent Diagrams

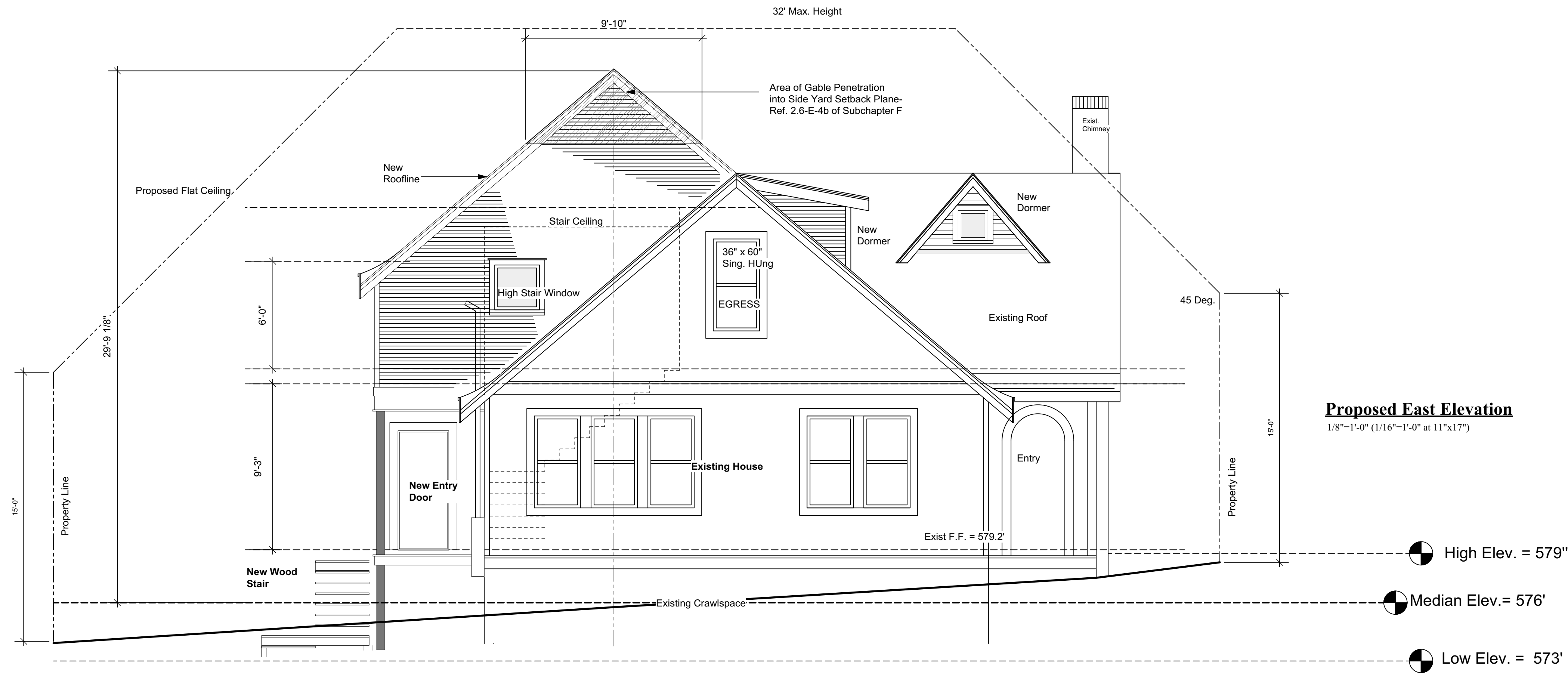
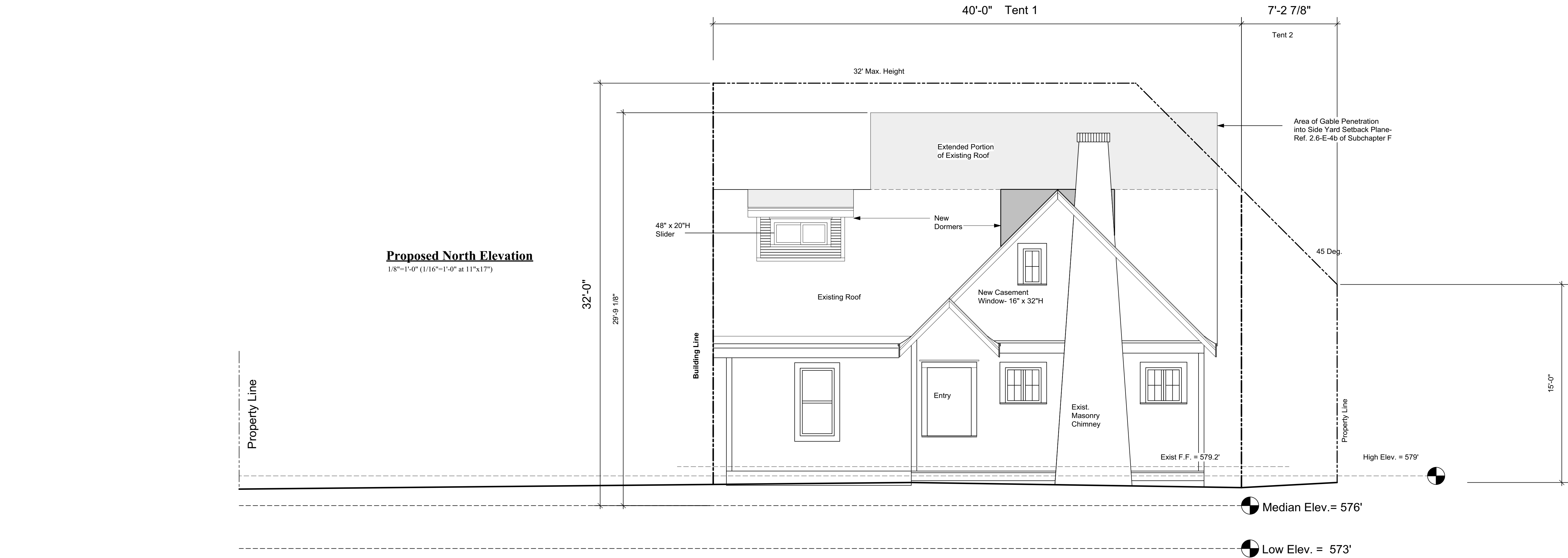
Revised: 02/12/24

