

**ZONING AND PLATTING COMMISSION
SITE PLAN EXTENSION REVIEW SHEET**

CASE NUMBER: SP-2019-0489C(XT2) **ZAP MEETING DATE:** February 18, 2025

PROJECT NAME: Parmer Section 2 Commission Extension

ADDRESS: 12829 Parmer Ridge Dr

AREA: 19.65 acres

WATERSHED: Walnut Creek, Harris Branch (Suburban)

COUNCIL DISTRICT: 7

JURISDICTION: Full Purpose

APPLICANT: Karling McCallen Pass, LLC
11755 Wilshire Blvd, Ste 1400
Los Angeles, CA 90025

AGENT: Jewels Cain
Armbrust & Brown, PLLC
100 Congress Ave, Ste 1300
Austin, TX 78701

CASE MANAGER: Christine Barton-Holmes
christine.barton-holmes@austintexas.gov

Telephone: 974-2788

EXISTING ZONING: LI-PDA

PROPOSED DEVELOPMENT: The applicant requests a three-year extension for a previously approved site plan. The approved site plan includes two multistory professional office buildings with a total floor area of 341,903 sq. ft., with associated garage and surface parking, and other improvements. The site was originally approved with SP-2019-0489C.

STAFF RECOMMENDATION: Staff recommends the requested three-year extension. Staff previously granted a one-year administratively approved extension from March 28, 2024 to March 28, 2025.

ZONING AND PLATTING COMMISSION ACTION: NA

PREVIOUS APPROVALS: The site plan was granted a one-year administratively approved extension from March 28, 2024 to March 28, 2025.

PROJECT INFORMATION: 19.65 acres

EXIST. ZONING: LI-PDA

MAX. BLDG. COVERAGE: 75%

MAX. IMPERV. CVRG: 80%

PROP. BLDG CVRG: 98,980 sf (11.57%)

PROP. IMP. CVRG: 14.07 ac (71.6%)

A COMPARISON OF THE APPROVED PROJECT WITH CURRENT REGULATIONS

WATERSHED ORDINANCE: This project complies with applicable watershed regulations.

LAND USE: The site plan complies with all applicable zoning regulations.

ENVIRONMENTAL: All environmental comments have been cleared.

TRANSPORTATION: All transportation comments have been cleared.

SURROUNDING CONDITIONS:**Zoning/ Land Use**

North: LI-PDA (Offices)
 South: ROW, then LI-PDA (E Parmer Ln, then offices)
 East: ROW, then GR-MU (Harris Ridge Blvd., multifamily)
 West: ROW, then LI-PDA (Parmer Ridge Dr, undeveloped)

STREET:	R.O.W.	SURFACING	CLASSIFICATION
E Parmer Ln	~200'	~175'	Regional Mobility
Parmer Ridge Dr	~80'	~60'	Corridor Mobility
Harris Ridge Blvd	~125'	~73'	Corridor Mobility

NEIGHBORHOOD ORGANIZATION:

Austin Lost and Found Pets
 Friends of Austin Neighborhoods
 Neighborhood Empowerment Foundation
 North Growth Corridor Alliance
 Pflugerville Independent School District
 Save Our Springs Alliance
 SELTexas
 Sierra Club, Austin Regional Group
 TechRidge Neighbors
 Yager Community

ARMBRUST & BROWN, PLLC

ATTORNEYS AND COUNSELORS

100 CONGRESS AVENUE, SUITE 1300
AUSTIN, TEXAS 78701-2744
512-435-2300

FACSIMILE 512-435-2360

Richard Suttle
(512) 435-2310
rsuttle@abaustin.com

November 18, 2024

José G. Roig, Director
Development Services Department
City of Austin
6310 Wilhelmina Delco. Dr.
Austin, Texas 78752

Re: Site Plan Extension for Parmer Section 2 (SP-2019-0489C) located at 12829
Parmer Ridge Drive in Austin, Travis County, Texas 78753 (the "Application")

Dear Mr. Roig:

On behalf of the owner in the above referenced Application, our firm respectfully requests a three year extension from the current expiration date (March 28, 2025) for the approved site plan for the Parmer Section 2 project referenced by City of Austin Case No. SP-2019-0489C (the "Project"). This request is made in accordance with Section 25-5-63 of the Land Development Code ("LDC").

Under Section 25-5-63(C), the Land Use Commission may extend the expiration date of a released site plan beyond the date established if the Land Use Commission determines that the request complies with the requirements for extension by the director under Section 25-5-62. According to Section 25-5-62(C), an applicant must satisfy provisions (C)(1) and (2), however, under provision (1), the applicant must comply with any, but not all, of subsections (a) through (d). For this Project, the Applicant has satisfied subsection (b), (c), and (d). In accordance with subsection (b), the applicant filed the original site plan with a good faith expectation that the site plan would be constructed.

Also, per subsections (c) and (d), the applicant constructed at least one structure shown on the original site plan that is suitable for permanent occupancy and has constructed a significant portion of the infrastructure required for development of the original site plan. The Project includes the construction of two office buildings consisting of approximately 375,000 square feet, garage parking, surface parking and associated utilities. The first phase of the Project has been constructed which includes one office building and associated parking.

The remaining office building is part of the last phase to be developed and no changes to the existing approved plans are proposed with this extension. The purpose of this extension is to

ARMBRUST & BROWN, PLLC

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allow additional time to obtain the building permits necessary to complete the Project. It has taken much longer than originally expected due to the ever changing market conditions which has hindered these efforts. The owner would like the ability to extend the site plan for approximately three years until March 28, 2028.

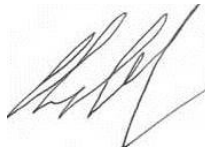
The list below represents materials included with this Application:

- Completed Site Plan Completeness Check Application
- Agent Authorization Letter
- Current Tax Certificates
- Engineer's Summary Letter
- Previously Approved Vested Rights Determination
- Project Review Form
- Location Map
- Previously Approved Set of Plans

If you have any questions, comments, or need additional information, please do not hesitate to contact me.

Very truly yours,

ARMBRUST & BROWN, PLLC

A handwritten signature in black ink, appearing to read 'R. Suttle, Jr.', is positioned above the printed name.

Richard T. Suttle, Jr.

cc: Amanda Morrow, Armbrust and Brown, PLLC



General Information

Location: **12829 PARMER RIDGE DR**
Parcel ID: **0258280301**
Grid: **MN34**

Planning & Zoning

*Right click [hyperlinks](#) to open in a new window.

Future Land Use (FLUM): **No Future Land Use Map**

Regulating Plan: **No Regulating Plan**

Zoning: **LI-PDA**

Zoning Cases: [C14-2016-0124](#)
[C14-97-0141](#)

Zoning Ordinances: [19990225-070b](#)
[20170518-056](#)
[980226-G](#)
[980430-P](#)

Zoning Overlays: **ADU Approximate Area Reduced Parking**
Scenic Roadways Overlay: PARMER LANE
Wildland Urban Interface:
Proximity Class - Within 150 feet of a wildland area

Infill Options: --

Neighborhood Restricted Parking Areas: --

Mobile Food Vendors: --

Historic Landmark: --

Urban Roadways: **No**

Zoning Guide

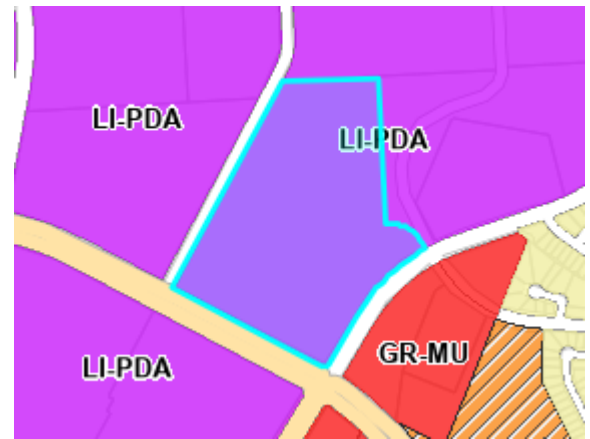
The [Guide to Zoning](#) provides a quick explanation of the above Zoning codes, however, the [Land Development Information Services](#) provides general zoning assistance and can advise you on the type of development allowed on a property. Visit [Zoning](#) for the description of each Base Zoning District. For official verification of the zoning of a property, please order a [Zoning Verification Letter](#). General information on the [Neighborhood Planning Areas](#) is available from Neighborhood Planning.