Revised: 00/00/00

Revised: 00/00/00

A-4.1

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A residential architecture & construction partnership

Austin, Texas

3208 S. 5th Street

Contact: 512-626-2662



Seal

West 29th Street Project

Austin, Texas

801 West 29th Street

Date: 10/01/23

Tent Diagrams

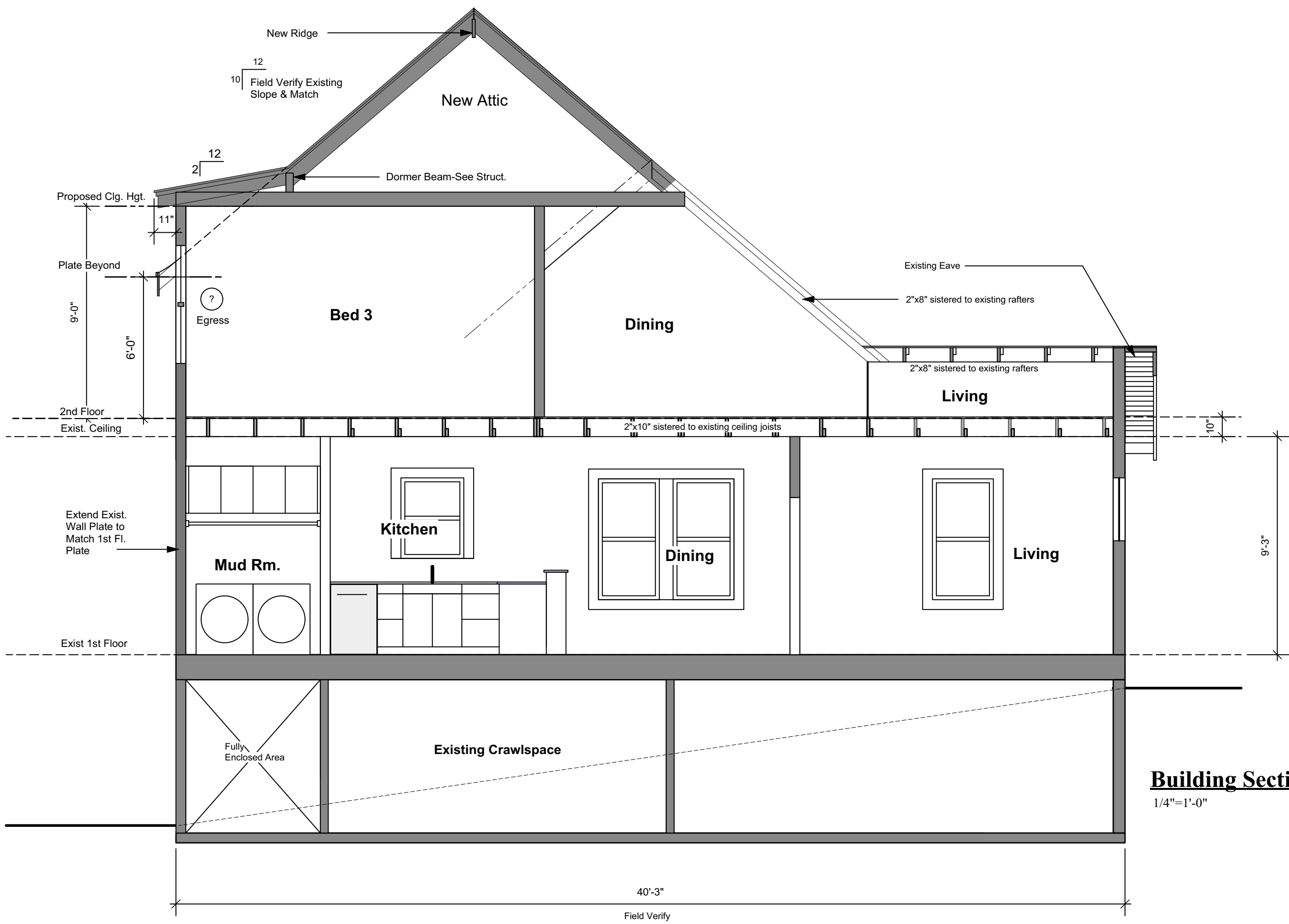
Revised: 02/12/24

Revised: 00/00/00

Revised: 00/00/00

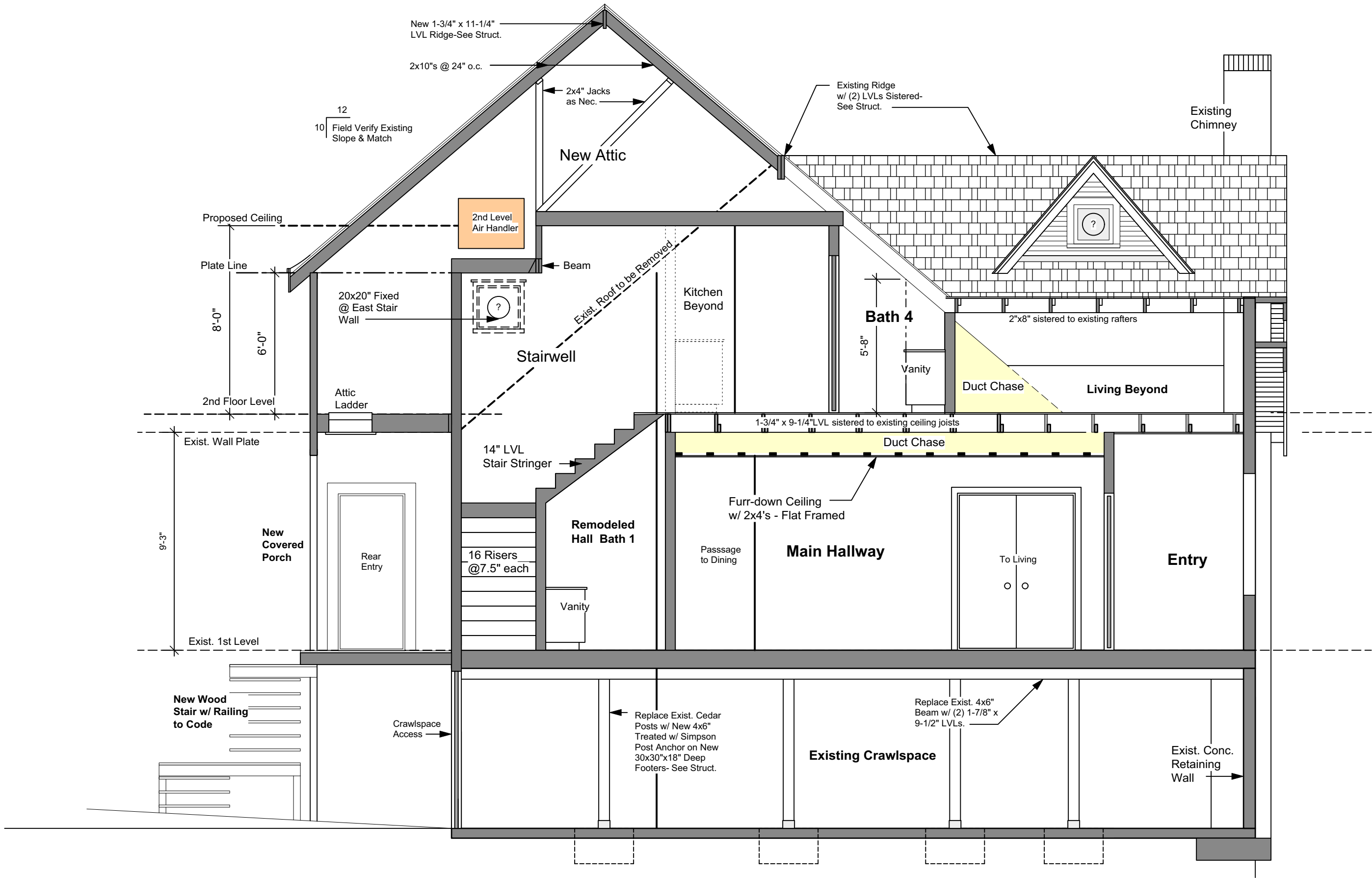
A-4.0

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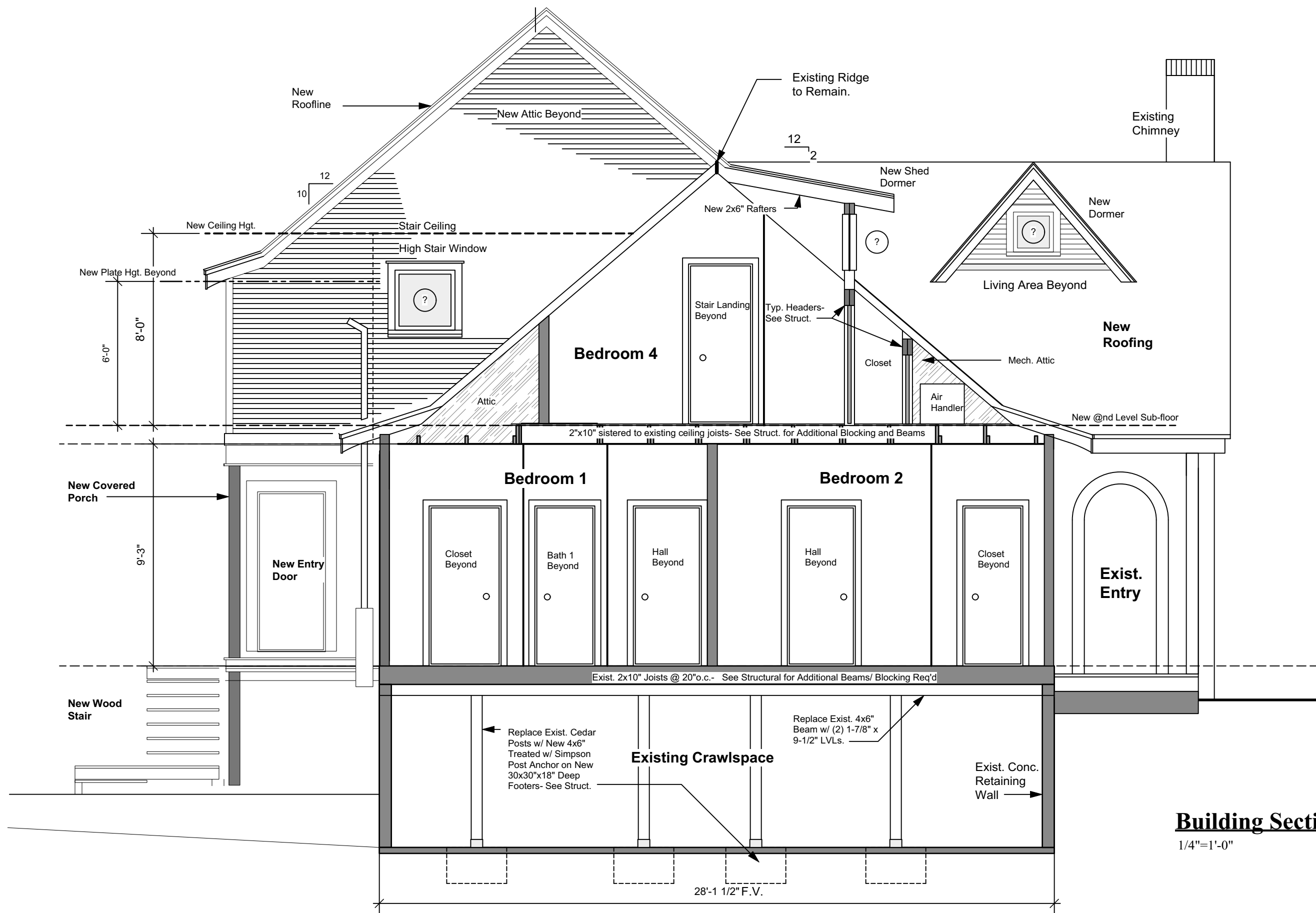
Building Section-A

1/4"=1'-0"



Building Section- B

1/4"=1'-0"



Building Section- C

1/4"=1'-0"

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Austin, Texas

3208 S. 5th Street

Contact: 512-626-2662



Seal

West 29th Street Project

Austin, Texas

801 West 29th Street

Date: 10/01/23

Building Sections

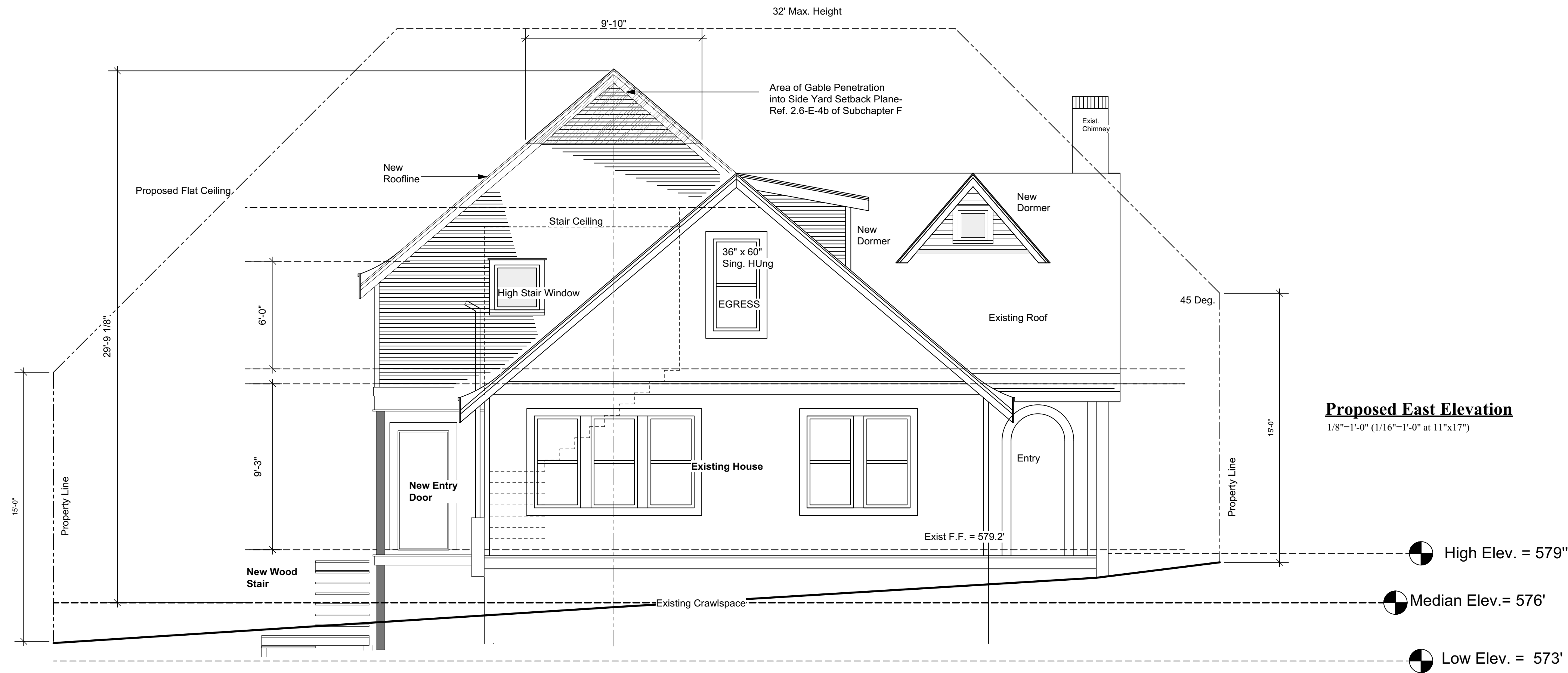
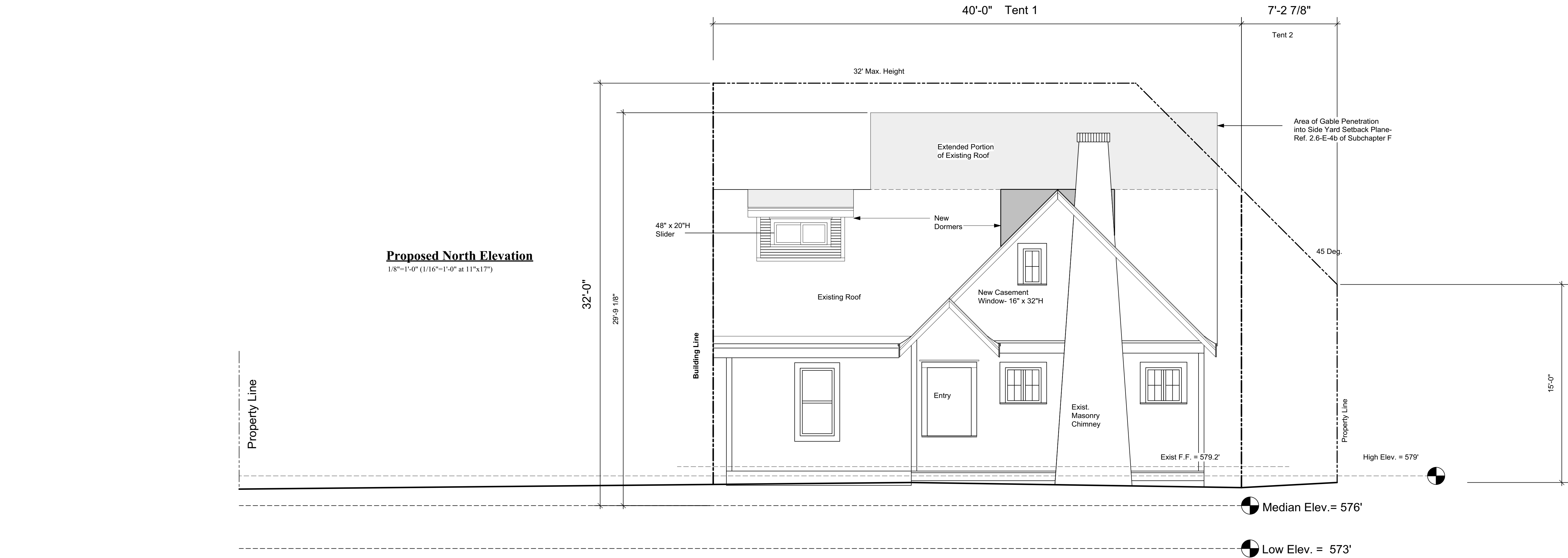
Revised: 02/12/24