Environmental

Fully Developed Floodplain: **No**
FEMA Floodplain: **No**
Austin Watershed Regulation Areas: **SUBURBAN**
Watershed Boundaries: **Walnut Creek, Harris Branch**
Creek Buffers: **No**
Edwards Aquifer Recharge Zone: **No**
Edwards Aquifer Recharge Verification Zone: **No**
Erosion Hazard Zone Review Buffer: **No**

Political Boundaries

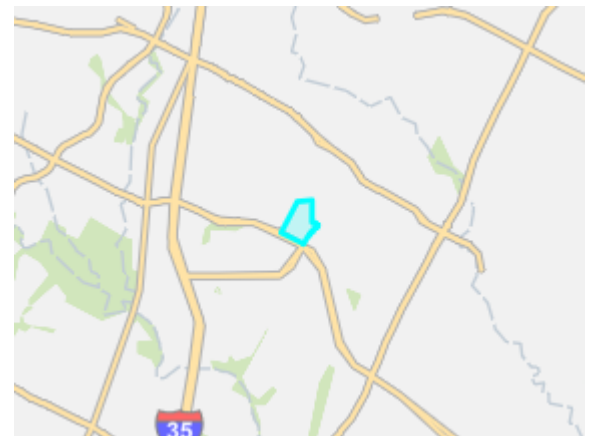
Jurisdiction: **AUSTIN FULL PURPOSE**
Council District: **7**
County: **TRAVIS**
School District: **Pflugerville ISD**
Community Registry: **Austin Lost and Found Pets, Friends of Austin Neighborhoods, Homeless Neighborhood Association, Neighborhood Empowerment Foundation, North Growth Corridor Alliance, Pflugerville Independent School District, SELTexas, Save Our Springs Alliance, Sierra Club, Austin Regional Group, TechRidge Neighbors, Yager Community**



Zoning Map



Imagery Map



Vicinity Map

SITE DEVELOPMENT PERMIT PLANS FOR PARMER SECTOR 2

OWNER/DEVELOPER:

1001 N. MOORE STREET, SUITE 100
AUSTIN, TEXAS 78701
(512) 482-5945
CONTACT: BOB BRADLEY

ARCHITECT:

1001 N. MOORE STREET, SUITE 100
AUSTIN, TEXAS 78701
(512) 482-5945
CONTACT: BOB BRADLEY

ENGINEER:

LANDDEV CONSULTING, LLC
1001 N. MOORE STREET, SUITE 100
AUSTIN, TEXAS 78701
(512) 482-5945
CONTACT: BOB BRADLEY

LANDSCAPE ARCHITECT:

TBS
1001 N. MOORE STREET, SUITE 100
AUSTIN, TEXAS 78701
(512) 482-5945
CONTACT: BOB BRADLEY

ZONING:

OS (OFFICE USE ONLY) COVERED LANE

LAND USE SUMMARY:

PROPOSED: 20.00 ACRES LIVING OF CONSTRUCTION

FLOODPLAIN INFORMATION:

NO PART OF THIS PROJECT IS WITHIN THE 100-YEAR FLOODPLAIN AS SHOWN ON
FLOOD INSURANCE RATE MAP NO. 48022C001 DATED 05/01/14.

WATERSHED:

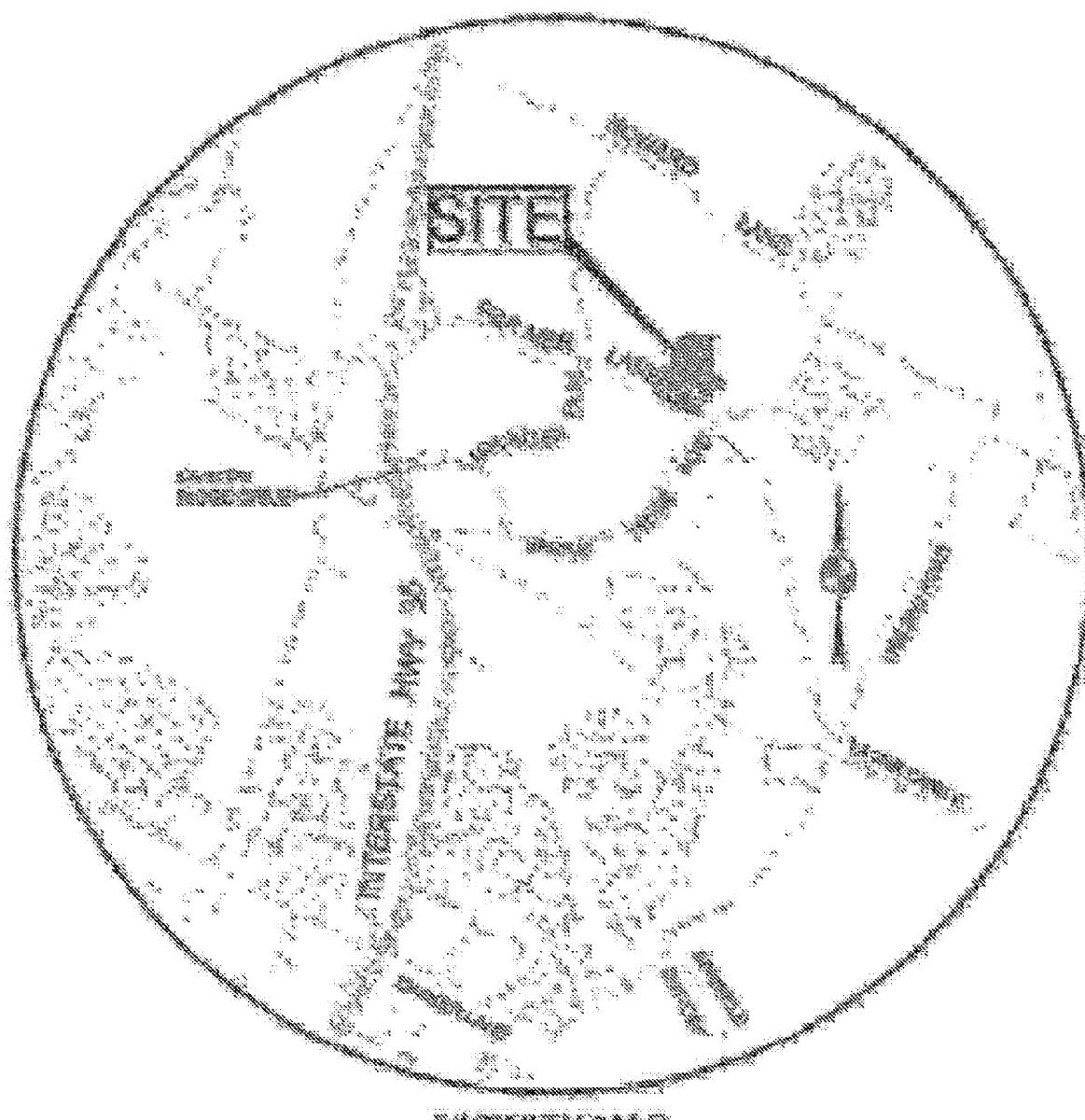
THIS PROJECT LIES WITHIN THE WALNUT AND HANSEN BRANCH WATERSHEDS,
BOTH SUBURBAN WATERSHEDS. THIS PROJECT IS NOT LOCATED OVER THE
BUTTERNUT SLOPE EROSION CONTROL AREA.

GENERAL NOTES:

- APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES CONFORMANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL AGENCIES MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY ADDITIONAL APPROVALS THAT MAY BE NECESSARY.
- BEFORE BEGINNING THE CONSTRUCTION OF CONSTRUCTION, THE ROAD TO BE CONSTRUCTED WITHIN THE PROJECT MUST BE COMPLETED AND ACCEPTED BY THE CITY OF AUSTIN.
- COMPLY WITH THE UTILITY LOCATIONS AND DEPT. FOR MULTIFAMILY COMPLEXES, EXISTING AND PROPOSED.
- A MASTER CONVEYANCE HAS BEEN RECORDED FOR THIS PROJECT WITH TRAVIS COUNTY AS DOCUMENT NO. 20190401. ALSO, SINGLE, DRAINAGE EASEMENTS AND EASEMENTS OF THE MASTER CONVEYANCE HAVE BEEN RECORDED AS DOCUMENT NO. 20190401 AND, MASTER CONVEYANCE EASEMENTS HAVE BEEN RECORDED AS DOCUMENT NO. 20190401.
- THE DISCLOSED WORK WITHIN THIS PROJECT SHALL BE CONSIDERED AND ALL PERMANENT EROSION/SEDIMENTATION CONTROL MEASURES COMPLETED PRIOR TO THE RELEASE OF PERMIT. TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED PRIOR TO THE RELEASE TO ENSURE THAT SUBSEQUENT PHASE DISTURBED AREAS ARE ADEQUATELY COVERED. ANY AREA BEYOND THE LIMIT OF THE PROJECT WHICH IS NOT ADEQUATELY REVEGETATED SHALL BE BROUGHT INTO CONFORMANCE PRIOR TO THE RELEASE OF THE FINAL PHASE.
- AN APPROVED EROSION/SEDIMENTATION CONTROL PLAN MUST BE SUBMITTED WITHIN 100 DAYS TO ALLOW FOR 60 DAYS PRIOR TO THE START OF CONSTRUCTION.

SUBMITTAL DATE:

OCTOBER 05, 2019



VICINITY MAP

12825 Parmer Ridge Blvd.
AUSTIN, TEXAS 78701
OS (OFFICE USE ONLY)

LEGAL DESCRIPTION:

BEING LOTS 12A OF AMENDED PLAT OF PARMER BUSINESS PARK, SUBDIVISION OF RECORD IN DOCUMENT NO. 2818000 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

ADDRESS:

12825 Parmer Ridge Blvd.

A SITE PLAN CORRECTION MUST BE SUBMITTED TO ADD THE SUPPLEMENT TO DRAINAGE EASEMENT AND NOTICE OF DESIGNATION OF MASTER COMMUNITY FACILITIES RESIDING INFORMATION PRIOR TO CERTIFICATE OF OCCUPANCY BEING ISSUED.

TRAFFIC CONTROL NOTES

THIS NOTE IS BEING PLACED ON THE PLAN SET IN PLACE OF A TEMPORARY TRAFFIC CONTROL STRATEGY WITH THE FULL UNDERSTANDING THAT, AT A MINIMUM OF 6 WEEKS PRIOR TO THE START OF CONSTRUCTION, A TEMPORARY TRAFFIC CONTROL PLAN MUST BE REVIEWED AND APPROVED BY THE RIGHT OF WAY MANAGEMENT DIVISION. THE OWNER REPRESENTATIVE FURTHER RECOGNIZES THAT A REVIEW FEE, AS PRESCRIBED BY THE MOST CURRENT VERSION OF THE CITY'S FEE ORSHANDE, SHALL BE PAID EACH TIME A PLAN OR PLAN REVISION IS SUBMITTED TO RIGHT OF WAY MANAGEMENT DIVISION FOR REVIEW.

THE FOLLOWING MUST BE TAKEN INTO CONSIDERATION WHEN DEVELOPING FUTURE TRAFFIC CONTROL STRATEGIES:

- PEDESTRIAN AND BICYCLE TRAFFIC ACCESS MUST BE MAINTAINED AT ALL TIMES, UNLESS OTHERWISE AUTHORIZED BY RIGHT OF WAY MANAGEMENT.
- NO LONG-TERM LANE CLOSURES WILL BE AUTHORIZED, UNLESS RIGHT OF WAY MANAGEMENT DETERMINES THAT ADEQUATE ACCOMMODATIONS HAVE BEEN MADE TO MINIMIZE TRAFFIC IMPACT.
- PROJECT SHOULD BE PHASED SO THAT UTILITY INSTALLATION MINIMALLY IMPACTS EXISTING OR TEMPORARY PEDESTRIAN FACILITIES.

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6	EXISTING CONDITIONS & DEMOLITION PLAN
7	OVERALL MASTER SITE PLAN
8	MASTER SITE & FLOOD PLAN
9	SITE PLAN A - PHASE 1
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11	SITE PLAN A - PHASE 2
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13	SITE PLAN NOTES & DETAILS
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55	DOMESTIC WATER METERS



A 1-year administrative extension has been approved from 03/28/2024 to 03/28/2025. - G. Guerrero

Extension Request #1

REVIEWED
March 21, 2024
Austin Water
Jason Inge

SUBMITTED BY:

NICHOLAS C. BROWN P.E.
LICENSED PROFESSIONAL ENGINEER (NO. 107175)
LANDDEV CONSULTING, LLC
401 N. PARMER LANE, SUITE 100
AUSTIN, TEXAS 78701
(512) 482-5945

I CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSE, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

APPROVED BY:

J. Inge
AUSTIN WATER
11/24/2023
11/24/2023

CITY OF AUSTIN FIRE DEPARTMENT

Christine Barton-Holmes
DEVELOPMENT SERVICES DEPARTMENT
11/24/2023

INDUSTRIAL WASTE
11/24/2023

SP-2019-0489C
CDA DEVELOPMENT PERMIT NUMBER

CS-2017-0849-0A
SUBDIVISION NO.

SITE PLAN APPROVAL
ALL WORK SHALL BE COMPLETED BY THE APPROVAL DATE. APPROVAL DATE: 11/24/2023.
APPROVED ON: 11/24/2023, UNDER SIGNATURE OF:
DATE: 11/24/2023, OF THE CITY OF AUSTIN CODE
EXPIRATION DATE: 03-28-25, RECORDING CASE NUMBER: 2-123456789

Before making the development permit application, the applicant shall comply with the following requirements:
1. The applicant shall provide a copy of the development permit application to the City of Austin Code Department.
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10. The applicant shall provide a copy of the development permit application to the City of Austin Code Department.

COVER SHEET

PARMER
SECTOR 2
12825 PARMER RIDGE RD.,
AUSTIN, TRAVIS COUNTY, TEXAS

DESIGNED BY: J. Inge
CHECKED BY: J. Inge
APPROVED BY: J. Inge

SHEET 1 OF 55

Overall Drainage Tracking Table:

Project	Project Case Number	Project Status	Watershed	Site Area (ac)	Impervious Cover			
					(sf)	(ac)	(%)	
Parmer North Section One	C8-98-0002.1B	Constructed	Walnut Creek	63.23	2,203,439	50.584	80.0%	
F-801-North (PN1)	SP-98-0002C	Constructed	Walnut Creek	98.68*	1,186,574	27.24	16.3%	
Dell PN2 & PN3 Buildings	SP-98-0430C	Constructed	Walnut Creek	98.68*	3,312,302	76.04	45.5%	
Techridge Section Three	SP-99-0108C	Constructed	Walnut Creek	60.83	1,820,372	41.79	68.7%	
Dell SLC Bypass Facility	SP-04-0275C	Constructed	Walnut Creek	13.81**	709,157	16.28	71.0%	
Techridge Section One	SP-2008-0324C	Constructed	Walnut Creek	20.38	656,014	15.06	73.9%	
Techridge Section 2, Building 2.0 & 2.1	SP-2012-0314C	Constructed	Walnut Creek	42.93	1,060,686	24.35	56.7%	
Parmer 3.2 Office Building	SP-2014-0378C	Constructed	Walnut Creek	17.13	586,753	13.47	78.6%	
Parmer 3.1 Office Building	SP-2014-0509C	Constructed	Walnut Creek	18.55	603,742	13.86	74.7%	
Parmer North Infrastructure Plans	SP-2014-0378D	Constructed	Walnut Creek	6.67	168,577	3.87	58.0%	
Parmer 3.3 Office Building	SP-2016-0397C	Constructed	Walnut Creek	17.56	618,777	14.21	80.4%	
Parmer 3.4 Office Building	SP-2016-0417C	Constructed	Walnut Creek	7.67	270,072	6.20	80.8%	
Parmer Sector 7	SP-2016-0480C	Constructed	Walnut Creek	10.20	344,124	7.90	77.5%	
Remaining Undeveloped Area (Z)	-	Undeveloped	Walnut Creek	27.24	-	0.00	0.0%	
Total to Regional Wet Pond (west pond)				404.98	13,540,589	310.85	76.8%	

Parmer North Infrastructure Plans	SP-2014-0378D	Constructed	Harris Branch	5.96	173,804	3.99	66.9%	
Parmer Sector 7	SP-2016-0480C	Constructed	Harris Branch	17.19	659,063	15.13	88.0%	
Parmer Sector 4	SP-2018-0055C	Under Construction	Walnut Creek & Harris Branch	21.15	718,304	16.49	78.0%	
Parmer Sector 2 and 5 Subdivision Improvements	SP-2019-0340D	Under Design	Walnut Creek & Harris Branch	3.74	104,955	2.41	64.4%	
Parmer Sector 5	SP-2019-0293C	Under Design	Walnut Creek & Harris Branch	21.58	549,485	14.25	65.7%	
Parmer Sector 2	SP-2019-0489C	Under Design	Walnut Creek & Harris Branch	19.65***	581,935	14.07	71.6%	
Remaining Undeveloped Area (D)	-	Undeveloped	Harris Branch	69.13	-	0.00	0.0%	
Total to Parmer Wet Pond (east pond)				157.50	2,735,568	62.80	39.9%	

* The Dell PN1, PN2, and PN3 Buildings were originally permitted on 167.04 acres, but overlapping acreage was removed due to the development of the Parmer 3.1 and 3.2 Office Buildings projects.

** The Dell SLC Bypass was originally permitted on 22.93 acres, but overlapping acreage was removed with the development of the Parmer 3.3 Office Building and the Parmer Sector 7 projects.

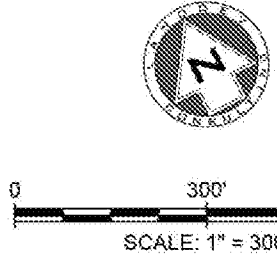
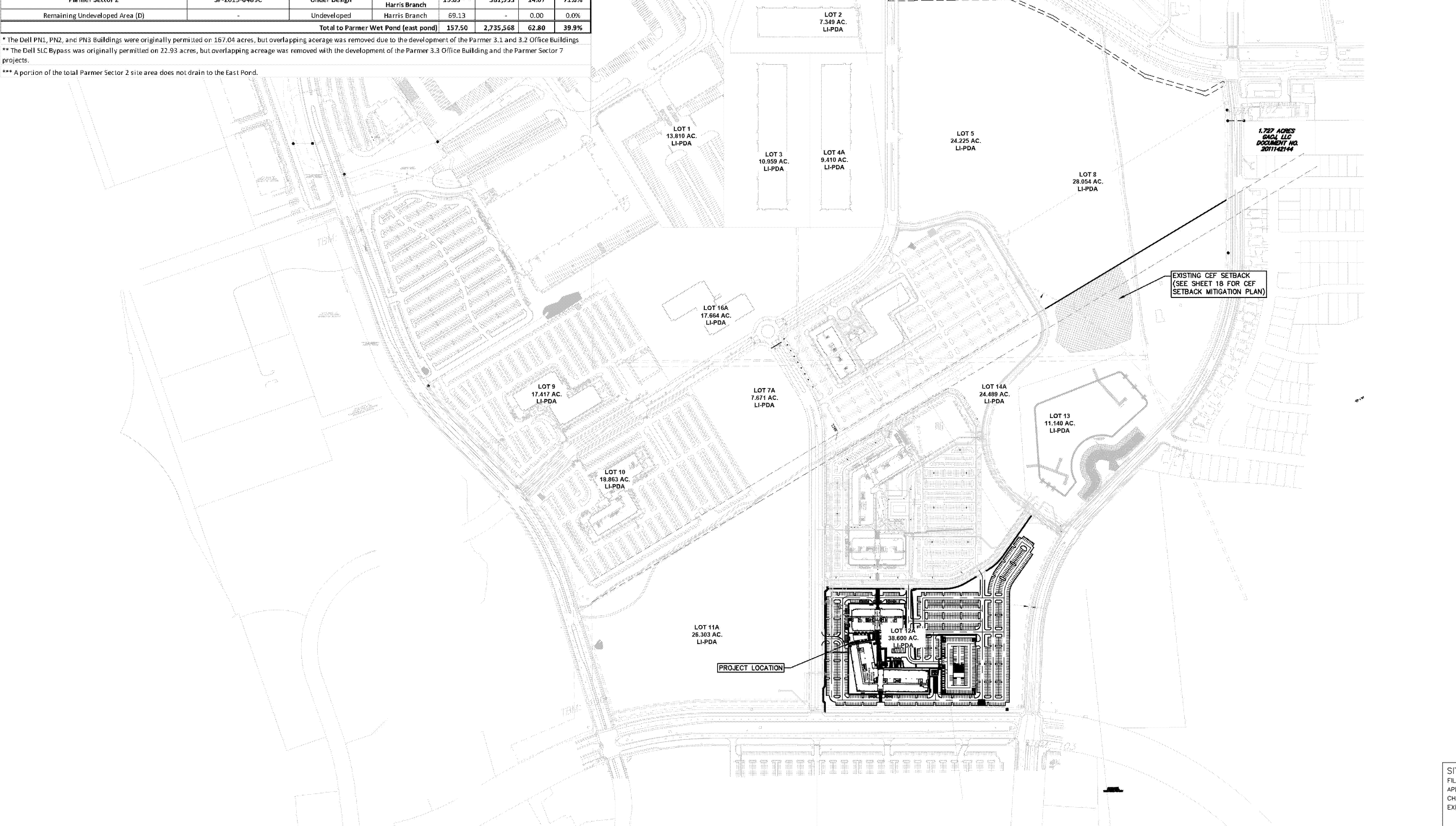
*** A portion of the total Parmer Sector 2 site area does not drain to the East Pond.