Revised: 00/00/00

Revised: 00/00/00

A-5

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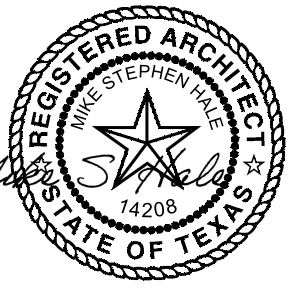
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3208 S. 5th Street

Contact: 512-626-2662



Seal

West 29th Street Project

Austin, Texas

801 West 29th Street

Date: 10/01/23

Tent Diagrams

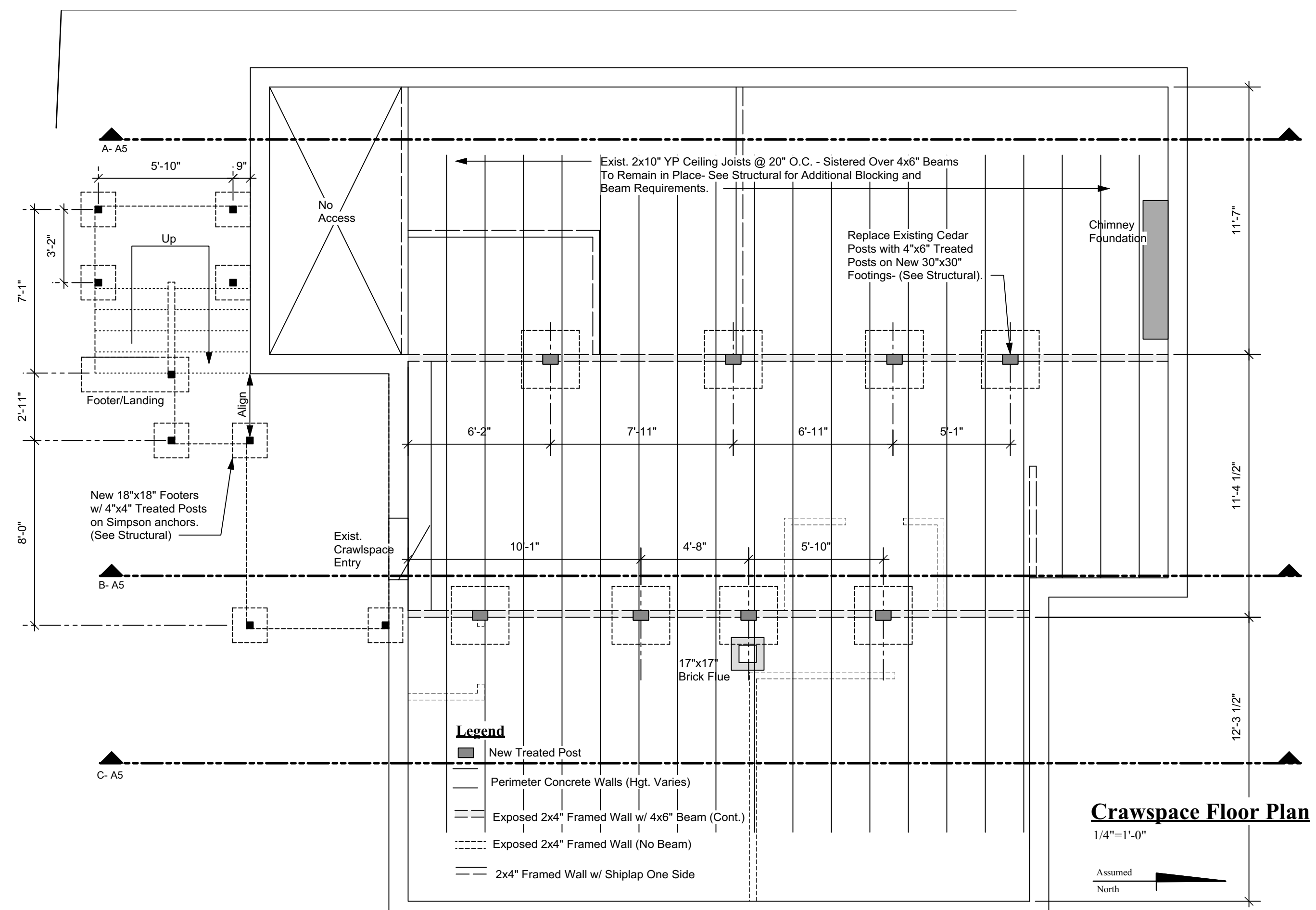
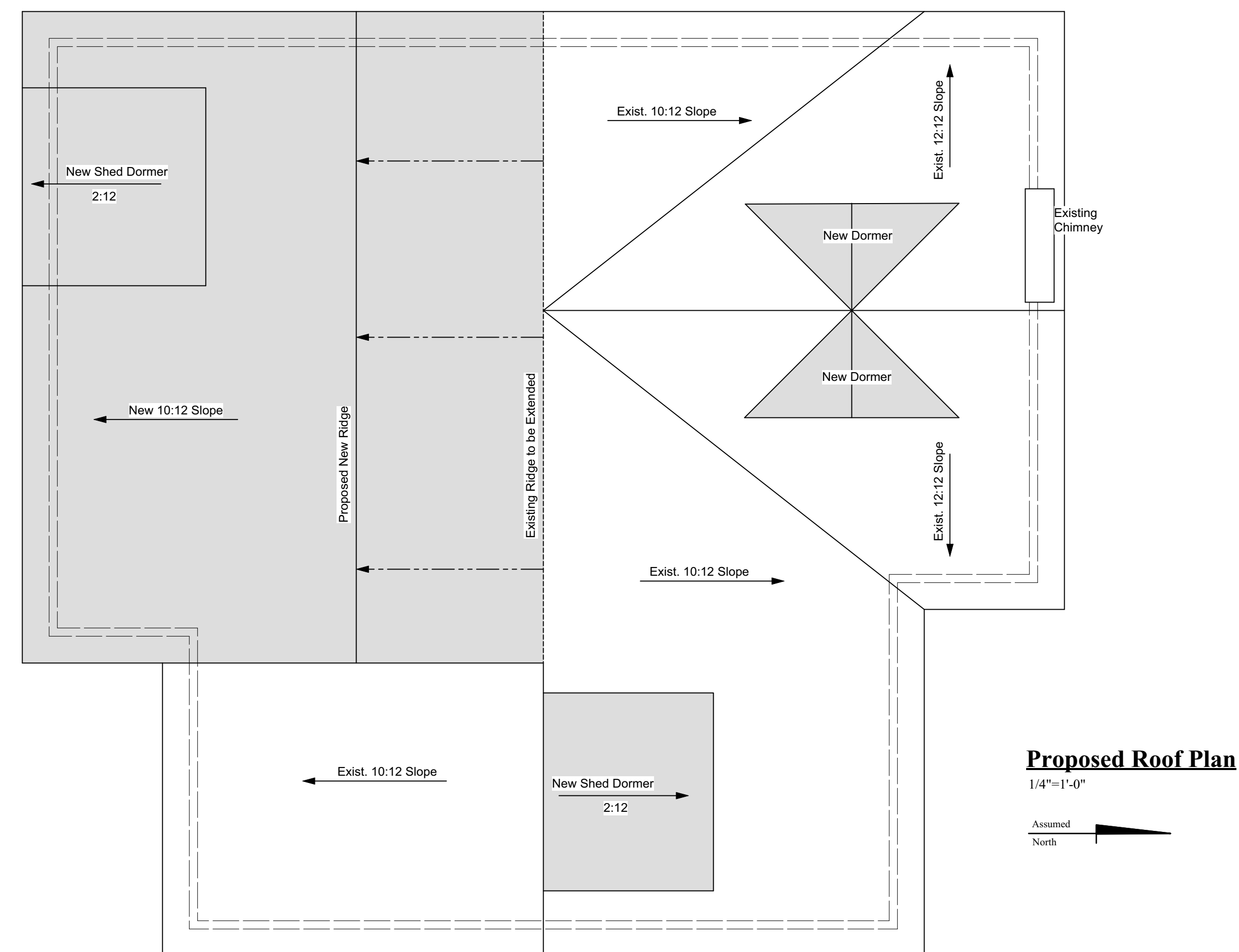
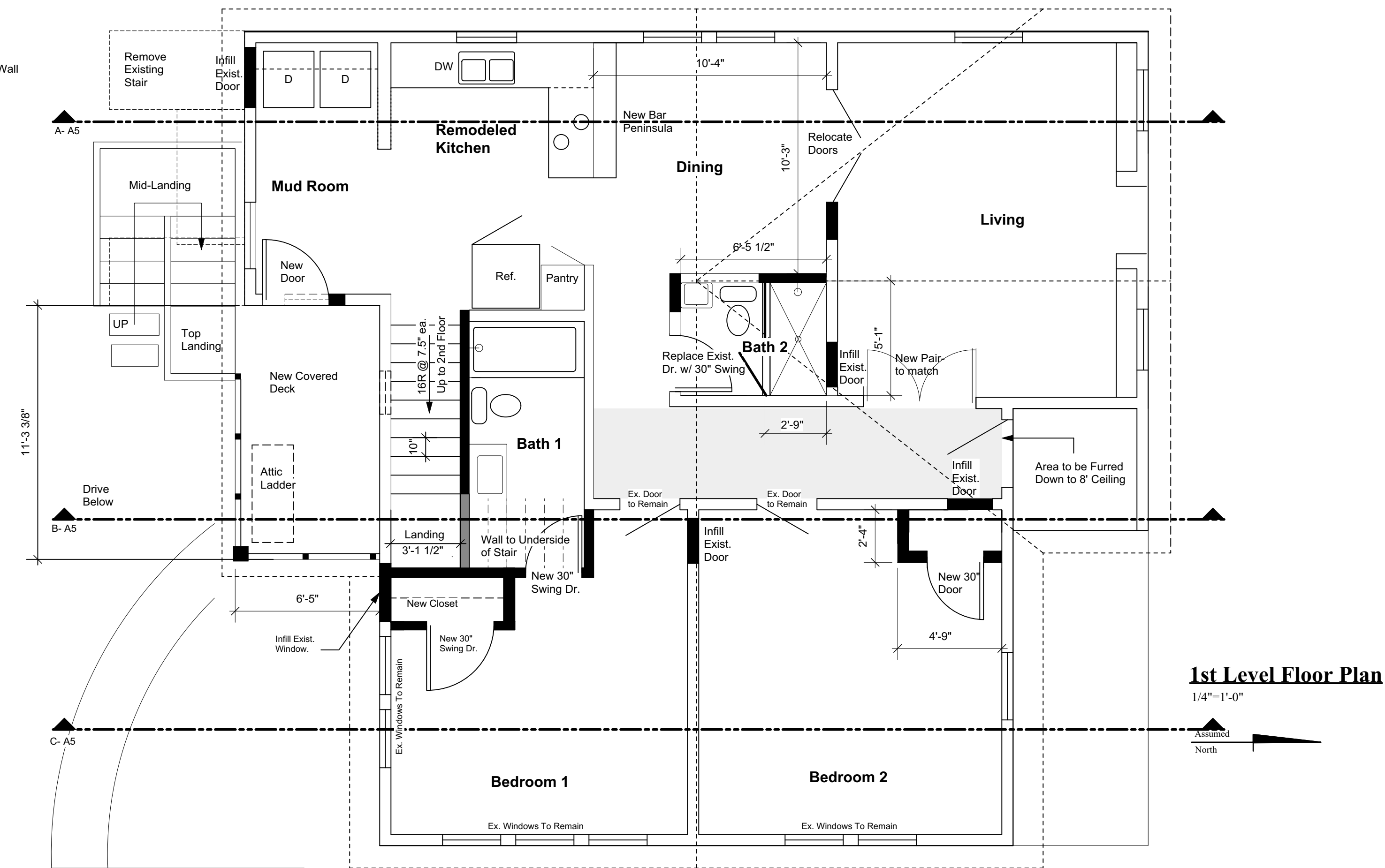
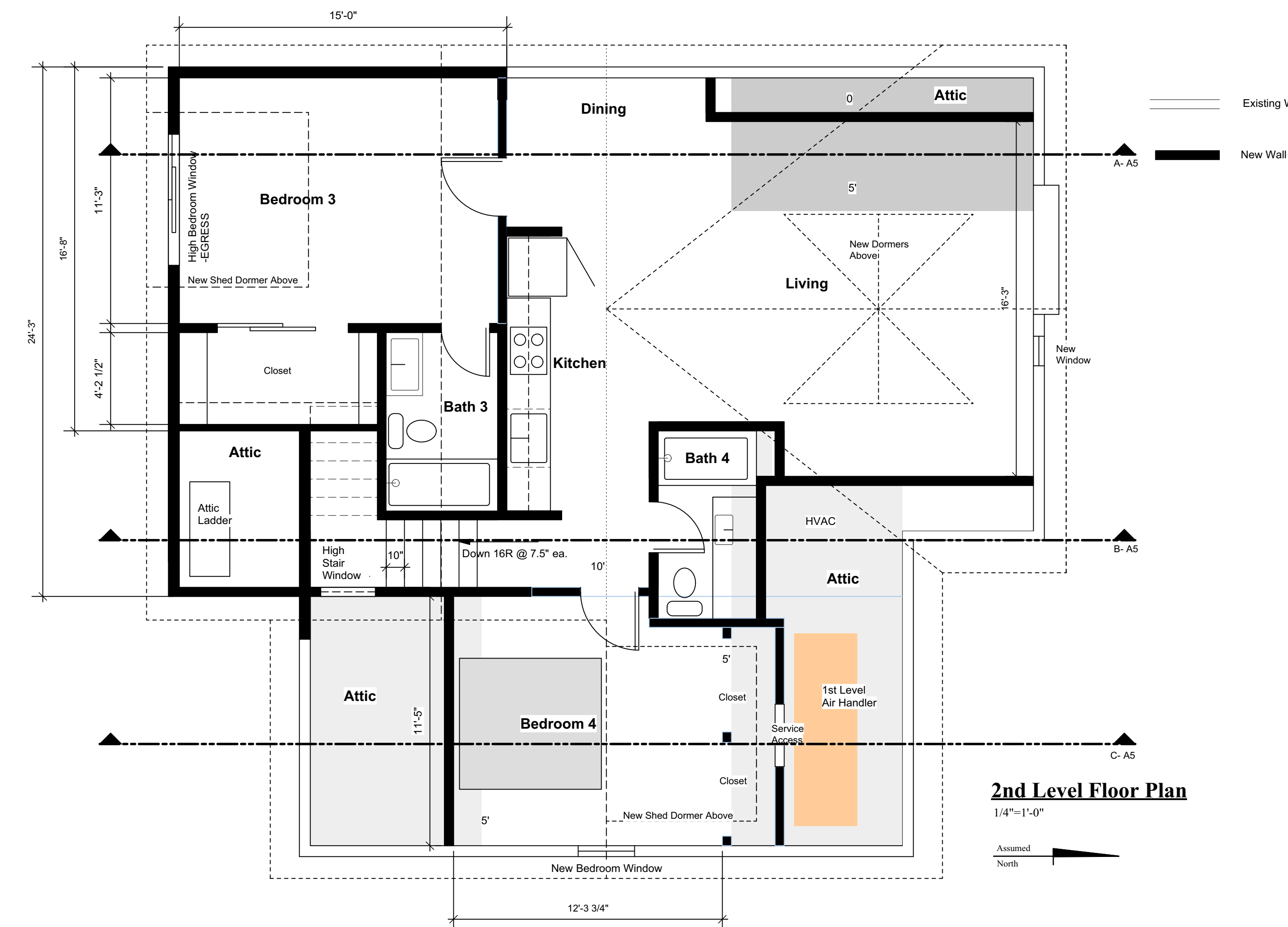
Revised: 02/12/24