Overall Site Development Tracking Table:

Project	Project Case Number	Project Status	Watershed	Site Area (ac)	Impervious Cover				Building Coverage		Floor-to-Area Ratio	Off-Street Parking Provided	Off-Street Parking Required
					(sf)	(ac)	(%)		(s.f.)	(%)			
Parmer North Section One	C8-98-0002.1B	Constructed	Walnut Creek	63.23	2,203,439	50.584	80.0%	-	-	-	-	-	-
F-801-North (PN1)	SP-98-0002C	Constructed	Walnut Creek	98.68*	1,186,574	27.24	16.3%	351,404	4.8%	1	1	1,549	472
Dell PN2 & PN3 Buildings	SP-98-0430C	Constructed	Walnut Creek	98.68*	3,312,302	76.04	45.5%	592,704	8.1%	1	1	4,295	2,614
Dell SLC Bypass Facility	SP-04-0275C	Constructed	Walnut Creek	13.81**	709,157	16.28	71.0%	1,500	0.2%	1	1	372	0
Parmer 3.2 Office Building	SP-2014-0378C	Constructed	Walnut Creek	17.13	586,753	13.47	78.6%	96,500	8.9%	0.27	1	1,169	665
Parmer 3.1 Office Building	SP-2014-0509C	Constructed	Walnut Creek	18.55	603,742	13.86	74.7%	96,500	8.2%	0.27	1	1,410	665
Parmer North Infrastructure Plans	SP-2014-0378D	Constructed	Walnut Creek & Harris Branch	22.98	342,382	7.86	34.2%	-	0.0%	-	-	-	-
Parmer 3.3 Office Building	SP-2016-0397C	Constructed	Walnut Creek	17.66	618,777	14.21	80.4%	58,160	8.9%	0.25	1	1,175	665
Parmer 3.4 Office Building	SP-2016-0417C	Constructed	Walnut Creek	7.67	270,072	6.20	80.8%	29,358	8.8%	0.25	1	592	386
Parmer Sector 7	SP-2016-0480C	Constructed	Walnut Creek & Harris Branch	27.73	1,003,187	23.03	83.1%	347,656	28.8%	1	1	1,340	591
Parmer Sector 4	SP-2018-0055C	Under Construction	Walnut Creek & Harris Branch	21.15	718,304	16.49	78.0%	95,838	10.4%	0.35	1	1,515	1,051
Parmer Sector 2 and 5 Subdivision Improvements	SP-2019-0340D	Under Design	Walnut Creek & Harris Branch	3.74	104,955	2.41	64.4%	-	0.0%	-	-	-	-
Parmer Sector 5	SP-2019-0293C	Under Design	Walnut Creek & Harris Branch	21.68	549,485	14.25	65.7%	97,879	10.4%	0.35	1	1,699	1,250
Parmer Sector 2	SP-2019-0489C	Under Design	Walnut Creek & Harris Branch	19.65	581,935	14.07	71.6%	98,980	11.6%	0.35	1	1,682	1,250
Remaining Undeveloped Area	-	Undeveloped	Walnut Creek & Harris Branch	96.37	-	0.00	0.0%	-	0.0%	-	-	-	-
Total				450.03	12,791,064	295.99	65.8%	1,816,499	9.3%	0.84	1	16,798	9,609

* The Dell PN1, PN2, and PN3 Buildings were originally permitted on 167.04 acres, but overlapping acreage was removed due to the development of the Parmer 3.1 and 3.2 Office Buildings projects.

** The Dell SLC Bypass was originally permitted on 22.93 acres, but overlapping acreage was removed with the development of the Parmer 3.3 Office Building and the Parmer Sector 7 projects.



LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE (R.O.W.) LINE
		RECORD INFORMATION
		LIGHT POLE
		GROUND LIGHT
		POWER POLE
		DOWN GUY
		TELEPHONE MANHOLE
		WATER MANHOLE
		WATER LINE MARKER
		UNDERGROUND CABLE MARKER
		UNDERGROUND GAS LINE MARKER
		UNDERGROUND TELEPHONE MARKER
		GAS RISER
		TELEPHONE RISER
		SPRINKLER CONTROL BOX
		SWITCH GEAR & PAD
		TRANSFORMER (SIZE VARIES)
		FIRE HYDRANT
		WATER VALVE
		WATER METER
		WATER METER VAULT (SIZE VARIES)
		CABLE TV RISER
		ELECTRIC BOX
		ELECTRIC METER
		GAS METER
		GAS VALVE
		TRAFFIC CONTROL BOX
		TRAFFIC SIGNAL POST
		GRATE INLET
		CURB INLET (SIZE VARIES)
		GREASE TRAP (SIZE VARIES)
		OVERHEAD ELECTRIC
		ELECTRIC MANHOLE (SIZE VARIES)
		WASTEWATER MANHOLE (SIZE VARIES)
		STORMSEWER MANHOLE (SIZE VARIES)
		TELEPHONE MANHOLE (SIZE VARIES)
		WASTEWATER CLEANOUT
		WOOD FENCE
		CHAIN LINK FENCE
		DUMPSTER
		CURB & GUTTER
		EDGE OF PAVEMENT
		FIRE LANE DESIGNATION
		HANDICAP ACCESS ROUTE
		CONCRETE SIDEWALKS
		WALL
		SIGN
		WHEEL STOP
		BOLLARD
		FINISH FLOOR ELEVATION
		PARKING COUNT (REGULAR SPACES)
		PARKING COUNT (HANDICAP SPACES)
		PARKING COUNT (COMPACT SPACES)
		HANDICAP SPACE
		BIKE PARKING
		BARRICADE
		TREE TO BE SAVED
		HERITAGE/MATURE TREE
		LIMITS OF CONSTRUCTION

811
Know what's below.
Call before you dig.

LAND DEV
CONSULTING, LLC
4201 VESTER LANE, SUITE C-100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

NICHOLAS C. BROWN
107175
LICENSED PROFESSIONAL ENGINEER
11/10/2020

OVERALL MASTER SITE PLAN
PARMER
SECTOR 2
12829 PARKER RIDGE RD.
AUSTIN, TRAVIS COUNTY, TEXAS

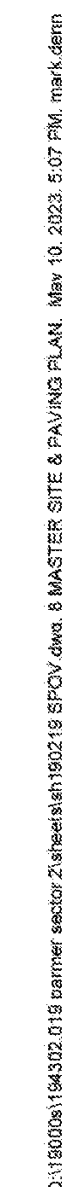
DESIGNED BY: IF
DRAWN BY: IF
CHECKED BY: NGB
APPROVED BY: NGB

SHEET **7** OF **54**
SP-2019-0489C
APPROVED
Date 12/04/2020

SITE PLAN APPROVAL Sheet 7 of 54
FILE NUMBER: SP-2019-0489C APPLICATION DATE: OCTOBER 30, 2019
APPROVED ON BEHALF OF THE CITY OF AUSTIN ON 12/04/2020 UNDER SECTION 112 OF
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81, LDC) 12/04/2023 CASE MANAGER C.BARTON-HOLMES

Director, Planning and Development Review Department
RELEASED FOR GENERAL COMPLIANCE: 12/04/2020 ZONING LI-PDA
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3

Final plot must be recorded by the Project Expiration Date, if applicable.
Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