Revised: 00/00/00

Revised: 00/00/00

A-4.0

These Drawings are the property of the Architect and may only be used in connection with this project.





Water/Wastewater Service Plan Verification Form (WWWSPV)

6310 Wilhelmina Delco Drive | 512-972-1000 Option 3 | AWTaps@austintexas.gov

ALL FIELDS ARE REQUIRED

Service Address: 801 W 29th St

Lot: E 83 Ft llot 6 Block: 4 Subdivision: Byrnes James

Will the dwelling units be demolished? No

Are new dwelling units being built? No

Are there multiple dwelling units on the lot? No

Is this a corner lot? Yes

Land Status or re-subdivision? No

Original Address:

Existing Lot Use: Single Family Residential Proposed Use: Single Family Residential If SFR, sq ft: 1,052

If Proposed Use is Other, describe the structure to be built:

Existing Bath Count: 2.0 Additional Bath Count: 2.0 Proposed Bath Count Meter #1: 4.0 Meter #2:

Existing protected trees to remain on lot? Yes

Refer to the [City Arborist website](#) for required levels of tree protection.

Water meters and wastewater cleanouts are not permitted in sidewalks or driveways

Relocation of services from sidewalks or driveways shall be performed at the applicant's expense.

The applicant listed below attests that the information provided is deemed accurate and complete based on available records. The applicant is responsible to confirm the location and suitability of existing water and wastewater services. The applicant may be responsible for costs associated to corrections due to incomplete or invalid information provided.

Adam Stephens 3/7/20 512-689-7650

Applicant Name Date Applicant Phone Applicant Email

Submit this form along with plot plan, site plan or building plan to AWTaps@austintexas.gov.

Plans must clearly mark all utilities and any tree critical root zones. Failure to comply may result in this form being rejected.