DESIGNED BY: IF
DRAWN BY: IF
CHECKED BY: NGB
APPROVED BY: NGB
SHEET 8 OF 54
SP-2019-04890

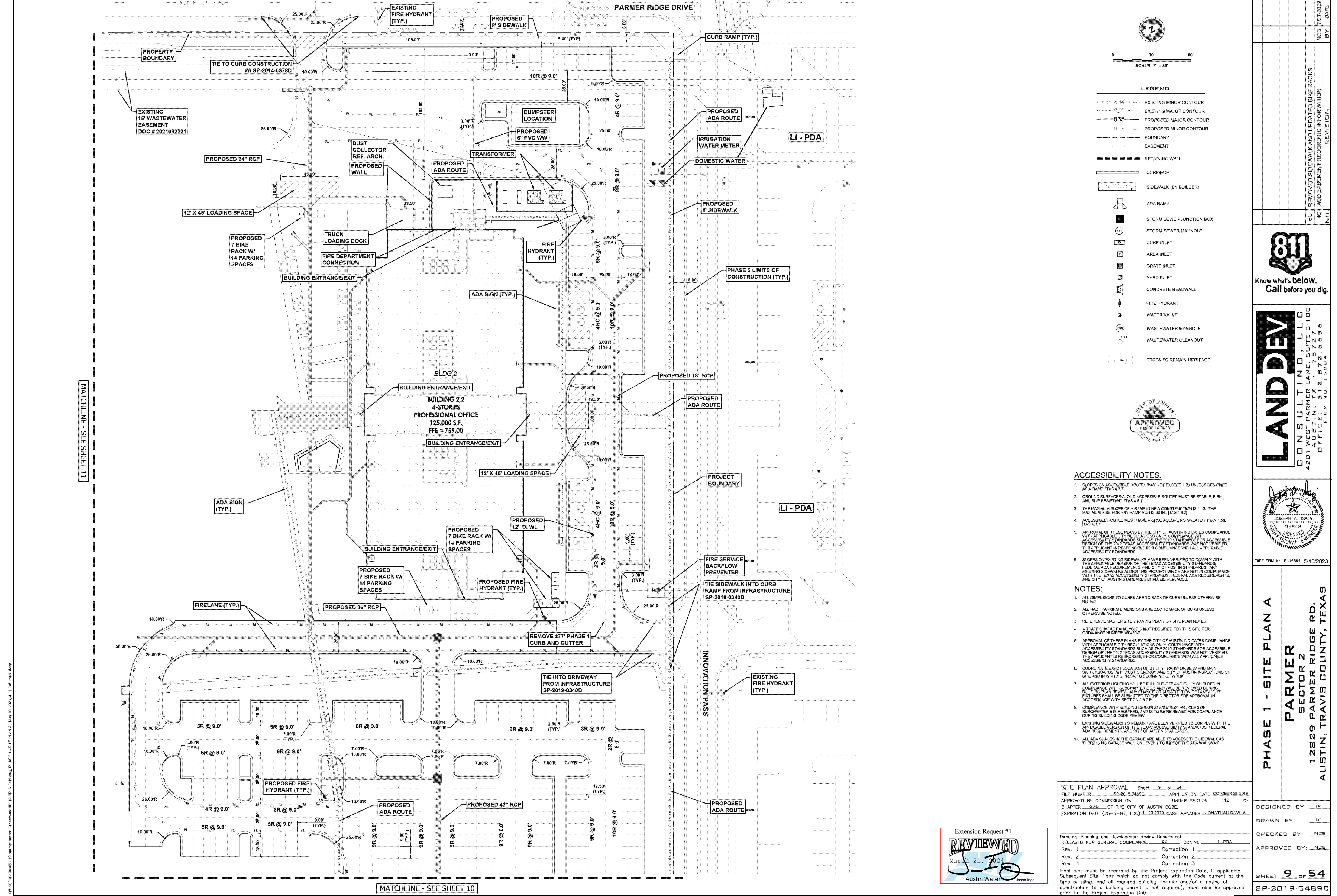
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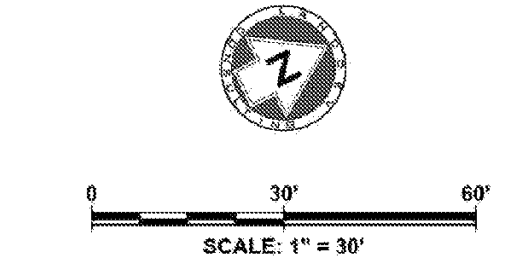
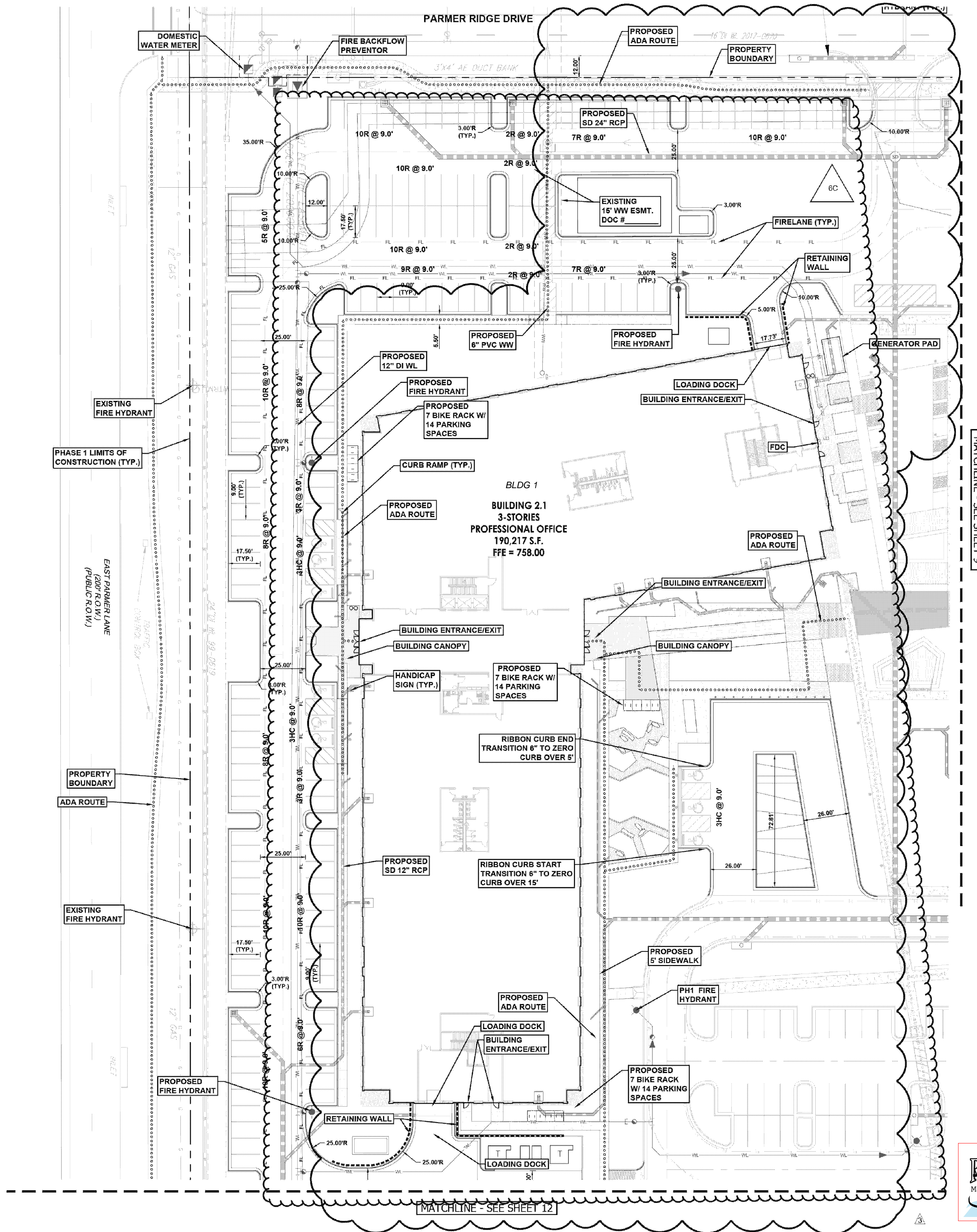
ENT SHEET

UTILITIES AND INFRASTRUCTURE SHOWN AS
EXISTING HAVE BEEN CONSTRUCTED AND
ACCEPTED WITH SP-2014-0378D. NO
INTERSECTION NUMBERS ARE AVAILABLE AT
THIS TIME.

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

6 REPLACEMENT SHEET





- LEGEND**
- 834 EXISTING MINOR CONTOUR
 - 835 EXISTING MAJOR CONTOUR
 - 835 PROPOSED MAJOR CONTOUR
 - 835 PROPOSED MINOR CONTOUR
 - BOUNDARY
 - EASEMENT
 - RETAINING WALL
 - CURB/EOP
 - SIDEWALK (BY BUILDER)
 - ADA RAMP
 - STORM SEWER JUNCTION BOX
 - STORM SEWER MANHOLE
 - CURB INLET
 - AREA INLET
 - GRATE INLET
 - YARD INLET
 - CONCRETE HEADWALL
 - FIRE HYDRANT
 - WATER VALVE
 - WASTEWATER MANHOLE
 - WASTEWATER CLEANOUT
 - TREES TO REMAIN-HERITAGE

ACCESSIBILITY NOTES:

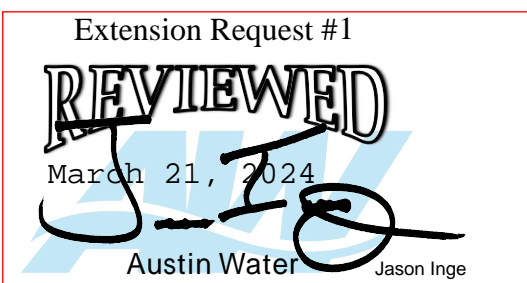
- SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP. [TAS 4.3.7]
- GROUND SURFACES ALONG ACCESSIBLE ROUTES MUST BE STABLE, FIRM, AND SLIP RESISTANT. [TAS 4.3.1]
- THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP RUN IS 30 IN. [TAS 4.8.2]
- ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50 [TAS 4.3.7]
- APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
- SLOPES ON EXISTING SIDEWALKS HAVE BEEN VERIFIED TO COMPLY WITH THE APPLICABLE VERSION OF THE TEXAS ACCESSIBILITY STANDARDS, FEDERAL ADA REQUIREMENTS, AND CITY OF AUSTIN STANDARDS. ANY EXISTING SIDEWALKS ALONG THIS PROJECT WHICH ARE NOT IN COMPLIANCE WITH THE TEXAS ACCESSIBILITY STANDARDS, FEDERAL ADA REQUIREMENTS, AND CITY OF AUSTIN STANDARDS SHALL BE REPLACED.

NOTES:

- ALL DIMENSIONS TO CURBS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL RADIUS DIMENSIONS ARE 2.50' TO BACK OF CURB UNLESS OTHERWISE NOTED.
- REFERENCE MASTER SITE & PAVING PLAN FOR SITE PLAN NOTES.
- A TRAFFIC IMPACT ANALYSIS IS NOT REQUIRED FOR THIS SITE PER ORDINANCE NUMBER 86850P.
- APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
- COORDINATE EXACT LOCATION OF UTILITY TRANSFORMERS AND MAIN SWITCHBOARDS WITH AUSTIN ENERGY AND CITY OF AUSTIN INSPECTIONS ON SITE AND IN WRITING PRIOR TO BEGINNING OF WORK.
- ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E 2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/FLIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E.
- COMPLIANCE WITH BUILDING DESIGN STANDARDS, ARTICLE 3 OF SUBCHAPTER E IS REQUIRED, AND IS TO BE REVIEWED FOR COMPLIANCE DURING BUILDING CODE REVIEW.
- EXISTING SIDEWALKS TO REMAIN HAVE BEEN VERIFIED TO COMPLY WITH THE APPLICABLE VERSION OF THE TEXAS ACCESSIBILITY STANDARDS, FEDERAL ADA REQUIREMENTS, AND CITY OF AUSTIN STANDARDS.
- ALL ADA SPACES IN THE GARAGE ARE ABLE TO ACCESS THE SIDEWALK AS THERE IS NO GARAGE WALL ON LEVEL 1 TO IMPEDE THE ADA WALKWAY.

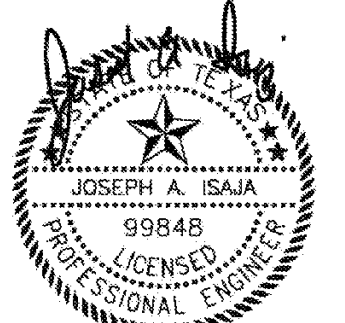
SITE PLAN APPROVAL Sheet 11 of 54
FILE NUMBER: 82-2019-0489C APPLICATION DATE: OCTOBER 26, 2019
APPROVED BY COMMISSION ON: UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81, LDC) 11.20.2020 CASE MANAGER: JONATHAN DAVILA...

Director, Planning and Development Review Department
RELEASED FOR GENERAL COMPLIANCE: XX ZONING: LRPDA
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3
Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



811
Know what's below.
Call before you dig.

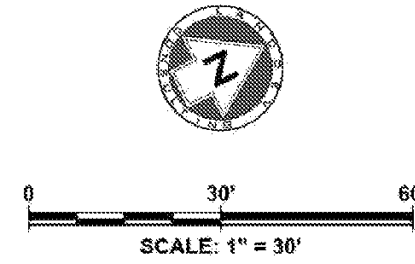
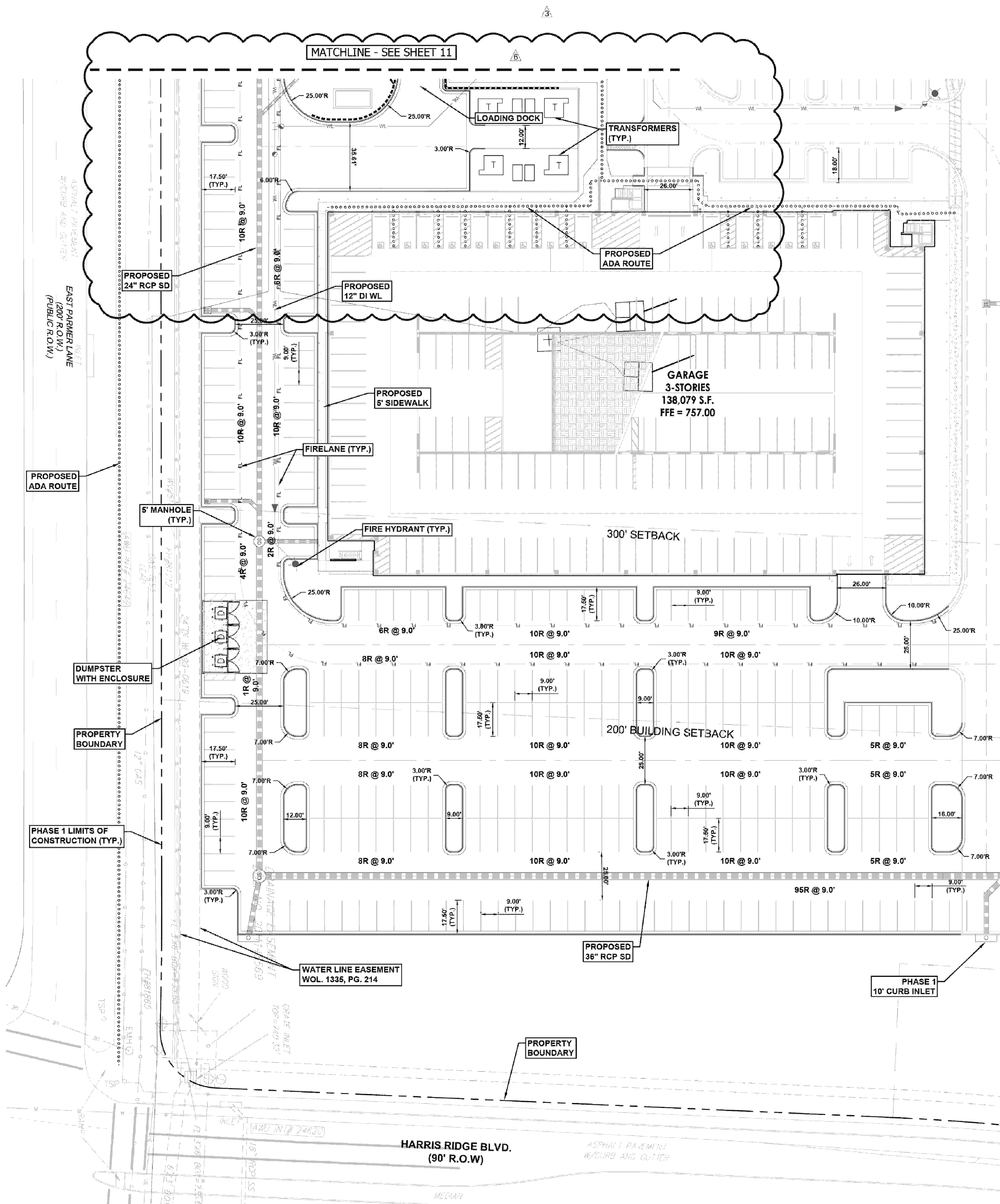
LAND DEV
CONSULTING, LLC
4201 WEST PARMER LANE, SUITE G-100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384



TYPE FIRM No. F-16384 5/10/2023

PHASE 2 - SITE PLAN A
PARMER
SECTOR 2
12829 PARKER RIDGE RD.
AUSTIN, TRAVIS COUNTY, TEXAS

DESIGNED BY: IF
DRAWN BY: IF
CHECKED BY: NGB
APPROVED BY: NGB
SHEET 11 OF 54
SP-2019-0489C



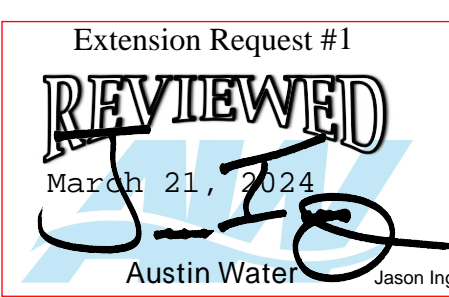
LEGEND	
834	EXISTING MINOR CONTOUR
835	EXISTING MAJOR CONTOUR
835	PROPOSED MAJOR CONTOUR
835	PROPOSED MINOR CONTOUR
---	BOUNDARY
---	EASEMENT
---	RETAINING WALL
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- A TRAFFIC IMPACT ANALYSIS IS NOT REQUIRED FOR THIS SITE PER ORDINANCE NUMBER 960430-P.
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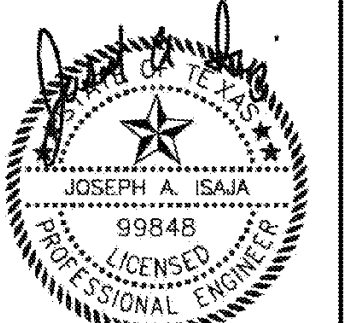


SITE PLAN APPROVAL Sheet 12 of 54
FILE NUMBER: SP-2019-0489C APPLICATION DATE: OCTOBER 26, 2019
APPROVED BY COMMISSION ON: UNDER SECTION 112 OF
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81, LDC) 11.20.2020 CASE MANAGER: JONATHAN DAVILA...