Austin Water Use Only - Submit supporting documentation to Applicant when responding

Water main size: 6" CI Water service size: 3/4" Water service material: COPPER

Existing water service line/meter location: 20' L/RLL

Existing Meter #s: 10080353 Existing meter size(s): 5/8"

Shared service? (Select) NO If Yes, meter #/size/address:

Proposed new meter size(s): 3/4"

Wastewater main size: 8" PVC WW service size: 6" Clean-out location: RLL

WO denoting WW service line work:

Water or wastewater main located on property? NO

REQUIRED ACTIONS

Secondary Address Needed? NO

Land Status Determination Needed? NO

Meter Purchase Required? YES

Utility Plan Required? (Select) NO PLAN REQUIRED

Comments

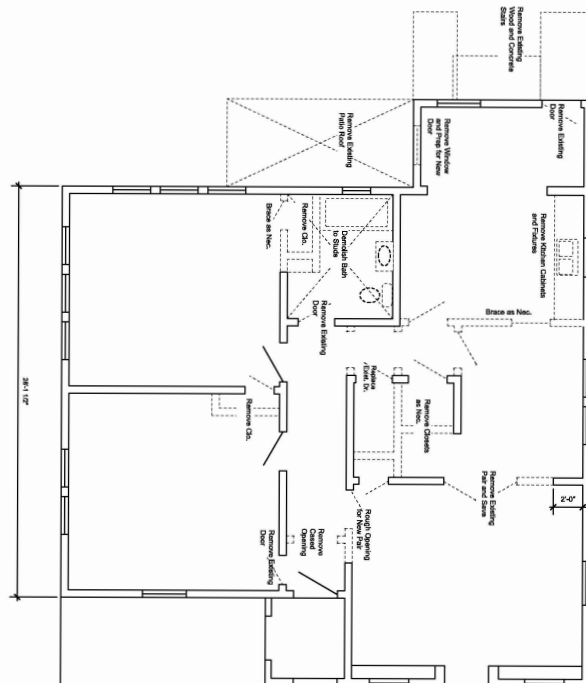
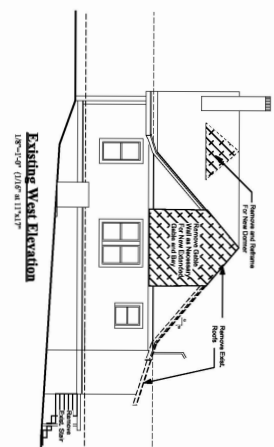
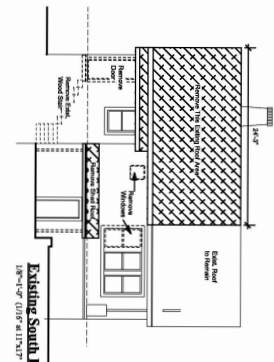
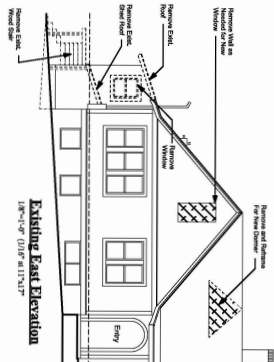
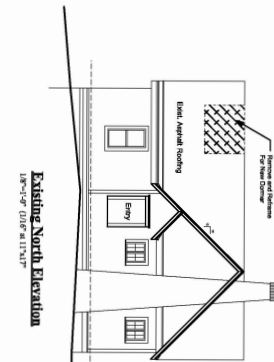
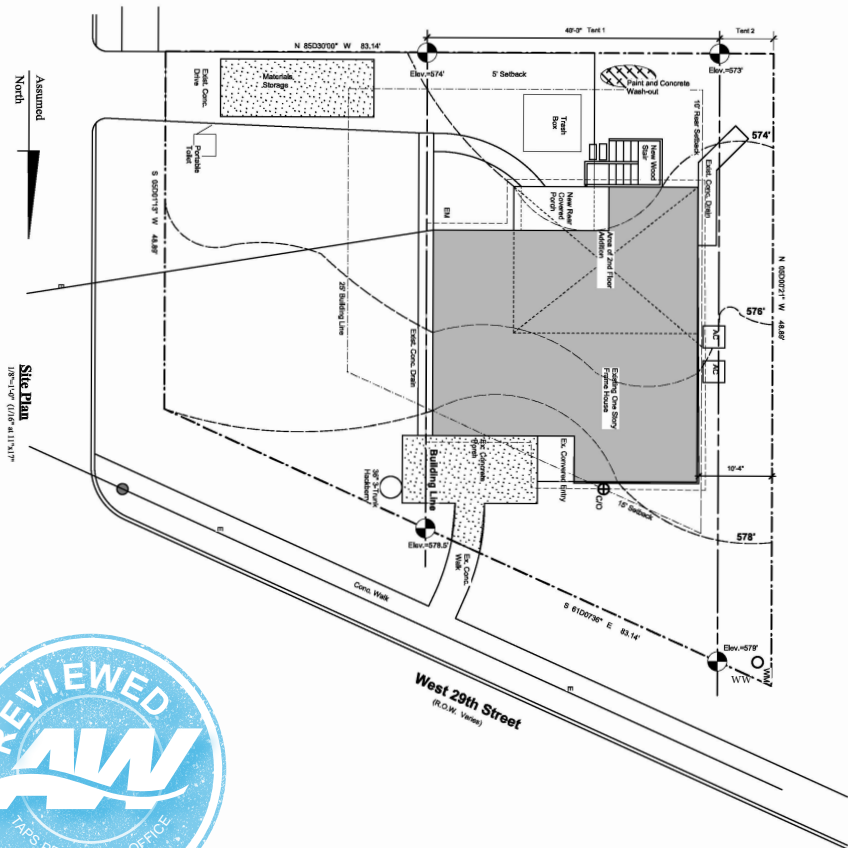
WORK ORDERS SHOW FOR BACK UP'S BUT BECAUSE THERE WAS NO CLEANOUT BUT WAS INSTALLED BY THE CITY NO ISSUES AFTER CLEANOUT WAAS INSTALLED.

C8-1922-1316

Taps Permitting Office Staff Signature

Date of Signature





A-0	BRIEF PLAN / REMEDIATION PLAN
A-20	MATERIALS
A-30	FLOOR PLANS
A-40	TENT DRAWINGS
A-60	REPAIRING SECTIONS
B-00	STRUCTURAL NOTES
B-01	STRUCTURAL DETAILS
E-10	FOUNDATION PLAN
B-20	Main FLOOR FRAMING PLAN
B-21	2nd FLOOR FRAMING PLAN
B-22	RoOF FRAMING PLAN
B-23	2nd FLOOR BRACKET WALL PLAN
B-30	FOUNDATION DETAILS
S-40	FRAMING DETAILS
S-41	FRAMING DETAILS

[illegible]