Director, Planning and Development Review Department
RELEASED FOR GENERAL COMPLIANCE: XX ZONING: LRPDA
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3
Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



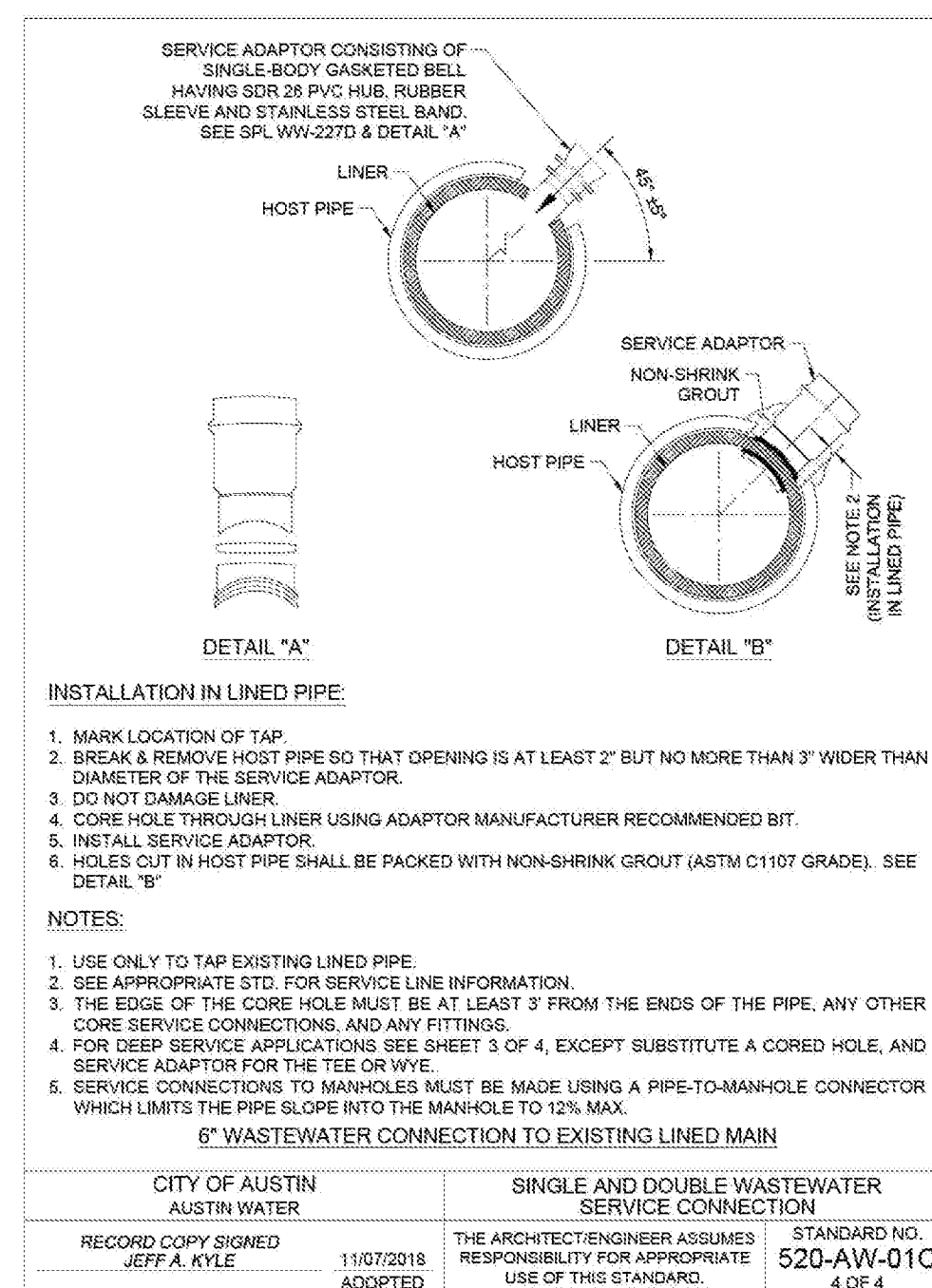
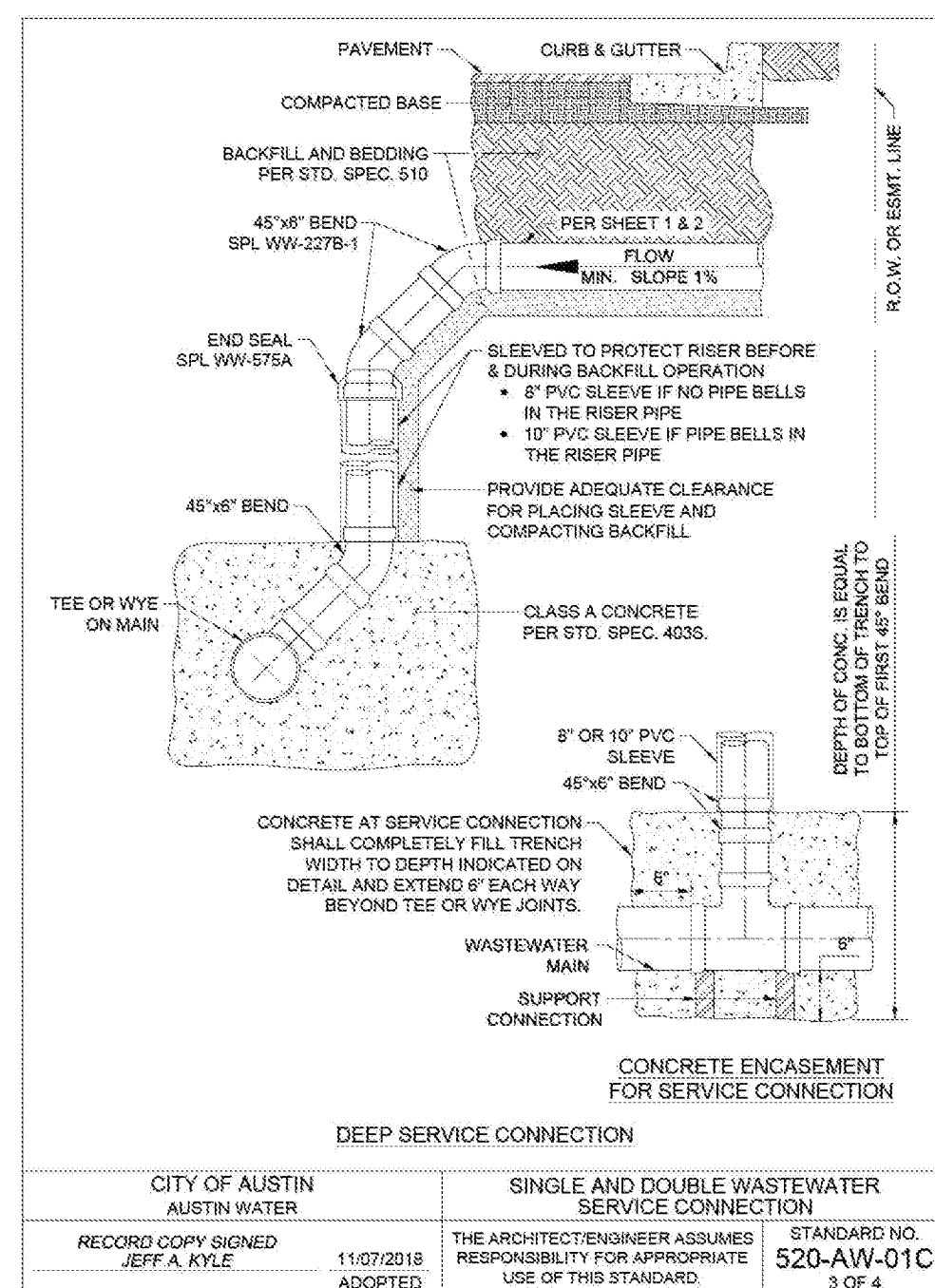
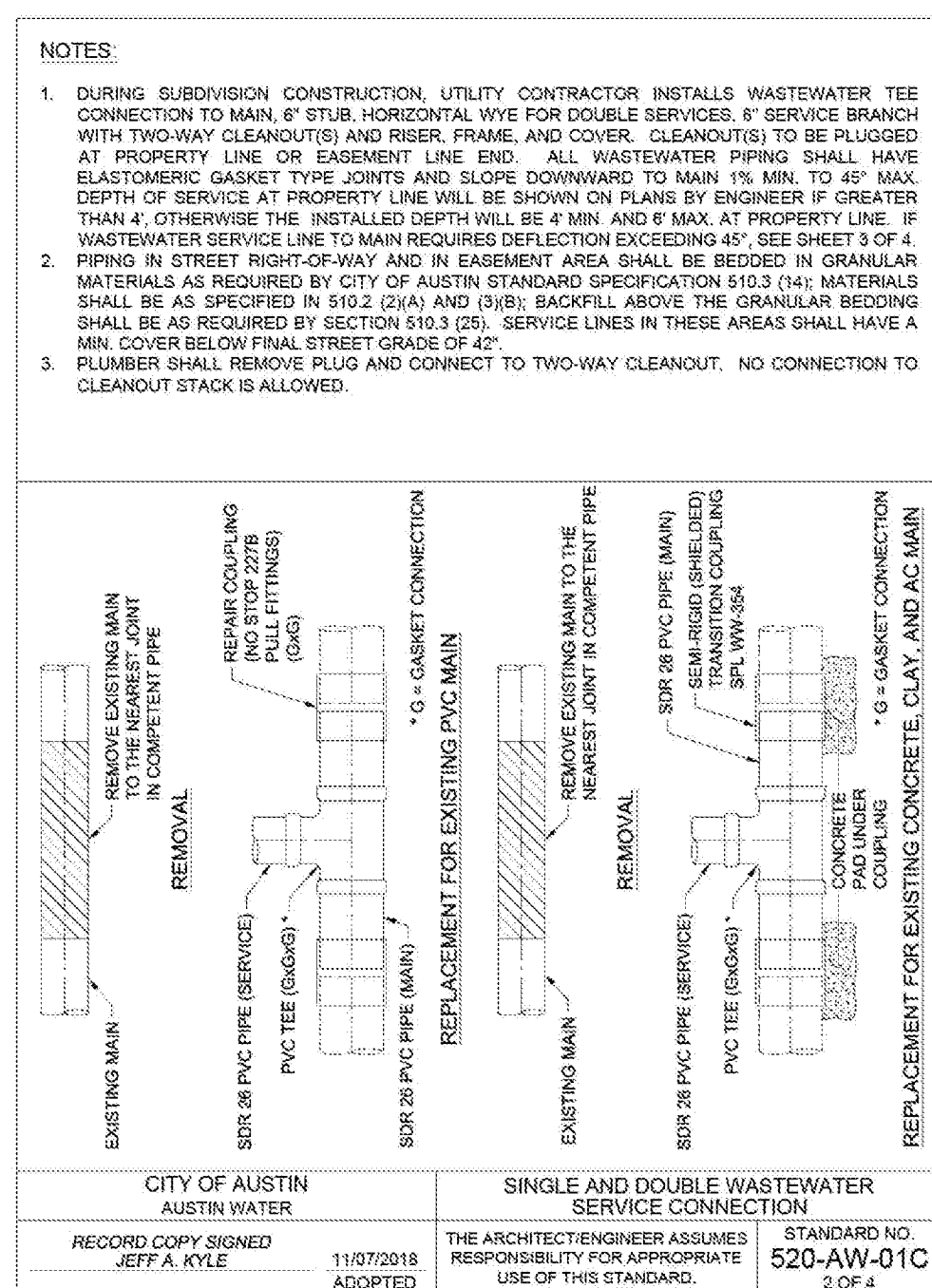
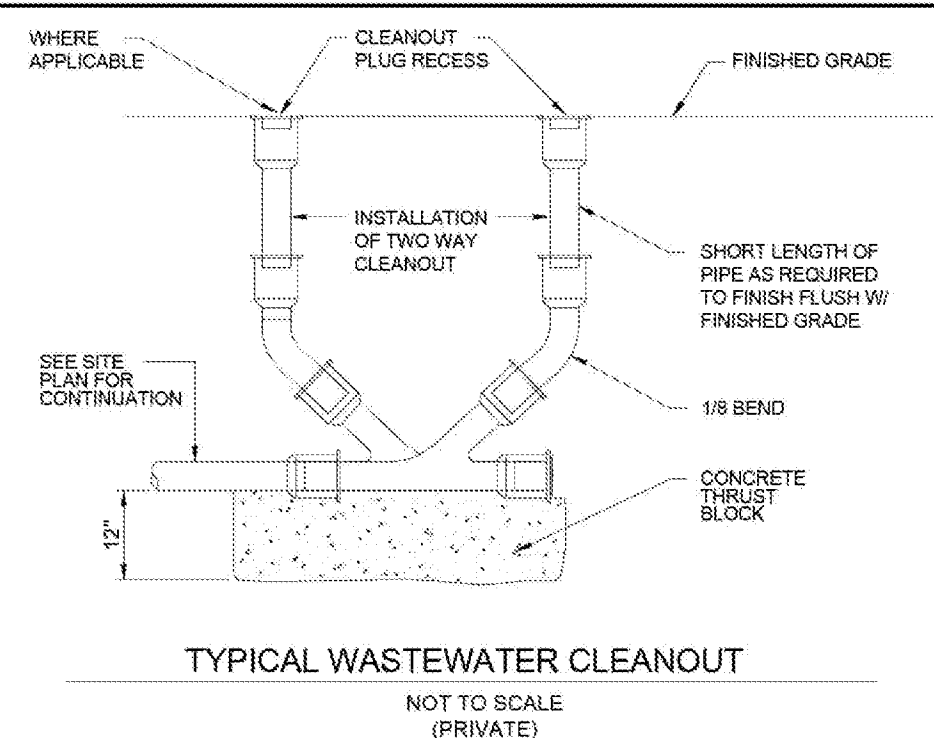
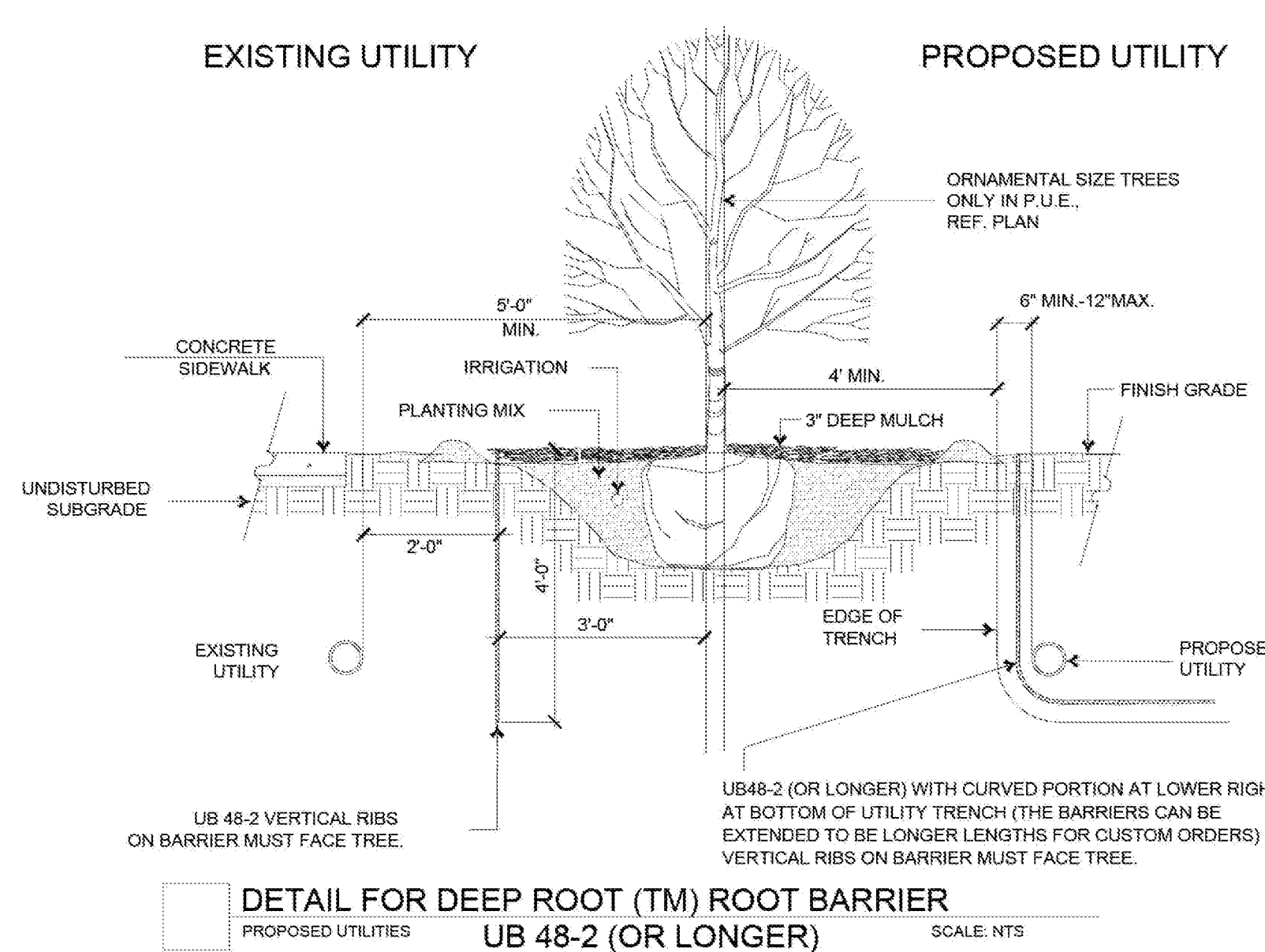
LAND DEV
CONSULTING, LLC
4201 WEST PARMER LANE, SUITE C-100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384



TYPE FIRM No. F-16384 5/10/2023

PHASE 2 - SITE PLAN B
PARMER
SECTOR 2
12829 PARMER RIDGE RD.
AUSTIN, TRAVIS COUNTY, TEXAS

DESIGNED BY: IF
DRAWN BY: IF
CHECKED BY: NGB
APPROVED BY: NGB
SHEET 12 OF 54
SP-2019-0489C



Extension Request #1

REVIEWED

March 21, 2024

Austin Water Jason Inge

REVIEWED
November 24, 2020
Jason Inge

REVIEWED
November 23, 2020
Rachel Reddig
Rachel Reddig

SITE PLAN APPROVAL Sheet 41 of 54
FILE NUMBER SP-2019-0489C APPLICATION DATE OCTOBER 28, 2019
APPROVED ON COMMISSION ON 12/04/2020 UNDER SECTION 112 OF
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81, LDC) 12/04/2023 CASE MANAGER C. BARTON-HOLMES

Director, Planning and Development Review Department
RELEASED FOR GENERAL COMPLIANCE: 12/04/2020, ZONING LP-PDA

Rev. 1 _____	Correction 1 _____
Rev. 2 _____	Correction 2 _____
Rev. 3 _____	Correction 3 _____

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DATE		BY	
REVISION		DATE	

LANDDEV
CONSULTING, LLC
201 WEST PARMER LANE, SUITE C-100
AUSTIN, TX 78727
OFFICE: 512.872.6696
FIRM NO. 16384

UTILITY DETAILS

PARMER
SECTOR 2
12829 PARMER RIDGE RD.
AUSTIN, TRAVIS COUNTY, TEXAS

DESIGNED BY: IF
DRAWN BY: IF
CHECKED BY: NCB
APPROVED BY: NCB

SHEET 41 OF 54
SP-2019-048